

DEPARTMENT OF COMMUNITY SERVICES
CITY AND COUNTY OF HONOLULU

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KIRK CALDWELL
MAYOR

GARY K. NAKATA
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BARBARA YAMASHITA
DEPUTY DIRECTOR

October 7, 2016

Mr. Scott Glenn, Director
Office of Environmental Quality Control
State of Hawaii, Department of Health
235 South Beretania Street, Room 702
Honolulu, Hawaii 96813



OCT 23 2016

OFC. OF ENVIRONMENTAL
QUALITY CONTROL

16 OCT 12 AM 1:10

RECEIVED

Dear Mr. Glenn:

SUBJECT: Proposed Community Training Kitchen Final Environmental
Assessment at Ohana Ola 'O Kahumana TMK: (1) 8-6-006:001

With this letter, the Department of Community Services (DCS) hereby transmits the Final Environmental Assessment and Finding of No Significant Impact (FEA-FONSI) for the proposed Community Training Kitchen at Ohana Ola 'O Kahumana situated on parcel TMK: (1) 8-6-006:001, in the Wai'anae District of Honolulu County, O'ahu, for the publication in the next available edition of the Environmental Notice.

Attached is a completed OEQC Publication Form, one (1) copy of the FEA-FONSI, an Adobe Acrobat PDF file of the same, and an electronic copy of the publication form in MS Word. Simultaneous with this letter, we have submitted the summary of the action in a text file by electronic mail to your office.

Should you have any questions, please contact the project point of contact, Mr. Stephen Karel, Community Based Development Division at (808) 768-7753, or our authorized agent of this project, Catie Cullison, of PBR Hawaii at (808) 521-5631.

Sincerely,

A handwritten signature in blue ink, appearing to read "Gary K. Nakata".

Gary K. Nakata
Director

GKN:sgk

cc: Tom McDonald, Kahumana (w/o attach)
Catie Cullison, PBR Hawaii (w/o attach)

17-159

**APPLICANT
PUBLICATION FORM**

OCT 23 2016

Project Name:	Community Training Kitchen at Ohana Ola 'O Kahumana
Project Short Name:	Kitchen at Ohana Ola
HRS §343-5 Trigger(s):	Use of County lands
Island(s):	'Oahu
Judicial District(s):	Wai'anae
TMK(s):	186006001
Permit(s)/Approval(s):	Section 6E HRS review, individual wastewater system permit, DOT Highways Division permit, 201H application, site development approval, grading permit, trenching permit, building permit, construction dewatering permit, noise permit, Traffic Review Branch approval, drainage connection approval, street usage permit, water availability approval, Chapter 50 commercial cooking equipment of the Fire Code.
Approving Agency:	Department of Community Services
<i>Contact Name, Email, Telephone, Address</i>	ATTN: Mr. Stephen Karel Community Based Development Division City and County of Honolulu Department of Community Services 715 South King Street, Suite 311 Honolulu, Hawai'i 96813 Phone: (808) 768-7753 Fax: (808) 768-7792 Email: skarel@honolulu.gov
Applicant:	Alternative Structures International (dba Kahumana)
<i>Contact Name, Email, Telephone, Address</i>	ATTN: Mr. Tom McDonald, Executive Director 86-660 Lualualei Homestead Road Waianae, HI 96792 Phone: (808) 696-2655 Email: kahumana.tom@gmail.com
Consultant:	PBR HAWAII & Associates, Inc.
<i>Contact Name, Email, Telephone, Address</i>	ATTN: Ms. Catie Cullison, AICP, Senior Associate PBR HAWAII 1001 Bishop Street, Suite 650 Honolulu, Hawai'i 96813 Phone: (808) 521-5631 Fax: (808) 523-1402 Email: ccullison@pbrhawaii.com

Status (select one) DEA-AFNSI FEA-FONSI FEA-EISPN Act 172-12 EISPN
("Direct to EIS") DEIS**Submittal Requirements**

Submit 1) the approving agency notice of determination/transmittal letter on agency letterhead, 2) this completed OEQC publication form as a Word file, 3) a hard copy of the DEA, and 4) a searchable PDF of the DEA; a 30-day comment period follows from the date of publication in the Notice.

Submit 1) the approving agency notice of determination/transmittal letter on agency letterhead, 2) this completed OEQC publication form as a Word file, 3) a hard copy of the FEA, and 4) a searchable PDF of the FEA; no comment period follows from publication in the Notice.

Submit 1) the approving agency notice of determination/transmittal letter on agency letterhead, 2) this completed OEQC publication form as a Word file, 3) a hard copy of the FEA, and 4) a searchable PDF of the FEA; a 30-day comment period follows from the date of publication in the Notice.

Submit 1) the approving agency notice of determination letter on agency letterhead and 2) this completed OEQC publication form as a Word file; no EA is required and a 30-day comment period follows from the date of publication in the Notice.

Submit 1) a transmittal letter to the OEQC and to the approving agency, 2) this completed OEQC

publication form as a Word file, 3) a hard copy of the DEIS, 4) a searchable PDF of the DEIS, and 5) a searchable PDF of the distribution list; a 45-day comment period follows from the date of publication in the Notice.

- FEIS Submit 1) a transmittal letter to the OEQC and to the approving agency, 2) this completed OEQC publication form as a Word file, 3) a hard copy of the FEIS, 4) a searchable PDF of the FEIS, and 5) a searchable PDF of the distribution list; no comment period follows from publication in the Notice.
- FEIS Acceptance Determination The approving agency simultaneously transmits to both the OEQC and the applicant a letter of its determination of acceptance or nonacceptance (pursuant to Section 11-200-23, HAR) of the FEIS; no comment period ensues upon publication in the Notice.
- FEIS Statutory Acceptance The approving agency simultaneously transmits to both the OEQC and the applicant a notice that it did not make a timely determination on the acceptance or nonacceptance of the applicant's FEIS under Section 343-5(c), HRS, and therefore the applicant's FEIS is deemed accepted as a matter of law.
- Supplemental EIS Determination The approving agency simultaneously transmits its notice to both the applicant and the OEQC that it has reviewed (pursuant to Section 11-200-27, HAR) the previously accepted FEIS and determines that a supplemental EIS is or is not required; no EA is required and no comment period ensues upon publication in the Notice.
- Withdrawal Identify the specific document(s) to withdraw and explain in the project summary section.
- Other Contact the OEQC if your action is not one of the above items.

Project Summary

Provide a description of the proposed action and purpose and need in 200 words or less.

The proposed action is construction of a Kitchen facility that will serve an existing job training program at the Ohana Ola 'O Kahumana transitional housing community. The Kitchen and associated development will occupy approximately one acre and will include a 2,800-to-3,000 sq. ft. building, an individual wastewater system, a parking/loading area for about twelve vehicles, and an entrance off Kuwale Road. The proposed project will utilize previously disturbed vacant land and is not expected to substantially degrade environmental quality. All construction activities will comply with applicable regulations and appropriate mitigation measures will be implemented as necessary.

During the school year, the kitchen prepares approximately 1,100 healthy keiki meals per weekday from the Kitchen at Ulu Ke Kukui, a Department of Hawaiian Home Lands property located in Mā'ili. The lease for the Kitchen expires in 2018. The project objective is to: maintain and grow the part-time, temporary trainee positions that prepare the lunches. The primary source for filling these trainee positions are adults at Ohana Ola. Secondary objectives include: Uninterrupted continuation of a school lunch program, which feeds 1,100 underprivileged children every day; expand the school lunch program to respond to increasing demand; and utilize produce grown at Kahumana Farms to strengthen stewardship of the 'āina.

Community Training Kitchen at Ohana Ola 'O Kahumana

Final Environmental Assessment – *Finding of No Significant Impact*

§343 Hawai'i Revised Statutes,
§11-200 Hawai'i Administrative Rules

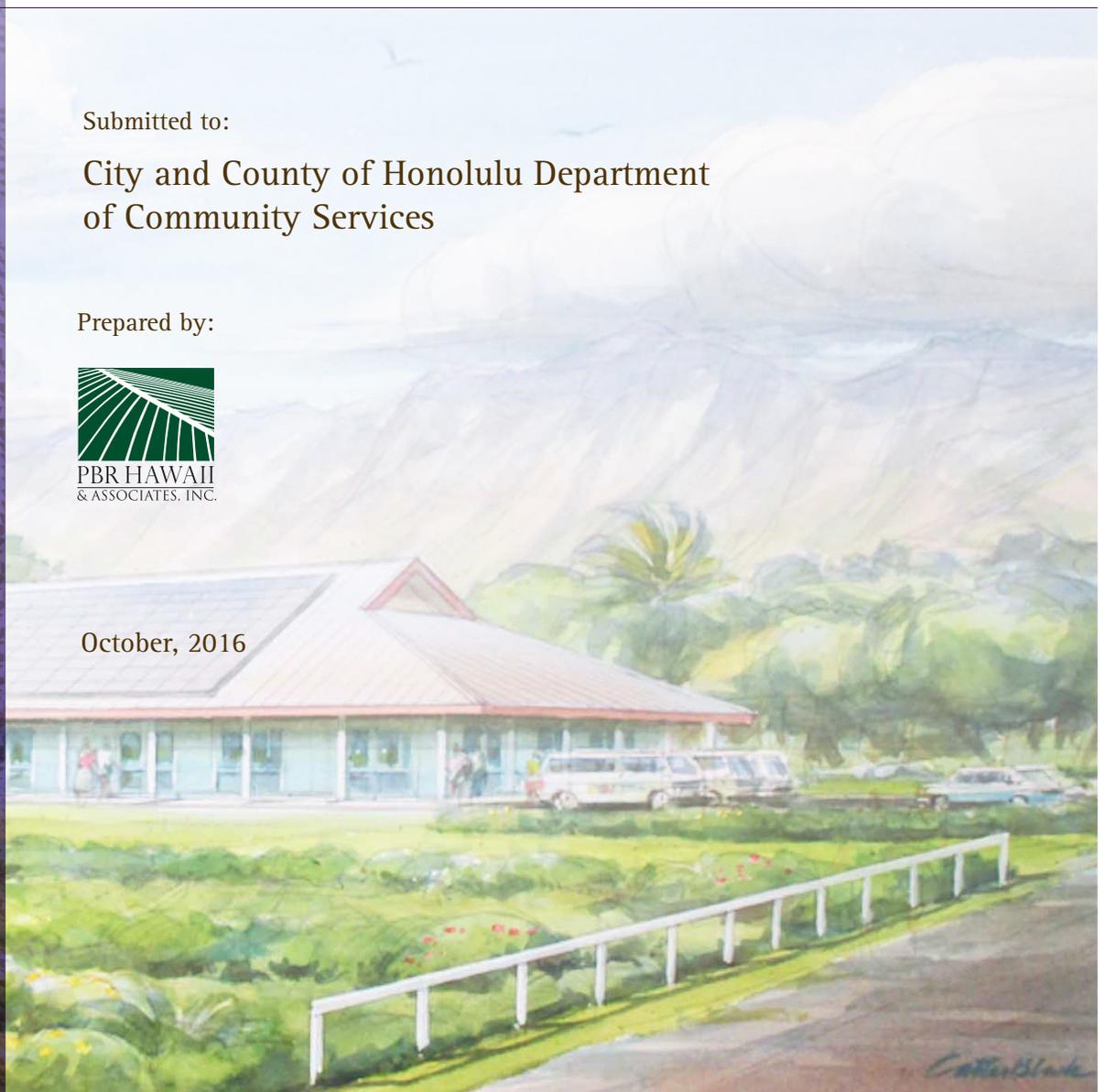
Submitted to:

City and County of Honolulu Department
of Community Services

Prepared by:



October, 2016



Community Training Kitchen at Ohana Ola ‘O Kahumana
Final Environmental Assessment – Finding of No Significant Impact

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- Appendix A: City Council Resolution 89-351
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- Appendix C: Anticipated 201H Exemptions
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- Appendix F: Pre-Assessment Consultation Comment Letters and Responses
- Appendix G: Wai‘anae Coast Neighborhood Board Meeting Notes
- Appendix H: Draft Environmental Assessment Comments and Responses

Community Training Kitchen at Ohana Ola ‘O Kahumana
Final Environmental Assessment – Finding of No Significant Impact

LIST OF ABBREVIATIONS

ALISH	Agricultural Lands of Importance to the State of Hawai‘i
ASI	Alternative Structures International
BMPs	Best Management Practices
CACFP	Child and Adult Care Food Program
dB	decibel(s)
DCS	Department of Community Services (City and County of Honolulu)
DEA	Draft Environmental Assessment
DHS	Department of Human Services (State of Hawai‘i)
DLNR	Department of Land and Natural Resources (State of Hawai‘i)
DPP	Department of Planning and Permitting (City and County of Honolulu)
EA	Environmental Assessment
FEA	Final Environmental Assessment
FIRM	Flood Insurance Rate Map
HAR	Hawai‘i Administrative Rules
HDOA	Department of Agriculture (State of Hawai‘i)
HIEMA	Hawai‘i Emergency Management Agency
HRS	Hawai‘i Revised Statutes
KUK	Kitchen at Ulu Ke Kukui
LSB	Land Study Bureau
NAAQS	National Ambient Air Quality Standards
NPDES	National Pollutant Discharge Elimination System
NRCS	Natural Resources Conservation Service
OOK	Ohana Ola ‘O Kahumana
USDA	United States Department of Agriculture
USFWS	United States Fish and Wildlife Service
WSCP	Wai‘anae Sustainable Community Plan

Community Training Kitchen at Ohana Ola 'O Kahumana
Final Environmental Assessment – Finding of No Significant Impact

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1 INTRODUCTION

This Environmental Assessment (EA) is prepared in accordance with the environmental review requirements of Hawai‘i Revised Statutes (HRS) Chapter 343, and Hawai‘i Administrative Rules (HAR), Title 11, Chapter 200. Section 343-5, HRS, establishes nine “triggers” that require compliance with these regulations, one of which is use of County or State lands or funds. The proposed Community Training Kitchen is located on City and County of Honolulu owned property, and therefore, an EA to consider the impacts of the proposed action on the human and natural environment is being prepared.

1.1 PROJECT SUMMARY

Project Name:	Community Training Kitchen at Ohana Ola ‘O Kahumana
Location:	Wai‘anae, O‘ahu (Figure 1)
Judicial District:	Wai‘anae
Tax Map Key (TMK):	Portion of 8-6-006: 001 (Figure 2)
Applicant:	Alternative Structures, Inc. dba Kahumana
Landowner:	City and County of Honolulu
Existing Uses:	Undeveloped land within a parcel that is currently developed with transitional housing called Ohana Ola ‘O Kahumana (OOOK), operated by Alternative Structures International (Figure 3)
Proposed Action:	The proposed project consists of constructing a 2,800-3,000 square foot kitchen facility, a parking/loading area for about a dozen vehicles, and an entrance off Kuwale Road.
Project Area:	Approximately one acre of 12.5-acre parcel
Land Use Designations:	<i>State Land Use:</i> Agriculture (Figure 4) <i>Wai‘anae Sustainable Community Plan:</i> Agriculture (Figure 5) <i>City and County of Honolulu Zoning:</i> Restricted Agricultural (AG-1) (Figure 6)
Special Management Area:	Not within the Special Management Area (SMA) (Figure 7)
Actions Requested:	Compliance with Chapter 343, Hawai‘i Revised Statutes Compliance with Hawai‘i Administrative Rules Title 11, Chapter 200

Community Training Kitchen at Ohana Ola ‘O Kahumana
Final Environmental Assessment – *Finding of No Significant Impact*

Approving Agency: City and County of Honolulu, Department of Community Services

Determination: Finding of No Significant Impact (FONSI)

1.2 LOCATION

The proposed project is located on an approximately one acre portion of undeveloped land within a 12-acre TMK parcel in Lualualei Valley on the Wai‘anae Coast of O‘ahu. The TMK parcel has two entrances with separate street addresses: 86-704 Lualualei Homestead Road and 86-433 Kuwale Road, Wai‘anae, HI 96792. The project site’s location is shown in Figure 1 and Figure 3. The southern portion of the parcel is currently developed with the Ohana Ola ‘O Kahumana transitional housing. Photographs of the project site are included as Figure 8.

1.3 LAND OWNERSHIP AND MAJOR APPROVALS REQUIRED

The property is owned by the City and County of Honolulu, and is identified as Tax Map Key (TMK) 8-6-006: 001. The TMK plat map for the property is provided as Figure 2.

Alternative Structures International (dba Kahumana) leases the Ohana Ola ‘O Kahumana property from the City & County of Honolulu, Department of Community Services (DCS).

1.3.1 Environmental Requirements

Preparation of this document is in accordance with the provisions of Chapter 343, HRS and Title 11, Chapter 200, HAR pertaining to Environmental Impact Statements (EIS). Section 343-5, HRS established nine “triggers” that require either an EA or an EIS. The use of County lands requires the preparation of this EA.

Community Training Kitchen at Ohana Ola ‘O Kahumana
Final Environmental Assessment – *Finding of No Significant Impact*

1.3.2 List of Anticipated Permits and Approvals

A list of anticipated permits and approvals are outlined in the table below.

Table 1: Anticipated Permits and Approvals

Agency	Anticipated Permit/Approval
State of Hawai‘i	
Department of Land and Natural Resources, Historic Preservation Division	<ul style="list-style-type: none"> • Section 6E, HRS Review (in process)
Department of Health	<ul style="list-style-type: none"> • Individual Wastewater System Permit
Department of Transportation	<ul style="list-style-type: none"> • If oversized loads anticipated, a permit from DOT Highways Division is required
City and County of Honolulu	
Department of Planning and Permitting	<ul style="list-style-type: none"> • Site Development approval • Grading permit • Trenching permit • Building permit • Construction Dewatering permit • Noise Permit for Construction Activities • Traffic Review Branch approval • Drainage Connection approval
Honolulu Fire Department	<ul style="list-style-type: none"> • Chapter 50 Commercial Cooking Equipment of the Fire Code during building plan review
Department of Transportation Services	<ul style="list-style-type: none"> • Street usage permit, if any construction work requires temporary closure of any traffic lane on a City Street
Board of Water Supply	<ul style="list-style-type: none"> • Water Availability approval
Honolulu City Council	<ul style="list-style-type: none"> • Approval of Exemptions under 201H, HRS

1.4 SURROUNDING LAND USES

The proposed project is located on an undeveloped portion of TMK 8-6-006: 001, which is bordered to the north, northwest, west, and south by farms, residential, military and community uses. Immediately to the southwest is Kahumana Organic Farm & Café, where the offices of Alternative Structures International (ASI, dba Kahumana) are located. The eastern portion of the project site is bordered by Kuwale Road, across which are single family residences and the

Community Training Kitchen at Ohana Ola ‘O Kahumana
Final Environmental Assessment – *Finding of No Significant Impact*

Divine Church of God. Beyond the farm to the south of the project site is Lualualei Homestead Road, across which is the Naval Radio Transmitter Facility Lualualei.

The southern portion of TMK 8-6-006: 001 is currently developed with transitional housing called Ohana Ola ‘O Kahumana, operated by Kahumana.

Farming and other agricultural activities also occur further to the north, west, and east of the proposed project.

1.5 Identification of Applicant, Approving Agency, and Environmental Consultant

The Applicant is Alternative Structures International dba Kahumana

Contact: Mr. Tom McDonald, Executive Director
86-660 Lualualei Homestead Road
Waianae, HI 96792
Phone: (808) 696-2655
Email: TMcDonald@asi-hawaii.org

The Approving agency is the City and County of Honolulu Department of Community Services

Contact: Mr. Steve Karel
Community Based Development Division
City and County of Honolulu
Department of Community Services
715 South King Street, Suite 311
Honolulu, Hawai‘i 96813
Phone: (808) 768-7753
Fax: (808) 768-7792

The environmental consultant is PBR HAWAII & Associates, Inc. (PBR HAWAII).

Contact: Ms. Catie Cullison, AICP, Senior Associate
PBR HAWAII
1001 Bishop Street, Suite 650
Honolulu, Hawai‘i 96813
Phone: (808) 521-5631
Fax: (808) 523-1402

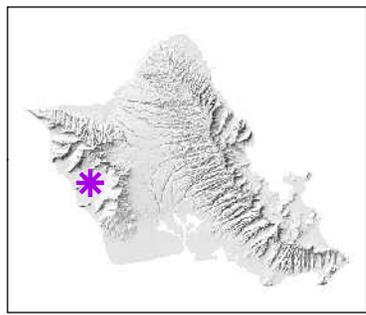


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DATE: 5/12/2016

LEGEND

-  Project Site
-  Ohana Ola 'O Kahumana Community



**FIGURE 1:
Regional Location Map**

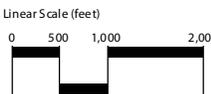
**Kahumana Community
Training Kitchen**

Alternative Structures International Island of Oahu

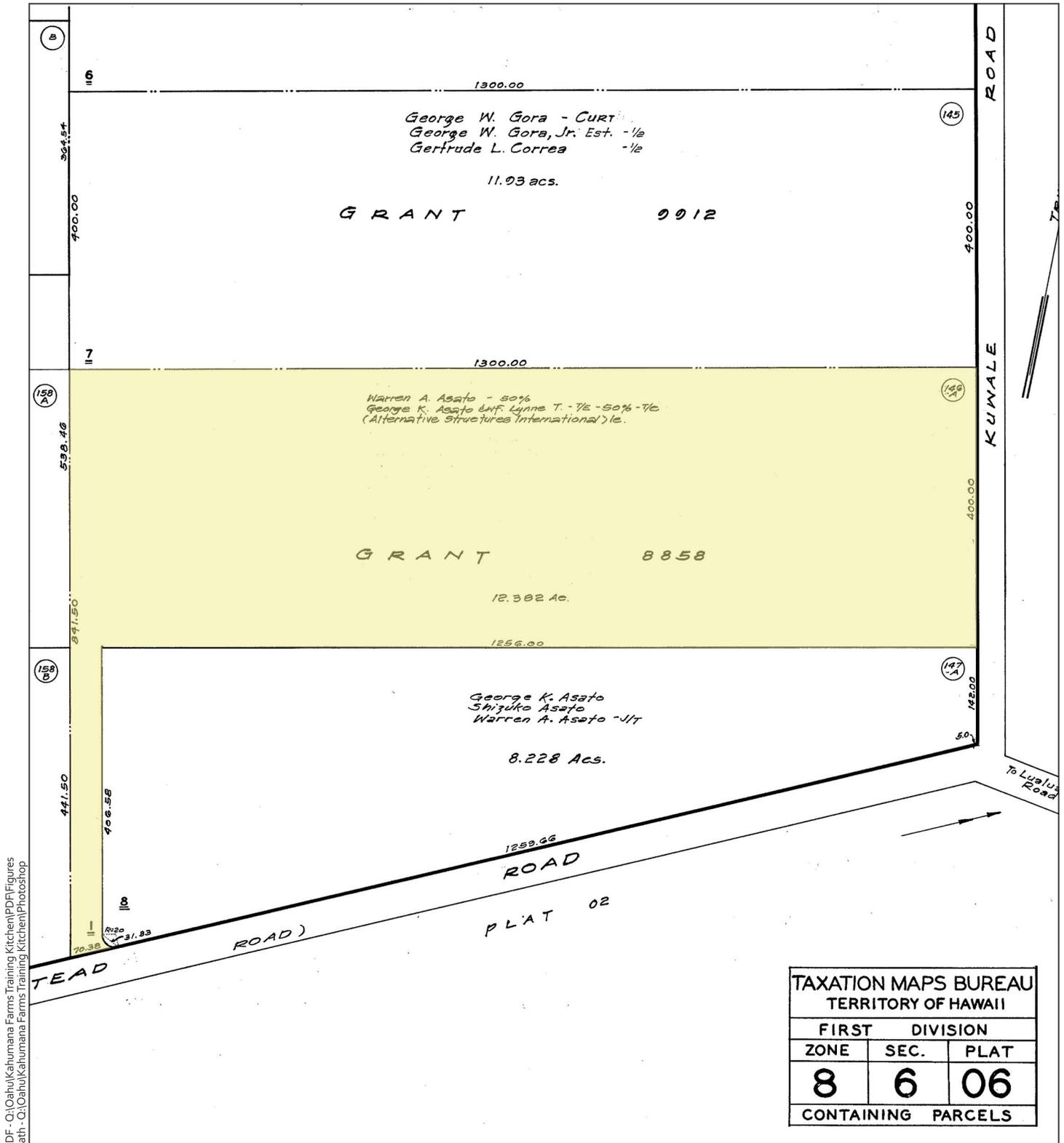
North



Linear Scale (feet)




Source: ESRI Online Basemaps.
Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.



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LEGEND

Ohana Ola 'O Kahumana Community

DRAFT 5/2/2016

FIGURE 2:
Tax Map Key

Kahumana Community Training Kitchen

Alternative Structures International Island of O'ahu

North

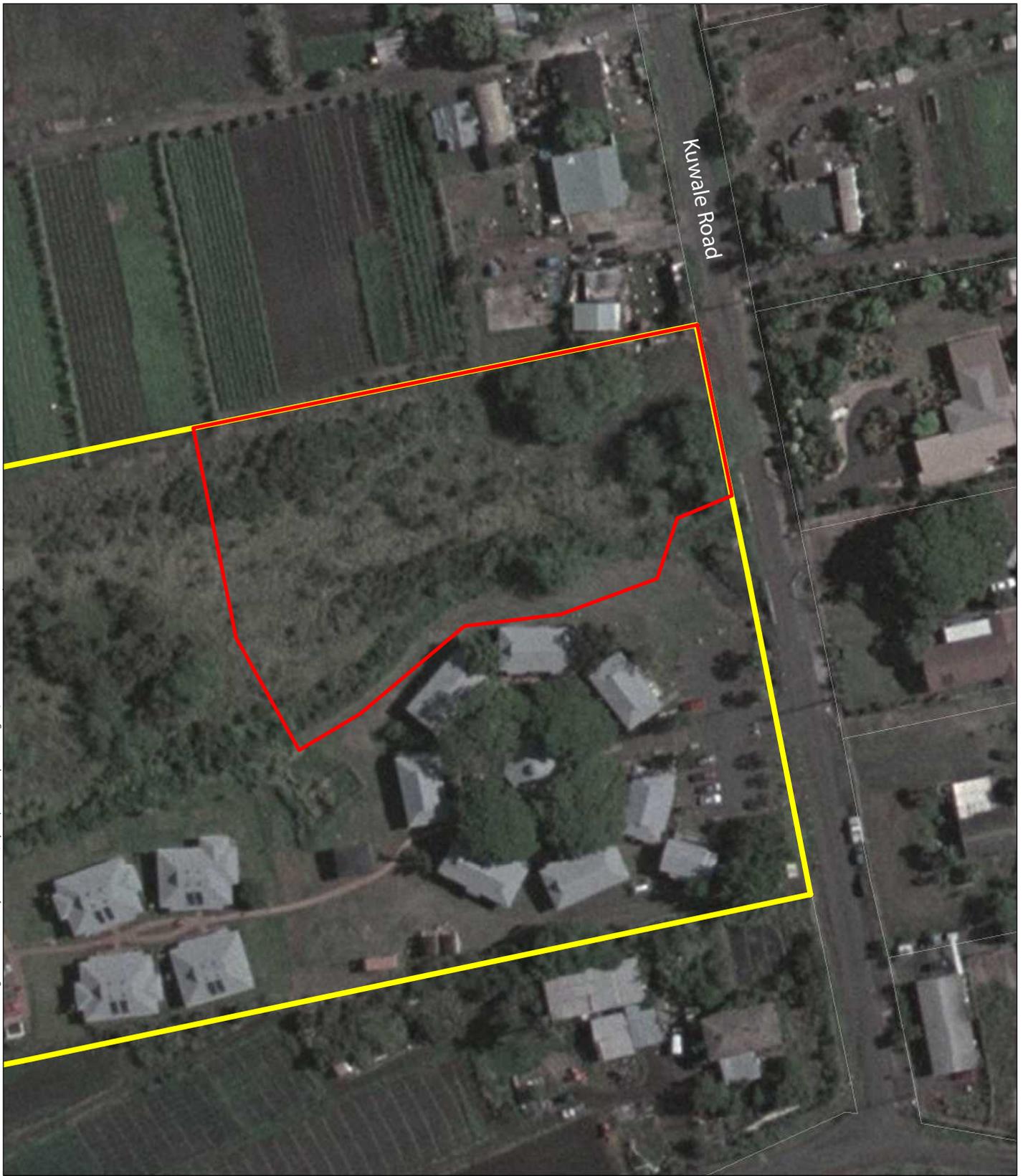
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PBR HAWAII & ASSOCIATES, INC.

Source: State of Hawai'i

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DATE: 5/6/2016

LEGEND

-  Project Site
-  Ohana Ola 'O Kahumana Community
-  Tax Map Key Parcels

FIGURE 3:
Aerial Photograph

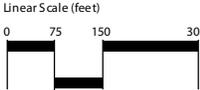
**Kahumana Community
Training Kitchen**

Alternative Structures International Island of Oahu

North



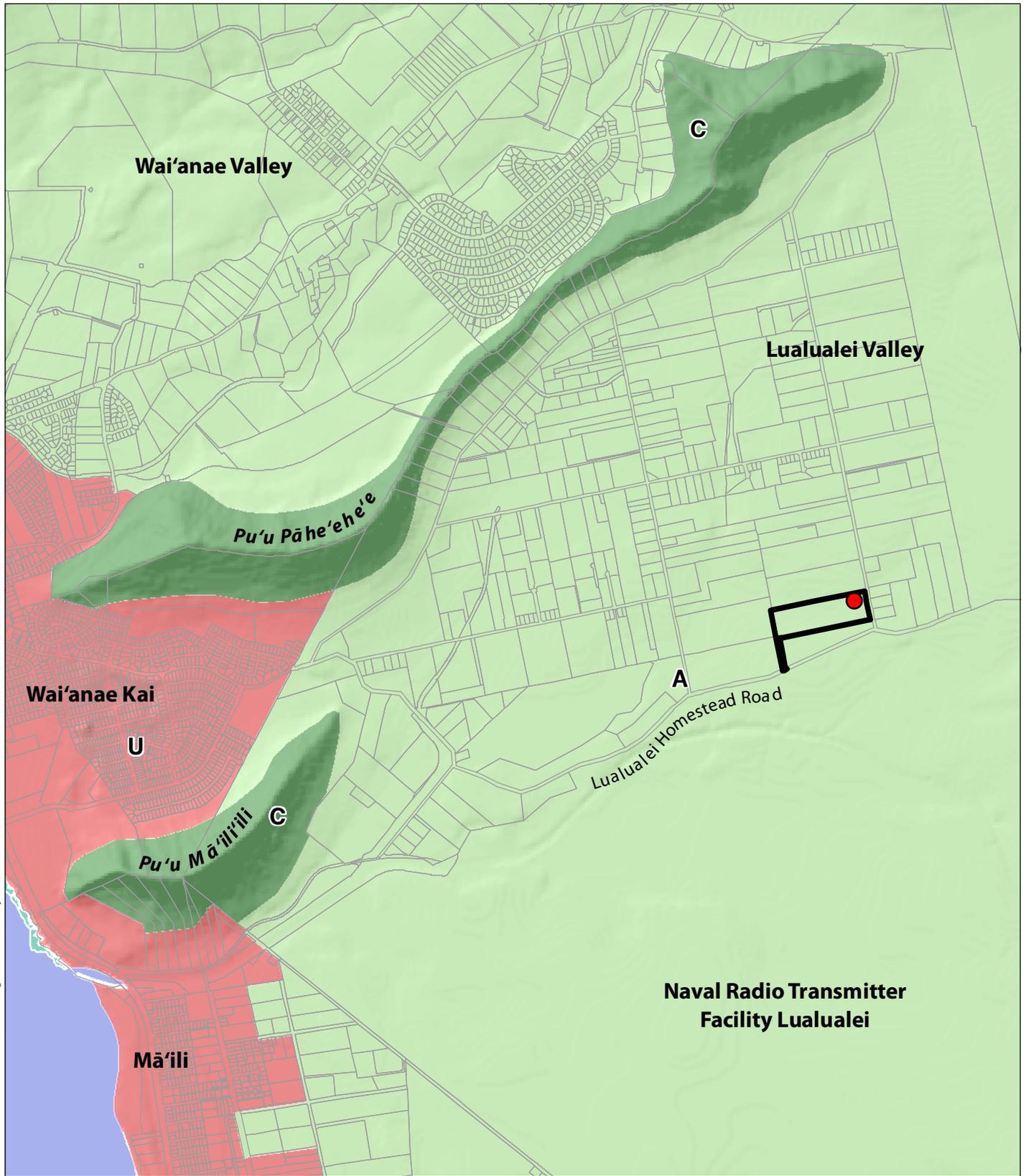
Linear Scale (feet)




Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

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DATE: 5/12/2016

LEGEND

- Project Site
- Ohana Ola'O Kahumana Community
- Tax Map Key Parcels
- A - Agriculture
- C - Conservation
- U - Urban

FIGURE 4:
State Land Use Districts

Kahumana Community Training Kitchen

Alternative Structures International Island of Oahu

North

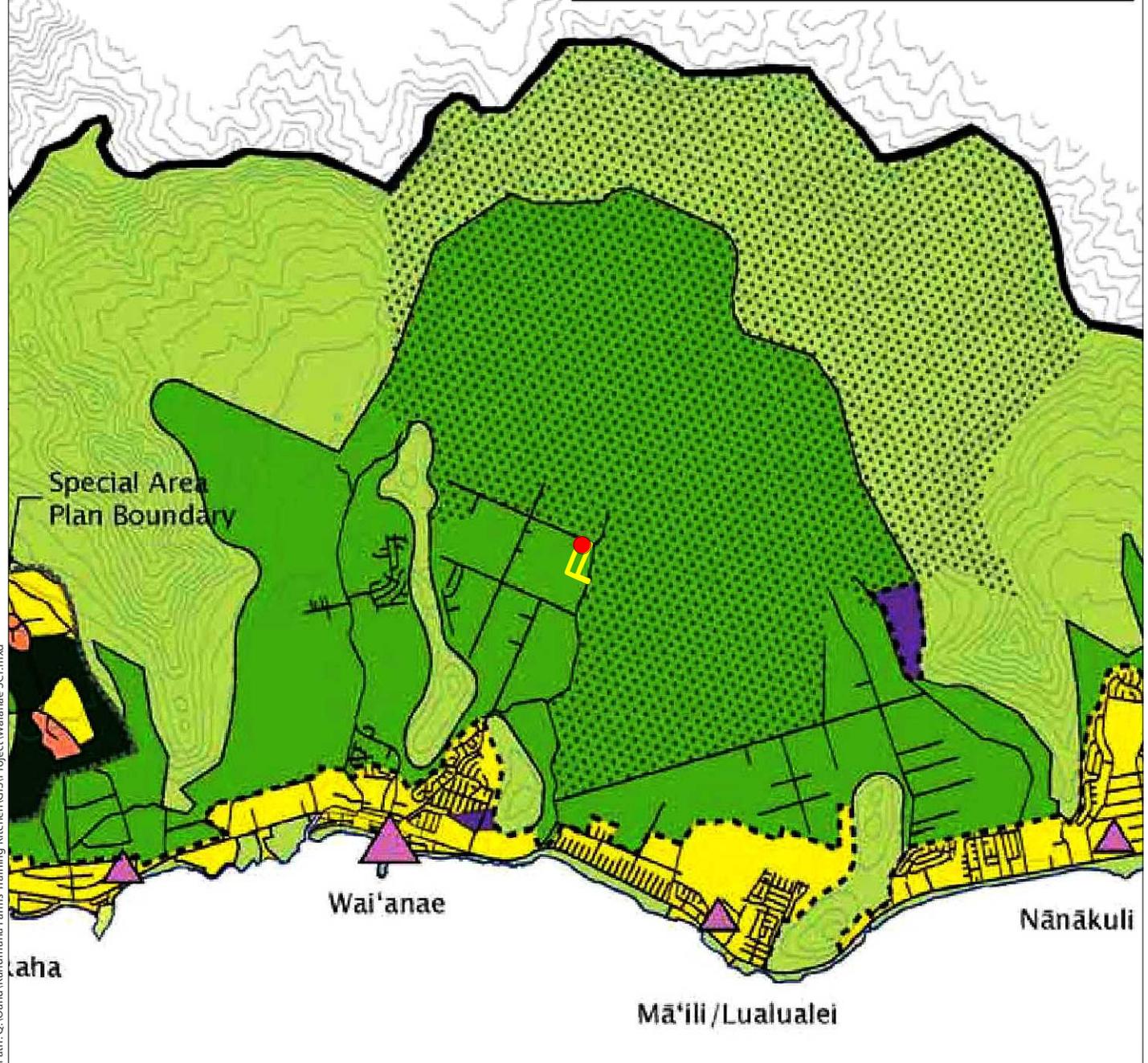
Linear Scale (feet)

0 500 1,000 2,000

Source: Hawai'i State Land Use Commission; City and County of Honolulu
 Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.

Legend

----- Community Growth Boundary	Dark Green Golf Course
..... Special Area Plan Boundary	Light Green Agriculture
Yellow Rural Residential	Lightest Green Preservation
Brown Medium Density Residential	Black Dotted Military
Orange Resort	Pink Triangle Country Town
Purple Industrial	Light Pink Triangle Rural Community Commercial Center



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DATE: 5/13/2016

LEGEND

- Project Site
- Ohana Ola 'O Kahumana Community

FIGURE 5:
Wai'anae Sustainable Communities Plan
Land Use Map

**Kahumana Community
Training Kitchen**

Alternative Structures International Island of O'ahu

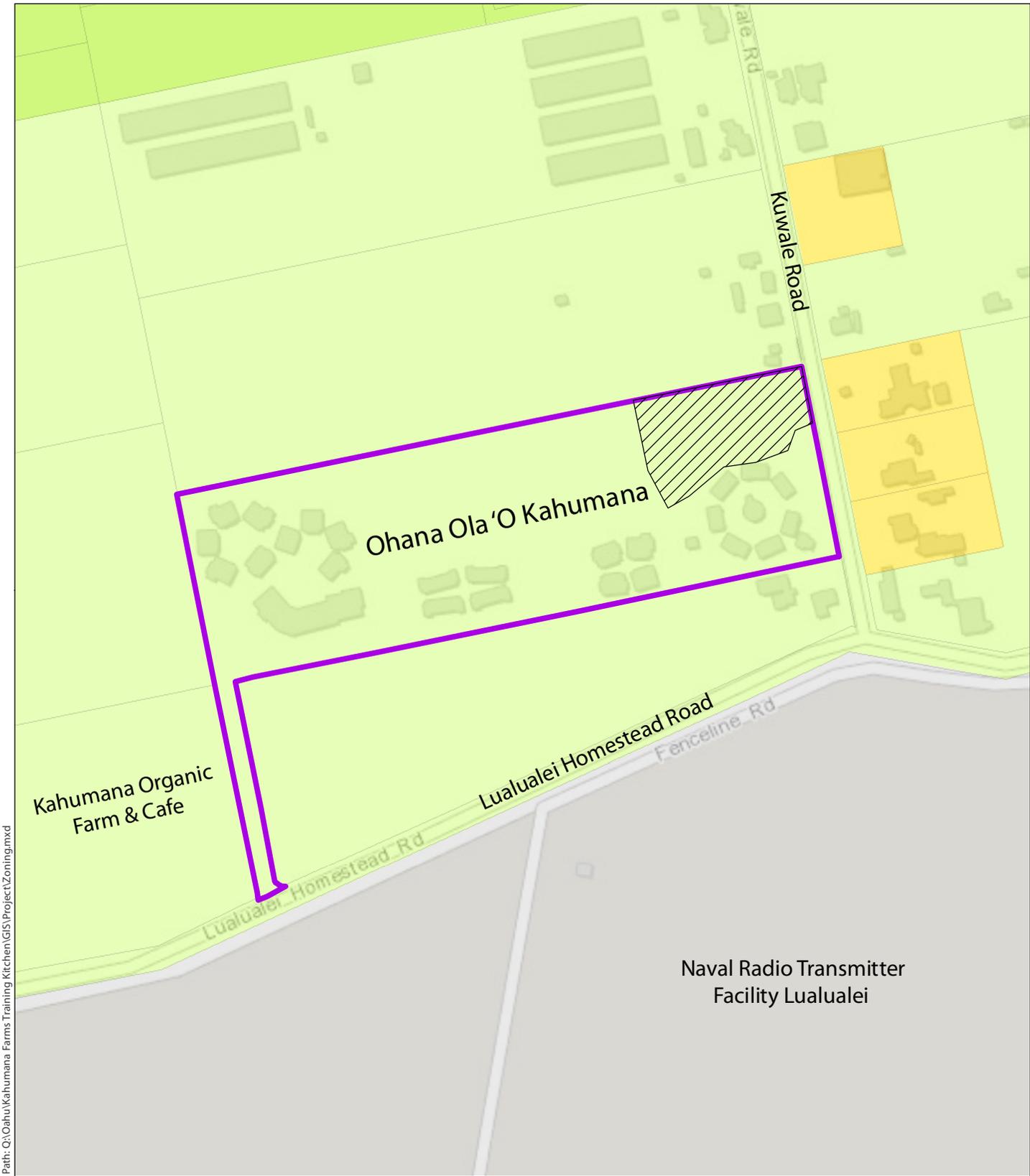
North

Linear Scale (feet)

0 1,500 3,000 6,000

PBR HAWAII & ASSOCIATES, INC.

Source: City and County of Honolulu (2012).
Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.



Path: Q:\Oahu\Kahumana Farms Training Kitchen\GIS\Project\Zoning.mxd

DATE: 5/2/2016

LEGEND

-  Project Site
-  Ohana Ola 'O Kahumana Community
-  Tax Map Key Parcels
-  F-1 (Military and Federal)
-  AG-1 (Restricted Agriculture)
-  AG-2 (General Agriculture)
-  Country

FIGURE 6:
City and County of Honolulu Zoning

Kahumana Community Training Kitchen

Alternative Structures International Island of Oahu

North

Linear Scale (feet)

0 75 150 300




Source: ESRI Online Basemaps; City and County of Honolulu
Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.



Path: Q:\Oahu\Kahumana Farms Training Kitchen\GIS\Project\SMA.mxd

DATE: 5/12/2016

LEGEND

- Project Site
- Ohana Ola'O Kahumana Community
- Tax Map Key Parcels
- Special Management Area

FIGURE 7:
Special Management Area
Kahumana Community Training Kitchen

Alternative Structures International Island of Oahu

North

Linear Scale (feet)

0 500 1,000 2,000

Source: City and County of Honolulu GIS database; ESRI basemaps
 Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.

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2 PROJECT DESCRIPTION

This project is being proposed by Alternative Structures International, dba Kahumana. Kahumana is a 501(c)(3) nonprofit organization founded on O‘ahu in 1974. Its mission is to co-create a healthy, inclusive and productive farm-based community with homeless families, people with disabilities, and youth. Kahumana achieves this mission through an integrated mix of social services, social ventures, and training venues (learn more at www.kahumana.org). This section provides background information and a general description of the proposed Community Training Kitchen (Kitchen) at Ohana Ola ‘O Kahumana.

2.1 NEED FOR THE PROJECT

At any given time, 122 families with minor, dependent children live in two transitional housing programs run by Kahumana. The program in Wai‘anae is called Ohana Ola ‘O Kahumana (Ohana Ola); the other, in Mā‘ili, is named Ulu Ke Kukui. Kahumana provides these families with case management and wrap-around services to help them transition to permanent housing within two years. It is a difficult journey for adults who may have low academic achievement, few job skills, or little or no work experience. Language may also pose a barrier: English is a second language for nearly half of the transitional housing residents. Other obstacles may include difficulty adjusting to structured work environments or reluctance to take on new responsibilities. These kinds of challenges make job training an essential stepping stone for families navigating their way from homelessness to self-sufficiency.

One of Kahumana’s job-training venues is the Kitchen at Ulu Ke Kukui. In the past, this kitchen has trained over 20 unemployed or extremely low-income people per year. The platform for their training is the fulfillment of meal contracts for underprivileged children: during the school year, the kitchen prepares approximately 1,100 healthy keiki meals per weekday. It is a successful program with high potential for growth. Based on on-going dialogue with kitchen clients, Kahumana estimates that it could double the kitchen’s production, which would provide for up to triple the number of trainees.

Expansion of the program to increase production is currently not possible given the existing kitchen’s cramped quarters. The existing Kitchen at Ulu Ke Kukui is approximately 1,386 sq. ft., excluding a corner office, toilet, and storage area for warmer bins and storage racks. It was originally meant to serve only the residents at Ulu Ke Kukui, and is extremely small for producing 1,100 meals per day. Moreover, Kahumana cannot physically expand the existing facility because it does not have site control of the property. The Ulu Ke Kukui property belongs to the Department of Hawaiian Home Lands (DHHL), which leases the land to the State of Hawai‘i. In turn, the State Department of Human Services (DHS) contracts with Kahumana to run the transitional housing program and kitchen at Ulu Ke Kukui.

An additional obstacle is that the lease for Ulu Ke Kukui will expire in 2018, leaving the existing kitchen’s future uncertain. Kahumana is thus exploring the possibility of building a new, larger facility on undeveloped land at Ohana Ola.

By locating the Kitchen at Ohana Ola, the keiki meal production program can be maintained on land where Kahumana has greater site control, thus providing more certainty that the program can continue uninterrupted and eventually expand. The location at Ohana Ola puts the Kitchen in immediate proximity to resident trainees and Kahumana Farm’s produce which is used in meal production.

2.2 KEY ELEMENTS OF THE PROPOSED PROJECT

2.2.1 Existing Facilities at Ohana Ola ‘O Kahumana

The Ohana Ola facilities include six one-bedroom units, 36 two-bedroom units, and six three-bedroom units. All units include a full kitchen and bathroom.

Ohana Ola was developed in two phases, both of which involved City Council Resolutions exempting the projects from certain planning, zoning, and development standards. Resolution 89-351 for Phase I was adopted on August 9, 1989 (Appendix A), City Council Resolution 00-198 CD1 for Phase II was adopted on October 18, 2000 (Appendix B). The entire housing complex occupies a little less than half of the 12.4 acre property, leaving approximately 6.5 acres undeveloped.

2.2.2 Proposed New Facility

Based on preliminary estimates, the new Kitchen facility will occupy approximately one acre and will include a 2,800-to-3,000 sq. ft. building, an individual wastewater system, a parking/loading area for about twelve vehicles, a footbridge between Ohana Ola and the Kitchen, and a vehicle entrance off Kuwale Road. The estimated cost for this project is \$2.4 million.

2.2.3 Project Goals & Objectives

The goals of this project are to retain and expand Kahumana’s kitchen training program by building a larger facility and locating it where Kahumana will have long-term site control.

The objectives are to create 20 part-time (19 hours/week), temporary trainee positions, and for trainees to transition to jobs in the larger community in three to six months. Thus, for every 12-month period, the program is expected to serve 50-to-60 individuals. The primary source for filling these trainee positions will be adults who live at Ohana Ola.

Secondary objectives include:

- Uninterrupted continuation of the keiki meal program, which feeds 1,100 underprivileged children every day.
- Growth of the keiki meal program, to respond to increasing demand.
- Utilization of produce grown at Kahumana Farms to the extent possible to strengthen connections with and stewardship of the ‘āina in the farm-to-table process.

2.2.4 Personnel

On-the-job training in the kitchen will continue to be conducted by Kahumana’s Kitchen Manager. The current Kitchen Manager is a former resident of Ohana Ola who worked her way

Community Training Kitchen at Ohana Ola ‘O Kahumana
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up from volunteering at the kitchen at Ulu Ke Kukui. She is credited with significantly increasing the kitchen’s meal contracts and is a driving force behind this project.

The Kitchen Manager is now supported by an Employment Specialist. This new position was created in March 2016 to recruit transitional housing residents for Kahumana's training programs, and to provide trainees with intensive, one-on-one coaching to help them complete their training and find permanent employment. Since the Employment Specialist started, the kitchen has added five trainees to its staff of two part-time and eight full-time employees (including the Manager and Assistant Manager).

The Kitchen Manager’s support team also includes Kahumana’s Human Resource Manager, Child Care Director, Housing Specialist, and the Case Managers for the transitional housing programs. They work to ensure that the training process is integrated with each individual’s transitional plan.

2.2.5 Project Site Advantages

Situating the new Community Training Kitchen (Kitchen) facility at Ohana Ola will offer several advantages over its current location at Ulu Ke Kukui. Residents in the transitional housing complex will be able to walk to the Kitchen via a short footbridge. This will make the program accessible to all housing residents, including those who cannot afford to own cars or pay for bus fare. The proposed site will be within walking distance of the organic farm that is being planned for 2.5 acres of the remaining undeveloped land at Ohana Ola, and Kahumana’s existing nine-acre farm that is adjacent to Ohana Ola. The close proximity of the new Kitchen to the farms will create innumerable opportunities for educating participants about the farm-to-table process.

Further, Kahumana plans to open a third, 16-acre farm farther up Kuwale Road from the proposed Kitchen in late 2016. Together, the three farms are expected to supply a steady stream of fresh organic produce and eggs for the meals prepared by the Kitchen for underprivileged children.

2.2.6 Conceptual Plan

The current plan for the Kitchen at Ohana Ola ‘O Kahumana encompasses approximately one acre of built space that includes a 2,800- to 3,000-square-foot building, a parking/loading area with approximately 12 standard parking stalls and one loading stall, and an entrance off Kuwale Road (Figure 9).

2.3 PROJECT IMPLEMENTATION

2.3.1 Timing of Action

Construction of the Kitchen is hoped to be completed in the spring of 2018.

2.3.2 Estimated Cost

The estimated project cost is approximately \$2.4M.

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1. View from Kuwale Road of drainage ditch to the west/makai (Ohana Ola 'O Kahumana housing and parking lot on the left)



2. View from Kuwale Road of drainage ditch to the west/makai



3. Northward view up Kuwale Road (toward Pu'u Pāhe'ehe'e), with project site on the left



4. Approximate location of proposed access driveway, currently overgrown with vegetation



5. View of northeast corner of project site



6. View from Ohana Ola I overlooking drainage ditch to the northwest



Key Map

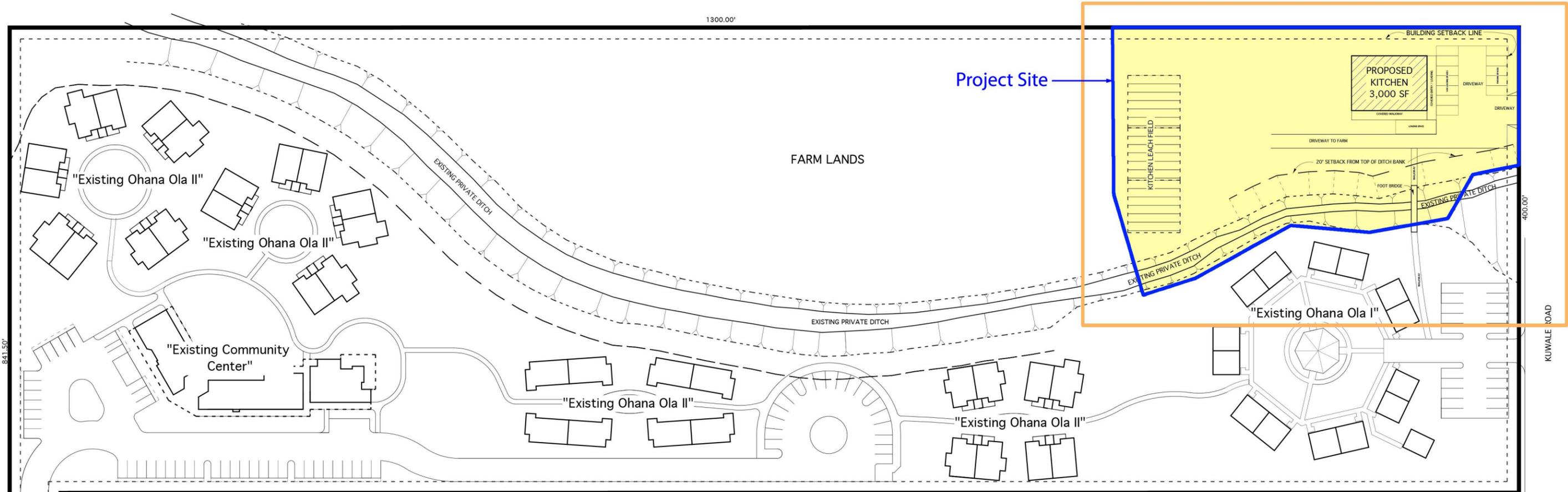
**Figure 8
Site Photographs**

Kahumana Farms Training Kitchen

ISLAND OF O'AHU

DATE: 05/12/2016



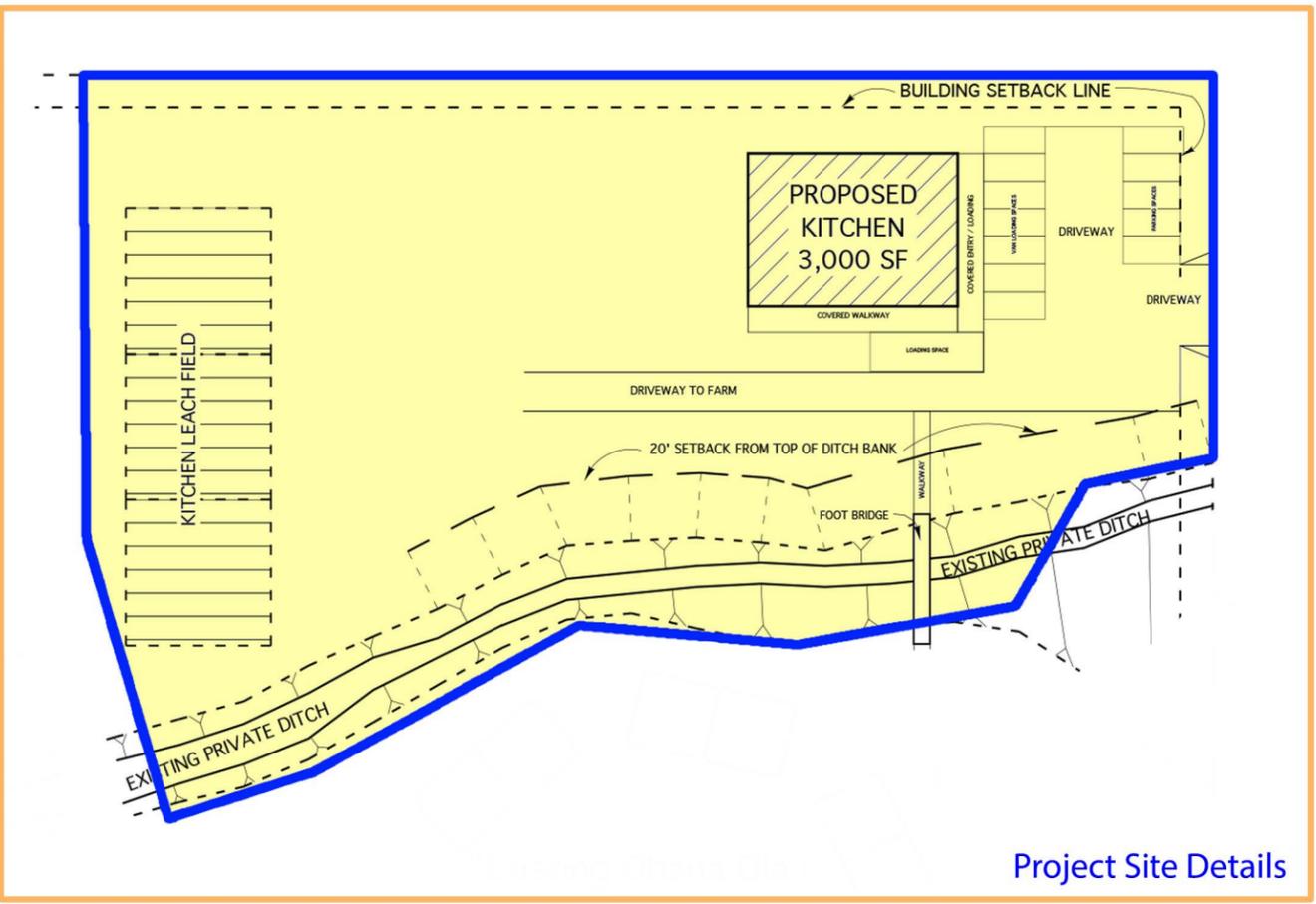


Ohana Ola 'O Kahumana Community

CODE INFORMATION

TAX MAP KEY: 8 - 6 - 006 : 001
 LOCATION: 86-433 Kuwale Road, Waianae, Hawaii 96792
 ZONING: AG-1
 OCCUPANCY: RESIDENTIAL
 TYPE OF CONSTRUCTION: V-B

JOHN VITO GRANITO
 ARCHITECT & ASSOCIATES
 47-635 UAKEA PLACE
 KANEHOE, HAWAII 96744 PHONE: 239-7318



Project Site Details

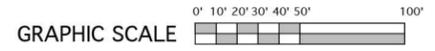
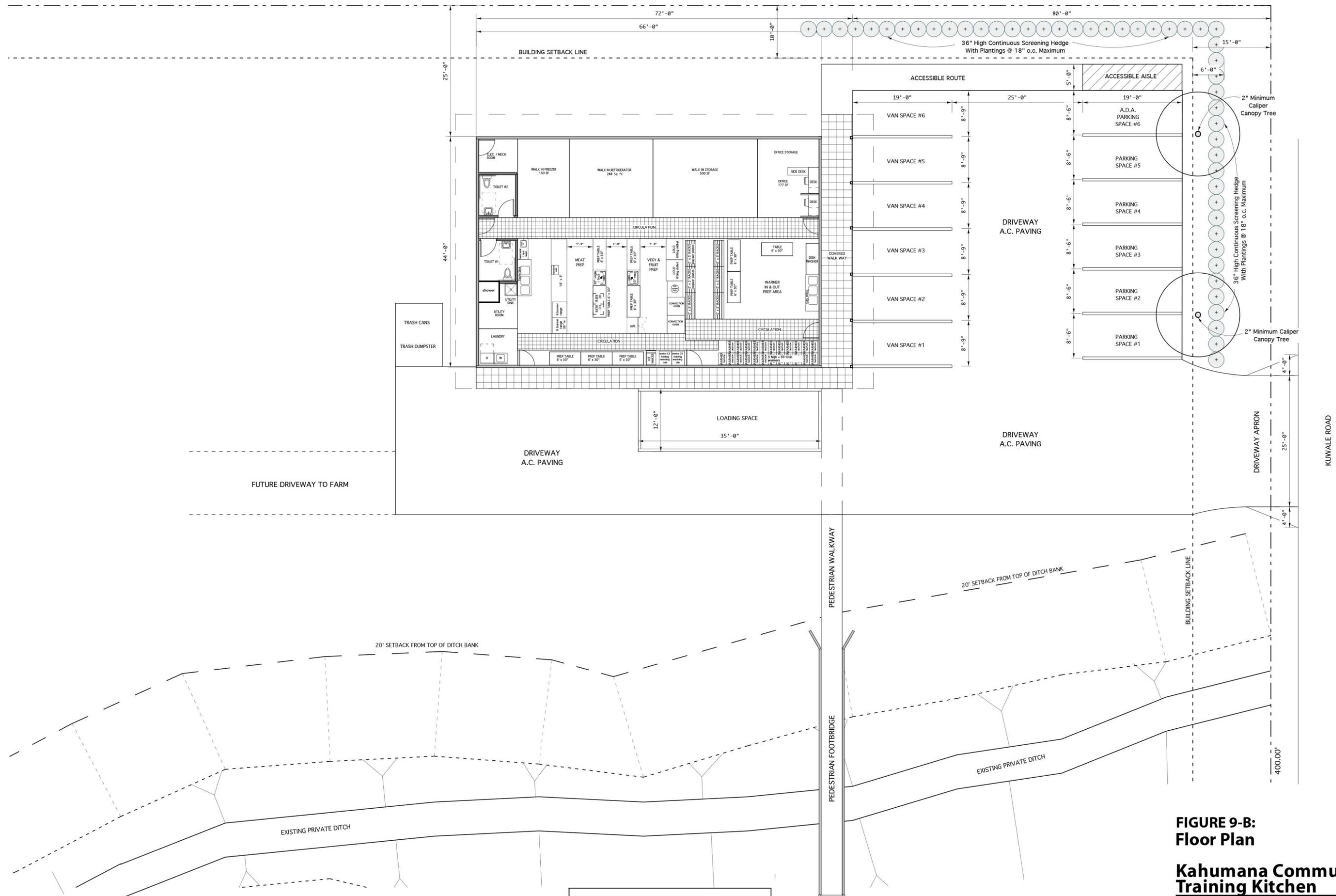
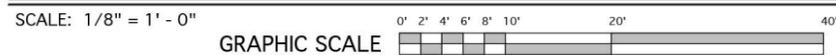


FIGURE 9-A:
Conceptual Site Plan

Kahumana Community Training Kitchen

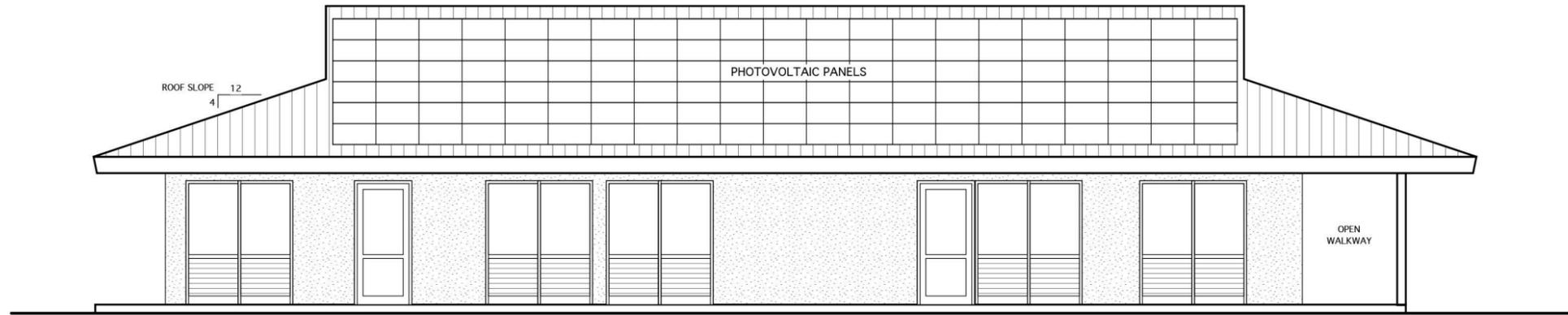


KITCHEN FLOOR PLAN



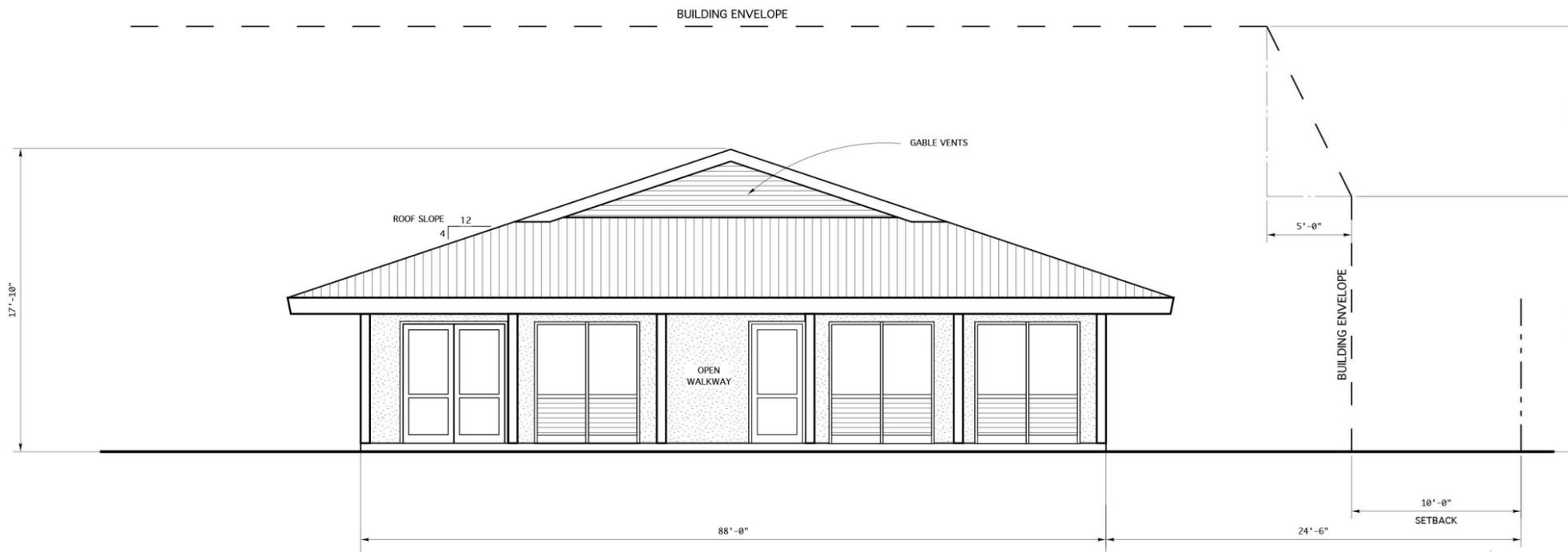
**JOHN VITO GRANITO
ARCHITECT & ASSOCIATES**
47-635 UAKEA PLACE
KANEHE, HAWAII 96744 PHONE: 239-7318

**FIGURE 9-B:
Floor Plan**
**Kahumana Community
Training Kitchen**



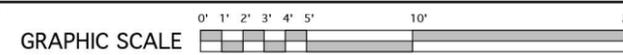
SOUTH ELEVATION DESIGN

SCALE: 1/4" = 1' - 0"



EAST ELEVATION DESIGN

SCALE: 1/4" = 1' - 0"



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**FIGURE 9-C:
 Elevations**

**Kahumana Community
 Training Kitchen**

Alternative Structures International

Island of Oahu



3 RELATION TO PLANS AND POLICIES

The State of Hawai‘i and City and County of Honolulu land use plans, policies, required permits and approvals relevant to the proposed project are described below.

3.1 STATE OF HAWAI‘I

3.1.1 “Aloha Spirit” Law, Chapter 5-7.5, Hawai‘i Revised Statutes

This law directs that State of Hawai‘i executive and judicial branch leadership, in exercising their power in fulfillment of their responsibilities give consideration to the “Aloha Spirit”. As codified in Hawai‘i Revised Statutes, “Aloha Spirit” is embodied in five Native Hawaiian concepts:

"Akahai", meaning kindness to be expressed with tenderness;

"Lokahi", meaning unity, to be expressed with harmony;

"Oluolu", meaning agreeable, to be expressed with pleasantness;

"Haahaa", meaning humility, to be expressed with modesty;

"Ahonui", meaning patience, to be expressed with perseverance.

Discussion: While no discretionary approvals are being sought by State Agencies, the EIS law and State Land Use Law are governed by State Statutes. The “Aloha Spirit” law notes the “*essence of relationships in which each person is important to every other person for collective existence*”. The “Aloha Spirit” law reflects this project’s purpose and objectives in the use of land and resources to support and uplift people of Hawai‘i who are in need.

3.1.2 Chapter 201H, Hawai‘i Revised Statutes

Chapter 201H, HRS authorizes the State and Counties to develop or assist in the development of housing projects. To that end, Section 201H-38, HRS allows exemptions for qualified housing projects to all statutes, ordinances, charter provisions, and rules of any government agency relating to planning, zoning, construction standards for subdivisions, development and improvement of land, and the construction of dwelling units thereon. The Statute enables the Counties to set forth an approval process to ensure projects are qualified.

Discussion:

The proposed project will add a “community facility” to Ohana Ola ‘O Kahumana transitional housing for homeless families. HRS Section 201H-1 defines “community facilities” as including “real and personal property; buildings, equipment, lands and grounds for recreational or social assemblies, or educational, health, or welfare purposes; and necessary or convenient utilities, when designed primarily for the benefit and use of the corporation or the occupants of the dwelling.”

In order to minimize development costs, Alternative Structures International (ASI, dba Kahumana) will seek exemptions and deferrals from fees and permits under HRS Section 201H-38 “Housing development; exemptions from statutes, ordinances, charter provisions, and rules.”

Community Training Kitchen at Ohana Ola 'O Kahumana
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An application will be submitted to the City and County of Honolulu for eventual approval by the City Council. It allows eligible 201H projects to seek exemptions from all statutes, ordinances, charter provisions, and rules of any government agency relating to planning, zoning, construction standards for subdivisions, development and improvement of land, and the construction of dwelling units thereon, provided they do not negatively affect the health and safety of the general public. A draft list of exemptions that Kahumana anticipates requesting is provided in Appendix C.

Comments to the Draft Environmental Assessment pertaining to the 201H process were provided by the State of Hawai'i Department of Agriculture (HDOA). HDOA comments acknowledge that Chapter 201H, HRS exempts qualifying activities from certain City and State laws, in particular the special use permit requirement of Chapter 205, HRS. The HDOA comments further recognized that the project scope has been considerably downsized through the planning process. The HDOA noted that while they prefer that the subject project seek approval through the special permit process in light of the many agricultural operations adjacent to and in the vicinity of the Ohana Ola facilities, they provided recommendations for approval, should the 201H process be pursued. Specifically, the HDOA suggested that every reasonable effort be made to carry out representations regarding the incorporation of Kahumana's agricultural crops and protein (egg) production in the meal produced in the Kitchen. Kahumana is prepared to follow through with this commitment.

3.1.3 State Land Use Law, Chapter 205, Hawai'i Revised Statutes

The State Land Use Law (Chapter 205, HRS), establishes the State Land Use Commission (LUC) and authorizes this body to designate all lands in the State into one of four districts: Urban, Rural, Agricultural, or Conservation. These districts are defined and mapped by the LUC in order to ensure compatibility with neighboring land uses and protection of public health.

Discussion: The proposed project is located within the State Agricultural District (Figure 4). As established by City Council Resolution 89-351 (adopted August 9, 1989) and City Council Resolution 00-198 CD1(adopted October 18, 2000). Ohana Ola has been granted exemptions from the State Land Use Agricultural District Boundary to allow residential use (transitional housing) in an agricultural district. See Appendices A and B. The proposed project will seek an exemption to Chapter 205, HRS to add a “community facility” to Ohana Ola `O Kahumana transitional housing for homeless families. The proposed project will be an integral part of the Ohana Ola transitional housing program, as it will provide Ohana Ola residents with vital job training that will be an essential stepping stone for families navigating their way from homelessness to self-sufficiency. By situating the new facility at Ohana Ola, residents in the transitional housing complex will be able to walk to the kitchen. This will make the program accessible to all housing residents, including those who cannot afford to own cars or pay for bus fare.

The proposed site also will be within walking distance of three organic farms: one that is being planned for 2.5 acres of the remaining undeveloped land at Ohana Ola, Kahumana's existing nine-acre farm that is adjacent to Ohana Ola, and a 16-acre farm initiated in 2016 on Kuwale Road. The close proximity of the new kitchen to the farms will not only complement and

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enhance the agricultural activities of both Kahumana and Ohana Ola, it will also streamline the process of incorporating fresh farm produce into the kitchen’s meals for underprivileged children. The proposed facility will thus provide a necessary link in the agricultural/food chain connecting farm to table.

3.1.4 Coastal Zone Management Act, Chapter 205A, Hawai‘i Revised Statutes

The Coastal Zone Management (CZM) Area, as defined in Chapter 205A, HRS, includes all the lands of the State of Hawai‘i. The project site sits inland from the shoreline and is located outside of the Special Management Area (SMA) (see Figure 7). The proposed project should have little to no negative impact on the goals set forth in the State’s ten management objectives. CZM Act Program management objectives and applicability to the proposed project are discussed below:

3.1.4.1 Recreational Resources

Objective: Provide coastal recreational opportunities accessible to the public.

Policy A: Improve coordination and funding of coastal recreational planning and management; and,

Policy B: Provide adequate, accessible, and diverse recreational opportunities in the coastal zone management area by:

- (i) Protecting coastal resources uniquely suited for recreational activities that cannot be provided in other areas;
- (iii) Providing and managing adequate public access, consistent with conservation of natural resources, to and along shorelines with recreational value;
- (iv) Providing an adequate supply of shoreline parks and other recreational facilities suitable for public recreation;
- (vii) Developing new shoreline recreational opportunities, where appropriate, such as artificial lagoons, artificial beaches, and artificial reefs for surfing and fishing; and
- (viii) Encouraging reasonable dedication of shoreline areas with recreational value for public use as part of discretionary approvals or permits by the land use commission, board of land and natural resources, and County authorities; and crediting such dedication against the requirements of section 46-6.

Discussion: The proposed project will be located inland, approximately 2 miles away from the shoreline; therefore, it is anticipated that there will be no effect on existing coastal recreational resources.

3.1.4.2 Historic Resources

Objective: Protect, preserve and, where desirable, restore those natural and man-made historic and prehistoric resources in the coastal zone management area that are significant in Hawaiian and American history and culture.

Policy A: Identify and analyze significant archaeological resources;

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Policy B: Maximize information retention through preservation of remains and artifacts or salvage operations; and

Policy C: Support State goals for protection, restoration, interpretation, and display of historic resources.

Discussion: The Archaeological Assessment in Appendix D recommends no further archaeological work for the survey area. Additional information on historic, archaeological, and cultural resources is included in Section 4.7 of this EA. Should any unknown sites be encountered during project development, work in the immediate area will halt and the State Historic Preservation Division will be notified in accordance with State regulations.

3.1.4.3 Scenic and Open Space Resources

Objective: Protect, preserve and, where desirable, restore or improve the quality of coastal scenic and open space resources.

Policy A: Identify valued scenic resources in the coastal zone management area;

Policy B: Ensure that new developments are compatible with their visual environment by designing and locating such developments to minimize the alteration of natural landforms and existing public views to and along the shoreline;

Policy C: Preserve, maintain, and, where desirable, improve and restore shoreline open space and scenic resources; and

Policy D: Encourage those developments which are not coastal dependent to locate in inland areas.

Discussion: The proposed project will be located inland, approximately 2 miles away from the shoreline. This region has open space with outstanding views of the Wai‘anae Mountain Range to the north and east. The project site will be transformed from vacant land to a kitchen training facility. Best Management Practices (BMPs) will be employed during construction to reduce erosion of soils and fugitive dust during construction. It is anticipated that there will be no effect on the quality of the coastal scenic resources. See Section 4.10 for a discussion on visual resources.

3.1.4.4 Coastal Ecosystems

Objective: Protect valuable coastal ecosystems, including reefs, from disruption and minimize adverse impacts on all coastal ecosystems.

Policy A: Exercise an overall conservation ethic, and practice stewardship in the protection, use, and development of marine and coastal resources;

Policy B: Improve the technical basis for natural resource management;

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Policy C: Preserve valuable coastal ecosystems, including reefs, of significant biological or economic importance;

Policy D: Minimize disruption or degradation of coastal water ecosystems by effective regulation of stream diversions, channelization, and similar land and water uses, recognizing competing water needs; and

Policy E: Promote water quantity and quality planning and management practices that reflect the tolerance of fresh water and marine ecosystems and maintain and enhance water quality through the development and implementation of point and nonpoint source water pollution control measures.

Discussion: Although the proposed project is located inland and approximately 2 miles away from the shoreline, its development will incorporate measures to mitigate any water quality impacts from surface runoff in accordance with applicable State and County drainage regulations. Controlling runoff particularly helps to ensure that the construction does not increase inputs of sediment into Mā'ili'ili Stream.

It is anticipated that over the long term the proposed project will not have a deleterious effect on the quality of the coastal ecosystems. Low Impact Development (LID) techniques incorporated into the site design will keep stormwater infiltrating on site. LID measures are expected to be the installation of landscaping with native plants to accept stormwater runoff from the kitchen's rooftop and parking lot. Additional measures may include use of cisterns for rainwater harvest, and use of pervious pavement in the parking lot. Specific LID techniques will be determined upon further site examination (infiltration tests) and grading design.

In the short term, construction Best Management Practices (BMPs) for stormwater will be determined by the site contractor. However, they are expected to include measures to ensure that dirt and sediment are not allowed to wash into the adjacent drainageway or be tracked on to Kuwale Road by trucks and equipment.

3.1.4.5 Economic Uses

Objective: Provide public or private facilities and improvements important to the State's economy in suitable locations.

Policy A: Concentrate coastal dependent development in appropriate areas;

Policy B: Ensure that coastal dependent development such as harbors and ports, and coastal related development such as visitor industry facilities and energy generating facilities, are located, designed, and constructed to minimize adverse social, visual, and environmental impacts in the coastal zone management area; and

Policy C: Direct the location and expansion of coastal dependent developments to areas presently designated and used for such developments and permit reasonable long-term growth at

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such areas, and permit coastal dependent development outside of presently designated areas when: (i) use of presently designated locations is not feasible; (ii) adverse environmental effects are minimized; and (iii) the development is important to the State's economy.

Discussion: The proposed project does not directly impact the State’s coastal-dependent economy, however, during construction it will generate short-term employment (and accompanying State income and excise tax revenue). Once operational, the proposed training kitchen will provide workforce training that aims to reduce unemployment, thereby strengthening the local economy.

3.1.4.6 Coastal Hazards

Objective: Reduce hazard to life and property from tsunami, storm waves, stream flooding, erosion, subsidence, and pollution.

Policy A: Develop and communicate adequate information about storm wave, tsunami, flood, erosion, subsidence, and point and non-point source pollution hazards;

Policy B: Control development in areas subject to storm wave, tsunami, flood, erosion, hurricane, wind, subsidence, and point and non-point source pollution hazards;

Policy C: Ensure that developments comply with requirements of the Federal Flood Insurance Program; and

Policy D: Prevent coastal flooding from inland projects.

Discussion: The project site is located approximately 2 miles inland, well outside the tsunami evacuation zone (Figure 18) and within an undetermined flood zone.

The location, rural Wai‘anae may be vulnerable to wildfire. According to the City and County of Honolulu, the greatest danger of fire is where wildlands (trees and brush) border urban areas. Development of the kitchen grounds and eventual irrigated farm development of the remainder of the parcel will remove the existing fuel (overgrown grasses), providing a functional firebreak to the Kitchen. Additionally, the Kitchen facility will be subject to Ohana Ola’s established emergency plan that includes provisions for the safe evacuation of residents, staff, and visitors.

3.1.4.7 Managing Development

Objective: Improve the development review process, communication, and public participation in the management of coastal resources and hazards.

Policy A: Use, implement, and enforce existing law effectively to the maximum extent possible in managing present and future coastal zone development;

Policy B: Facilitate timely processing of applications for development permits and resolve overlapping or conflicting permit requirements; and

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Policy C: Communicate the potential short and long-term impacts of proposed significant coastal developments early in their life cycle and in terms understandable to the public to facilitate public participation in the planning and review process.

Discussion: Improvements will be developed in accordance with all Federal, State, and County requirements and standards affecting health and safety. Due to the project site’s inland location and relatively small size, it should not be considered a “significant coastal development.” However, this EA is intended to communicate the potential short and long-term impacts of the proposed project to the public to facilitate public participation in the planning and review process.

3.1.4.8 Public Participation

Objective: Stimulate public awareness, education, and participation in coastal management.

Policy A: Promote public involvement in coastal zone management processes;

Policy B: Disseminate information on coastal management issues by means of educational materials, published reports, staff contact, and public workshops for persons and organizations concerned with coastal issues, developments, and government activities; and

Policy C: Organize workshops, policy dialogues, and site-specific mediations to respond to coastal issues and conflicts.

Discussion: Kahumana has contacted various stakeholders in the community, including government agencies, public officials, Native Hawaiian Organizations, neighbors in surrounding residences, and other community members regarding the proposed project. Lists of those consulted and corresponded with regarding the Kitchen are listed in Chapter 7. Kahumana also made a presentation to the Wai‘anae Coast Neighborhood Board (NB) on July 5, 2016.

3.1.4.9 Beach Protection

Objective: Protect beaches for public use and recreation.

Policy A: Locate new structures inland from the shoreline setback to conserve open space, minimize interference with natural shoreline processes, and minimize loss of improvements due to erosion;

Policy B: Prohibit construction of private erosion-protection structures seaward of the shoreline, except when they result in improved aesthetic and engineering solutions to erosion at the sites and do not interfere with existing recreational and waterline activities; and

Policy C: Minimize the construction of public erosion-protection structures seaward of the shoreline.

Discussion: Due to the distance from the shoreline, no adverse impact to area beaches is anticipated by the structure and infrastructure proposed as part of the project.

Community Training Kitchen at Ohana Ola ‘O Kahumana
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3.1.4.10 Marine Resources

Objective: Promote the protection, use, and development of marine and coastal resources to assure their sustainability.

Policy A: Ensure that the use and development of marine and coastal resources are ecologically and environmentally sound and economically beneficial;

Policy B: Coordinate the management of marine and coastal resources and activities to improve effectiveness and efficiency;

Policy C: Assert and articulate the interests of the State as a partner with Federal agencies in the sound management of ocean resources within the United States exclusive economic zone;

Policy D: Promote research, study, and understanding of ocean processes, marine life, and other ocean resources in order to acquire and inventory information necessary to understand how ocean development activities relate to and impact upon ocean and coastal resources; and

Policy E: Encourage research and development of new, innovative technologies for exploring, using, or protecting marine and coastal resources.

Discussion: The project site is located approximately 2 miles inland from the shoreline. Due to the distance from the shoreline, no adverse impact to marine resources is anticipated.

3.1.5 Hawai‘i State Planning Act, Chapter 226, Hawai‘i Revised Statutes

The Hawai‘i State Plan, Chapter 226 HRS (2007) provides guidelines for the future growth of the State of Hawai‘i. The Hawai‘i State Plan identifies goals, objectives, policies, and priorities for allocating the State’s resources, including public funds, services, human resources, land, energy, and water. The plan was enacted to achieve “a desired physical environment, characterized by beauty, cleanliness, quiet, stable natural systems, and uniqueness, that enhances the mental and physical well-being of the people.” Chapter 226 HRS (2007).

Discussion: The proposed project is consistent with and implements many of the planning goals and policies specified in Chapter 226, HRS.

Section 226-7 sets forth goals relating to agriculture, directing that the industry constitute a dynamic and essential component of Hawai‘i’s strategic, economic, and social well-being. The proposed Kitchen provides the essential function of food production in a disadvantaged, agricultural community, close to the food sources and with the purpose of employment training. The proposal is therefore directly supportive of Section 226-7 objectives.

Section 226-19 sets forth goals relating to the promotion of housing opportunities for the people of Hawai‘i, particularly for low- and moderate-income households. Ohana Ola is one component of a needed safety net for families who need transitional housing and employment training.

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Section 226-20 sets forth goals relating to health, including health maintenance and preventive health care. Section 226-21 sets forth goals relating to the support of educational programs such as employment training programs to assist individuals experiencing critical employment problems or barriers, or undergoing employment transitions. Section 226-22 sets forth goals relating to the provision of improved public and private social services and activities that enable individuals, families, and groups to become more self-reliant and confident to improve their well-being. The proposed project is an integral component of the Ohana Ola transitional housing program whose mission is "to provide assistance for families in need so that they may become self-sufficient and attain permanent housing," as part of Kahumana's broader mission "to co-create a healthy, inclusive and productive farm-based community with homeless families, people with disabilities, and youth... through an integrated mix of social services, social ventures, and training venues." The proposed project is thus consistent with the State's goals relating to housing, health, education, and social services.

3.2 CITY AND COUNTY OF HONOLULU PLANS

3.2.1 O‘ahu General Plan

The O‘ahu General Plan is the policy document for the long-range development of the Island of O‘ahu. The O‘ahu General Plan is a statement of general conditions to be sought in the 20-year planning horizon and policies to help direct attainment of the plan’s objectives. Specific General Plan goals and policies relevant to the proposed project are discussed below.

3.2.1.1 Economic Activity

Objective A – To promote employment opportunities that will enable all the people of O‘ahu to attain a decent standard of living.

Discussion: The proposed kitchen facility at Ohana Ola will provide crucial job training for unemployed individuals, thereby increasing their opportunities for future employment.

3.2.1.2 Health and Education

Objective B – To provide a wide range of educational opportunities for the people of O‘ahu.

(1) Support education programs that encourage the development of employable skills.

Discussion: The proposed project will be an integral part of the Ohana Ola transitional housing program, as it will provide Ohana Ola residents with vital job training that will be an essential stepping stone for families navigating their way from homelessness to self-sufficiency.

3.2.2 Wai‘anae Sustainable Community Plan

The City and County of Honolulu has adopted the Wai‘anae Sustainable Community Plan (WSCP) as one of eight community-oriented plans to guide public policy, investment and decision making through the 2025 planning horizon. The WSCP was developed by DPP and its consulting team in partnership with the community. The document contains policies specific to the Wai‘anae Coast. These policies are then adopted through ordinances. The current version of

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the WSCP (which includes the Public Review Draft of the Revised WSCP) was adopted on March 2, 2012 as Ordinance 12-3.

The WSCP presents a Vision Statement for the long-range future of the Wai‘anae District:

"The vision for the future of the Wai‘anae District is that all members of our community – from the kūpuna (grandparents/elders) to the mo‘omo‘o (children, including those yet unborn) have their essential needs met. We envision our physical environment as rural and pristine, protected from degradation so that we can enjoy her elements: the kai (salt waters), wai (fresh waters), ea (air, sky and heavens), ‘āina (land, soil), and all of the animate and inanimate aspects of nature which make up our home. We have access to our mountains, valleys, and sea. We have a variety of economic opportunities. Lastly, and most importantly, our children are surrounded and guided by their strong, kind, and loving ‘ohana (family)."

Discussion: The proposed kitchen facility at Ohana Ola is consistent with the WSCP’s Vision Statement and Community Values, as it will help ensure that the essential needs of the community are met, by providing not only workforce skills training and economic opportunities for adults, but also healthy meals for underprivileged children. Moreover, the proposed project will provide educational opportunities on the farm-to-table process, strengthening connections with the ‘āina. The project site is within the Agricultural Lands Boundary, which is intended to encompass the farmlands and undeveloped valley lands in the ahupua‘a of the Wai‘anae District. Construction and long-term operation of the Kitchen will incorporate a suite of avoidance, minimization, and mitigation measures to ensure that the land and soil, animate, and inanimate aspects of nature are not harmed in either the short or long term by this development.

The WSCP Land Use Map, which is intended to reflect the policy statements contained in the WSCP, designates the property as “Agriculture” (Figure 5). The Agriculture designation is intended to include commercial farms, family farms, family gardens, and other uses that are compatible with a rural landscape and country lifestyle. These compatible uses include farm dwellings, small country stores, agricultural support facilities including storage and small-scale processing of farm products, and cultural places and preserves. The proposed Kitchen at Ohana Ola is an agricultural and community support facility that will involve small-scale processing of products from Kahumana’s existing organic farm, the anticipated farm expansion on 2.5 acres of the remaining undeveloped Ohana Ola land, and a third farm that Kahumana plans to open farther up Kuwale Road.

3.2.3 Land Use Ordinance

The Land Use Ordinance (LUO) implements the goals and objectives of the O‘ahu General Plan and the *Wai‘anae SCP*. All lands within the City and County of Honolulu are zoned into specific districts. The proposed project site is zoned “AG-1 Restricted Agricultural”. The intent of the AG-1 zoning district is to conserve and protect important agricultural lands for the performance of agricultural functions by permitting only those uses which perpetuate the retention of these lands in the production of food, feed, forage, fiber crops, and horticultural plants. Only accessory agribusiness activities which meet the above intent are permitted in this district. The LUO

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developed the following guidelines for identifying lands for consideration for the AG-1 zoning district:

(1) Lands which are in the State-designated agricultural district and designated agricultural by adopted City land use policies; (2) Lands which are predominantly classified as prime or unique under the Agricultural Lands of Importance to the State of Hawai‘i system; and (3) Lands where a substantial number of parcels are more than five acres in size. Development Standards for the AG-1 District are in place to prevent incompatible development.

Discussion: The land lease from the City and County of Honolulu for the development of Ohana Ola permits ASI to provide education and life skills development for the residents of Ohana Ola and other participants in Kahumana’s job training and independent living skills programs. The proposed kitchen will be an extension of the Ohana Ola housing development, which was approved by the City and County of Honolulu Council (Resolutions 89-351 and 00-198 CD1, found in Appendix A and B). The 201H resolutions specifically identify the need for education and life skill classes as integral to Ohana Ola. An amendment to the 201H application will be submitted to the City and County of Honolulu to permit the Kitchen as a community facility. The community facility will involve training of Ohana Ola residents through the preparation of meals for distribution to underprivileged children. It will involve small-scale processing of products from Kahumana's three organic farms located nearby: one that is being planned for 2.5 acres of the remaining undeveloped land at Ohana Ola, Kahumana's existing nine-acre farm that is adjacent to Ohana Ola, and a third farm to be developed farther up Kuwale Road.

Table 2 AG-1 Development Standards

Standard (from LUO Sec.21-3.50-4 and Table 21-3.1)	Requirement in AG-1	Satisfied?	Proposed for Exemption
Minimum lot area	5 acres	satisfied	no
Minimum lot width and depth	150 feet	satisfied	no
Minimum front yard setback	15 feet	satisfied	no
Minimum side and rear yard setback	10 feet	satisfied	no
Maximum building area	10 percent of zoning lot for non-agricultural structures	Satisfied. 9.2% of the site will be non-agricultural buildings (see Figure 9)	no
Maximum building height	15 feet for non-agricultural structures. Up to 25 feet if height setbacks are provided.*	Satisfied utilizing height setback. The building is 17.833 feet high, necessitating a 12 foot setback. A 25-foot side yard setback is proposed.	no

*Height setbacks in the AG-1 district require that for any portion of the non-agricultural building exceeding 15 feet in height shall be set back from side or rear buildable area boundary line by one foot for every two feet (or portion thereof) of additional height above 15 feet.

3.2.4 Special Management Area Guidelines

The proposed project is located approximately 2 miles inland, well outside of the Special Management Area (SMA) (see Figure 7). The following guidelines are from Section 25-3.2, ROH, and are used by DPP in the review of developments proposed in the special management area.

(a) All development in the special management area shall be subject to reasonable terms and conditions set by the council to ensure that:

(1) Adequate access, by dedication or other means, to publicly owned or used beaches, recreation areas and natural reserves is provided to the extent consistent with sound conservation principles;

Discussion: The proposed project is located well inland from publicly owned or used beaches, recreation areas and natural reserves.

(2) Adequate and properly located public recreation areas and wildlife preserves are reserved;

Discussion: This guideline is not applicable to the proposed project as there are no adjoining public recreation areas and wildlife preserves.

(3) Provisions are made for solid and liquid waste treatment, disposition and management which will minimize adverse effects upon special management area resources; and

Discussion: The proposed project includes provisions for solid and liquid waste treatment, disposition and management.

(4) Alterations to existing land forms and vegetation; except crops, and construction of structures shall cause minimum adverse effect to water resources and scenic and recreational amenities and minimum danger of floods, landslides, erosion, siltation or failure in the event of earthquake.

Discussion: The land alteration required for the project is not anticipated to result in an adverse effect to water resources with the implementation of BMPs. The proposed facility will be one-story in height and is unlikely to be visible from the SMA or affect recreational facilities in the SMA. The proposed project will be designed to maintain drainage on-site to current quality and quantity, as well as to minimize erosion and siltation. The future building will be designed to meet the International Building Code as a means of addressing potential damage from earthquakes.

(b) No development shall be approved unless the council has first found that:

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(1) The development will not have any substantial, adverse environmental or ecological effect except as such adverse effect is minimized to the extent practicable and clearly outweighed by public health and safety, or compelling public interest. Such adverse effect shall include, but not be limited to, the potential cumulative impact of individual developments, each one of which taken in itself might not have a substantial adverse effect and the elimination of planning options;

Discussion: As previously mentioned, the proposed project is located well inland of the SMA, and is not expected to have either a direct or indirect adverse environmental or ecological effect, or eliminate planning options.

(2) The development is consistent with the objectives and policies set forth in Section 25-3.1 and area guidelines contained in HRS Section 205A-26;

Discussion: Section 25-3.1 states: “The objectives and policies of this chapter shall be those contained in HRS Section 205A-2.” The consistency of the proposed project to the objectives and policies HRS Section 205A-2 is discussed in Section 3.1.2 of this EA. The guidelines contained in HRS Section 205A-26 are copied nearly verbatim in Section 25-3.2, ROH, which is the topic of this section of the EA.

(3) The development is consistent with the county general plan, development plans and zoning. Such a finding of consistency does not preclude concurrent processing where a development plan amendment or zone change may also be required.

Discussion: Consistency of the proposed project with the O‘ahu General Plan, Wai‘anae Sustainable Communities Plan, and zoning are found in Sections 3.2.1, 3.2.2 and 3.2.3 of this EA.

(c) The council shall seek to minimize, where reasonable:

(1) Dredging, filling or otherwise altering any bay, estuary, salt marsh, river mouth, slough or lagoon;

Discussion: The proposed project will not involve actions that dredge, fill or otherwise alter any wetlands identified on the National Wetland Inventory, including bays, estuaries, salt marshes, rivers, sloughs or lagoons (see Figure 11).

(2) Any development which would reduce the size of any beach or other area usable for public recreation;

Discussion: The proposed project will not reduce the size of any beach or other area usable for public recreation.

(3) Any development which would reduce or impose restrictions upon public access to tidal and submerged lands, beaches, portions of rivers and streams within the special management area and the mean high tide line where there is no beach;

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Discussion: The proposed project will not reduce or impose restrictions to public access to tidal and submerged lands, beaches, portions of rivers and streams within the Special Management Area, and the mean high tide line where there is no beach, as all actions will occur 2 miles inland from the shoreline.

(4) Any development which would substantially interfere with or detract from the line of sight toward the sea from the state highway nearest the coast; and

Discussion: The proposed project will be located inland, away from the shoreline.

(5) Any development which would adversely affect water quality, existing areas of open water free of visible structures, existing and potential fisheries and fishing grounds, wildlife habitats, or potential or existing agricultural uses of land.

Discussion: The proposed project will not occur on or next to open water free of visible structures, existing and potential fisheries and fishing grounds, wildlife habitats (Figure 16) or existing agricultural areas. As previously mentioned, BMPs will be implemented to minimize adverse effects on water quality. While portions of the project site may have historically been used for various forms of agriculture, most probably sugar cane cultivation and ranching, the site has been fallow for many years. The proposed project is an agricultural and community facility that will involve small-scale processing of products from Kahumana's three organic farms located nearby: one that is being planned for 2.5 acres of the remaining undeveloped land at Ohana Ola, Kahumana's existing nine-acre farm that is adjacent to Ohana Ola, and a third farm to be developed on Kuwale Road.

4 DESCRIPTION OF THE NATURAL AND HUMAN ENVIRONMENT, POTENTIAL IMPACTS, AND MITIGATIVE MEASURES

This section describes the existing conditions of the natural and human environment, potential impacts of the proposed project to these environments, and mitigation measures to minimize impacts.

4.1 CLIMATE

4.1.1 Existing Conditions

The geological features on O‘ahu heavily influence its climate. The Wai‘anae Mountain Range dominates ground-based atmospheric influences within Lualualei Valley. Located on the leeward western coastline of O‘ahu, Lualualei Valley is generally warm and dry. The average monthly temperature ranges from 70 to 78 degrees Fahrenheit with an average rainfall of approximately 25 inches per year (Giambelluca, et al., 2013). Trade winds are typical of the Hawaiian Islands, blowing predominantly from a northeast direction, and averaging approximately seven (7) miles per hour (mph). The tradewinds are generated by semi-permanent Pacific high-pressure cells; however, their impact is less prominent in Lualualei Valley, as the Wai‘anae Mountain Range obstructs winds from the O‘ahu windward coast from making their way over to the leeward side. In the absence of the trades, or winds from the southwest associated with “Kona” storms occurring predominately in the winter months, winds in Lualualei Valley are generally light to variable. For the most part, the diurnal heating and cooling of the island gives rise to light onshore sea breezes during the day, and gentle offshore land breezes at night.

4.1.2 Potential Impacts and Mitigation Measures

The proposed project is not anticipated to have significant impact on regional climatic conditions. No additional mitigation measures are planned.

4.2 GEOLOGY AND TOPOGRAPHY

4.2.1 Existing Conditions

4.2.1.1 Geology

The Island of O‘ahu was formed by two volcanoes; Ko‘olau to the east, and the older Wai‘anae to the west. The volcanoes are believed to have formed during the late tertiary to early Pleistocene periods (Macdonald et al., 1983). The Wai‘anae Volcano is thought to be approximately 4 million years old with the caldera located in what is now the Lualualei Valley. Extensive erosion and stream activity carved deep valleys into the mountain range. The proposed project is located within the Lualualei Ahupua‘a, part of the Wai‘anae Mountain Range. The Lualualei Ahupua‘a features two major ridges, the Pu‘u Mā‘ili‘ili and Pu‘u o Hulu.

Fossilized coral reefs are also an important component of the geology of the Hawaiian Islands. According to Macdonald et al. (1983), “The emerged reefs on O‘ahu are more extensive than those of any other of the Hawaiian Islands”. Most of the southern edges of O‘ahu are underlain

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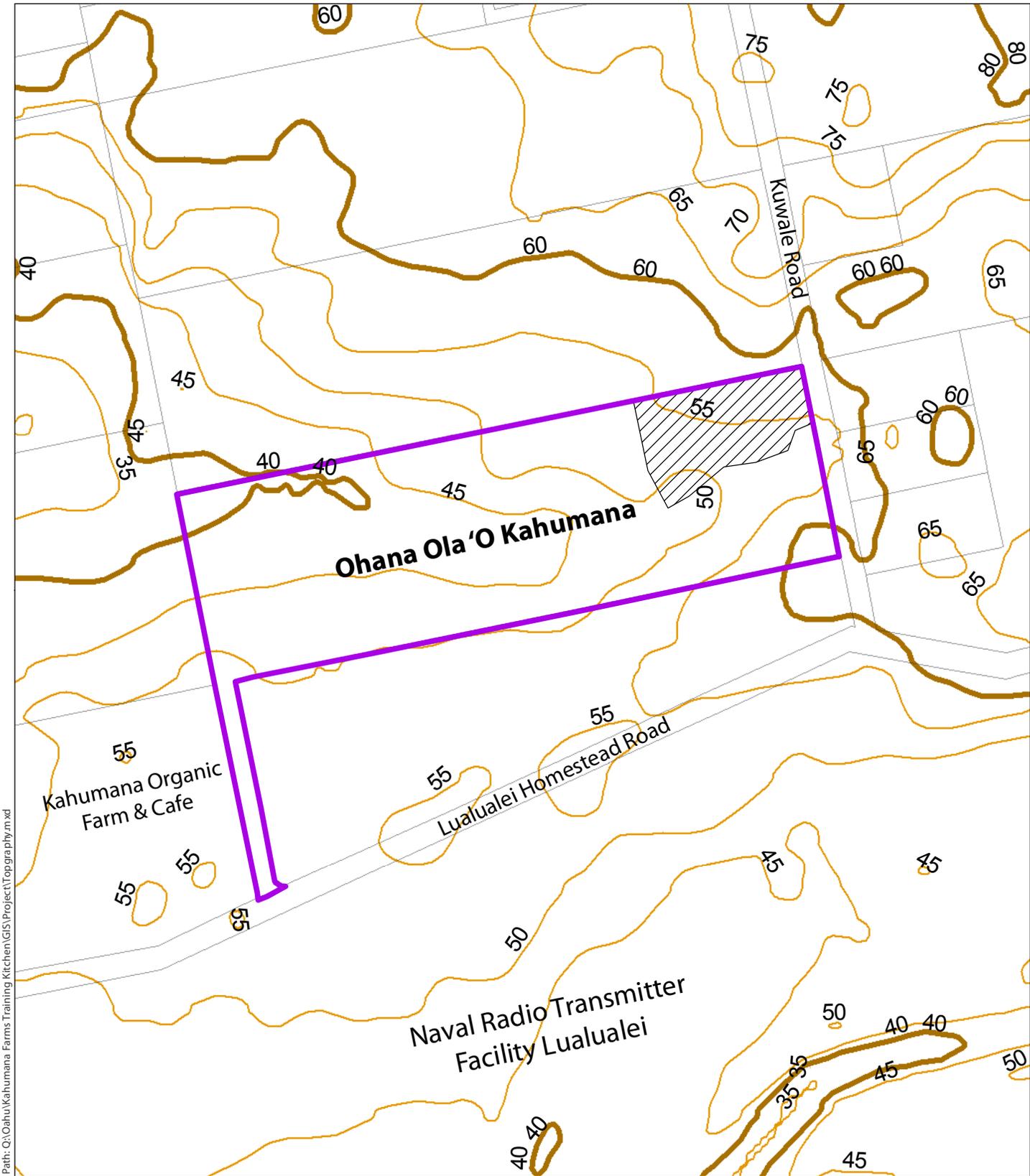
by a broad, elevated coral reef. The plains were formed from emerged coral reefs and alluvial deposits that developed along the southern edge of the island during interglacial sea level highs. Most of the fossil reefs of southern O‘ahu are about 25 feet above current sea level, and reef limestone extends up to 66 feet above sea level, and covered by approximately ten feet of sand near Wai‘anae (Macdonald et al., 1983). It has been suggested that, historically, sea level changes in Hawai‘i may have ranged from 250 feet above present levels to as low as 300 feet below current sea levels. Various other sedimentary deposits intersperse the nearby shoreline. These include Holocene beach deposits and alluvium, which are composed mainly of unconsolidated sediment, and are mostly found along the coastline and in drainage ways.

4.2.1.2 Topography

The project site is located approximately two miles inland from the shore, within the relatively flat, broad, and gently sloping Lualualei Valley bounded by the foothills of the Wai‘anae Mountain Range. Geologic features in the vicinity of the project site include Pu‘u Mā‘ili‘ili ridge from the north to southwest, Mā‘ili‘ili Stream and Pu‘u o Hulu to the south, and the Wai‘anae mountain range to the east. No particularly prominent geologic features are present on the property. Elevations at the property range from about 40 to 60 feet above sea level. Most of the project site is relatively flat, with an average slope of approximately 1 percent. Figure 10 illustrates general slopes at the project site. An existing private ditch runs from the eastern edge of the property at Kuwale Road, southwest to a point midway across the parcel, then curves to the northwest corner of the parcel. Although it is usually dry and overgrown with vegetation, the ditch serves as a drainage channel during heavy rainfall.

4.2.2 Potential Impacts and Mitigation Measures

While some grading is likely necessary to accommodate the proposed project, much of the site is relatively flat. To the extent possible, improvements are expected to conform to the existing contours of the land to limit grading. A geotechnical engineer will be consulted to make recommendations on foundation design and construction. A grading permit will also be required by the City and County of Honolulu. Grading plans will attempt to balance excavation and embankment quantities to the extent practicable. Appropriate engineering, design, and construction measures will be undertaken to minimize potential erosion of soils during construction. All ground-altering activities are expected to incorporate appropriate erosion and sedimentation control. Adverse impact to topography and landforms, attributable to grading activity, is not anticipated as a result of the proposed project.



Path: Q:\Oahu\Kahumana Farms Training Kitchen\GIS\Project\Topography.mxd

DATE: 5/2/2016

LEGEND

-  Ohana Ola 'O Kahumana Community
-  Project Site
-  Tax Map Key Parcels
-  20-ft Contours
-  5-ft Contours

**FIGURE 10:
Topographic Map**

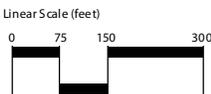
**Kahumana Community
Training Kitchen**

Alternative Structures International Island of Oahu

North



Linear Scale (feet)




Source: ESRI Online Basemaps; City and County of Honolulu
Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.

4.3 HYDROLOGY

4.3.1 Existing Conditions

The project site is located within the Mā'ili'ili Watershed, which encompasses approximately 12,570 acres (19.64 square miles) of the Wai'anae region of O'ahu. A watershed area captures rainfall and atmospheric moisture from the air and allows the water to drip slowly into underground aquifers or enter stream channels and eventually reach the ocean.

4.3.1.1 Surface Water

Surface water in Lualualei Valley generally flows from mauka to makai, east to west, down toward the shore at Mā'ili via Mā'ili'ili Stream and Mā'ili'ili Channel. On the project site, surface water also generally flows from east to west, via the existing private ditch described in Section 4.2.1.2 (Topography) above. The usually dry, vegetated drainage ditch continues offsite to the west, eventually connecting to Mā'ili'ili Channel and draining into the ocean. In a letter dated March 29, 2016, the Army Corps of Engineers determined that the site is absent of water of the U.S. and not subject to the Corps' regulatory jurisdiction (see Appendix F).

4.3.1.2 Wetlands

There are no streams or wetlands identified on the property. Mā'ili'ili Stream is located approximately 1,250 feet south of the project site (Figure 11). It is designated by the U.S. Fish and Wildlife Service (USFWS) wetlands map as a type PEM1Ax Freshwater Emergent Wetland, which is a wetland that is palustrine, emergent, and persistent, and which is temporarily flooded and lies within an excavated basin or channel.

A smaller tributary of the Mā'ili'ili Stream is located approximately 2,000 feet west of the project site. It is designated by the USFWS wetlands map as a type R4SBCx wetland, which is a riverine, intermittent, and streambed (i.e., completely dewatered at low tide) wetland that is seasonally flooded and lies within an excavated basin or channel.

This tributary flows into the Lualualei Reservoir, which is located approximately 2,800 feet west of the project site. The reservoir is designated as a type PFO3A and PEM1A wetland. PFO3A wetlands are palustrine, forested (broad-leaved evergreen) wetlands that are temporarily flooded. PEM1A wetlands are palustrine, emergent, persistent, and temporarily flooded.

4.3.1.3 Ground Water

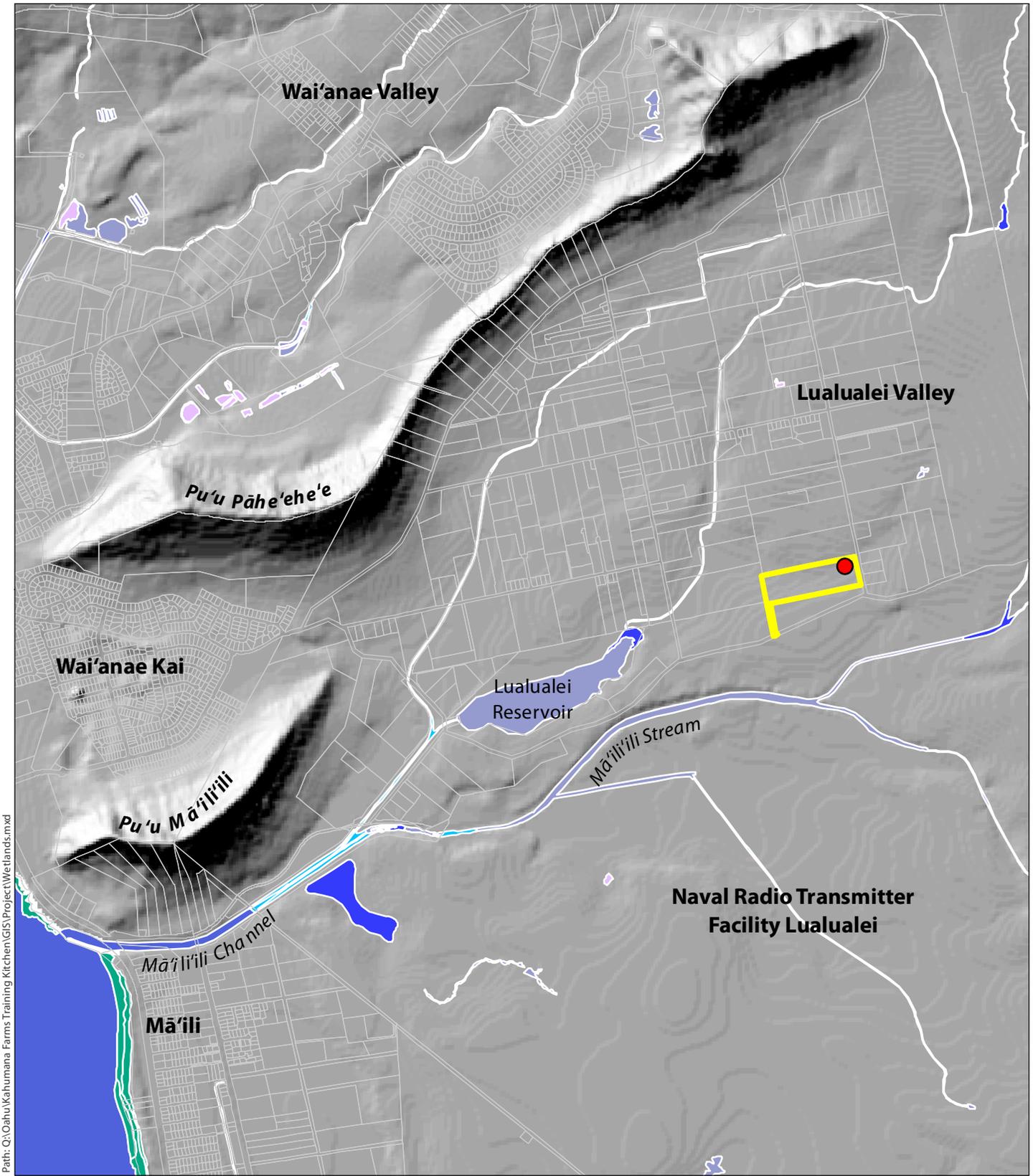
The project site is located in the Lualualei Aquifer System, a subset of the Wai'anae Aquifer Sector, as designated by the Hawai'i State Department of Land and Natural Resources (DLNR).

4.3.2 Potential Impacts and Mitigation Measures

The proposed project will result in an increase in impervious area. Without mitigation, an increase in impervious area could result in a reduction in water infiltration. However, use of storm water best management practices (BMPs) during construction and Low Impact Development (LID) techniques incorporated into the site design will keep stormwater infiltrating on site in both the short and long-term. The City and County of Honolulu, Department of Planning and Permitting's Rules Relating to Storm Drainage Standards, January 2000, will be incorporated in drainage design to ensure the proposed project does not impact the existing storm water quality. Construction BMPs for stormwater will be determined by the site contractor.

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However, they are expected to include measures to ensure that dirt and sediment are not allowed to wash into the adjacent drainageway or be tracked on to Kuwale Road by trucks and equipment. Long-term LID measures are expected to be the installation of landscaping with native plants to accept stormwater runoff from the kitchen's rooftop and parking lot. Additional measures may include use of cisterns for rainwater harvest, and use of pervious pavement in the parking lot. Specific LID techniques will be determined upon further site examination (infiltration tests) and grading design.



Path: Q:\Oahu\Kahumana Farms Training Kitchen\GIS\Project\Wetlands.mxd

DATE: 5/12/2016

LEGEND

- Project Site
- Ohana Ola 'O Kahumana Community
- Tax Map Key Parcels
- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland
- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond
- Riverine

**FIGURE 11:
Wetlands & Surface Water Bodies**

**Kahumana Community
Training Kitchen**

Alternative Structures International Island of O'ahu

North

Linear Scale (feet)

0 500 1,000 2,000

Source: U.S. Fish and Wildlife Service National Wetlands Inventory (2013).
Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.

Community Training Kitchen at Ohana Ola ‘O Kahumana
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Protection of ground water quality is also a concern. Once operational, the Kitchen at Ohana Ola ‘O Kahumana is anticipated to establish management plans to ensure that any hazardous materials utilized are properly stored to reduce the potential for spills. Appropriate spill prevention control and counter measures planning can reduce the potential of spills and releases that may impact the groundwater.

4.4 SOILS AND AGRICULTURE IMPACT

4.4.1.1 Regional Agriculture History

Agriculture has helped to shape the history of the Wai‘anae region. The entire region is recognized as a Major Agricultural Area by the State of Hawai‘i (State of Hawai‘i HDOA, 2010). The agricultural history of Wai‘anae goes back many generations. Traditional subsistence lifestyle methods which sought to minimize water use, while maximizing food production to grow taro and other crops in the Wai‘anae region proved successful despite the dry and hot climate. This is demonstrated through multiple agricultural remains sited throughout the region (such as irrigation channels, traces of intricate terracing, and other indications of past agricultural practices), which serve as evidence that Wai‘anae once supported a large population (State of Hawai‘i DBEDT, 2010).

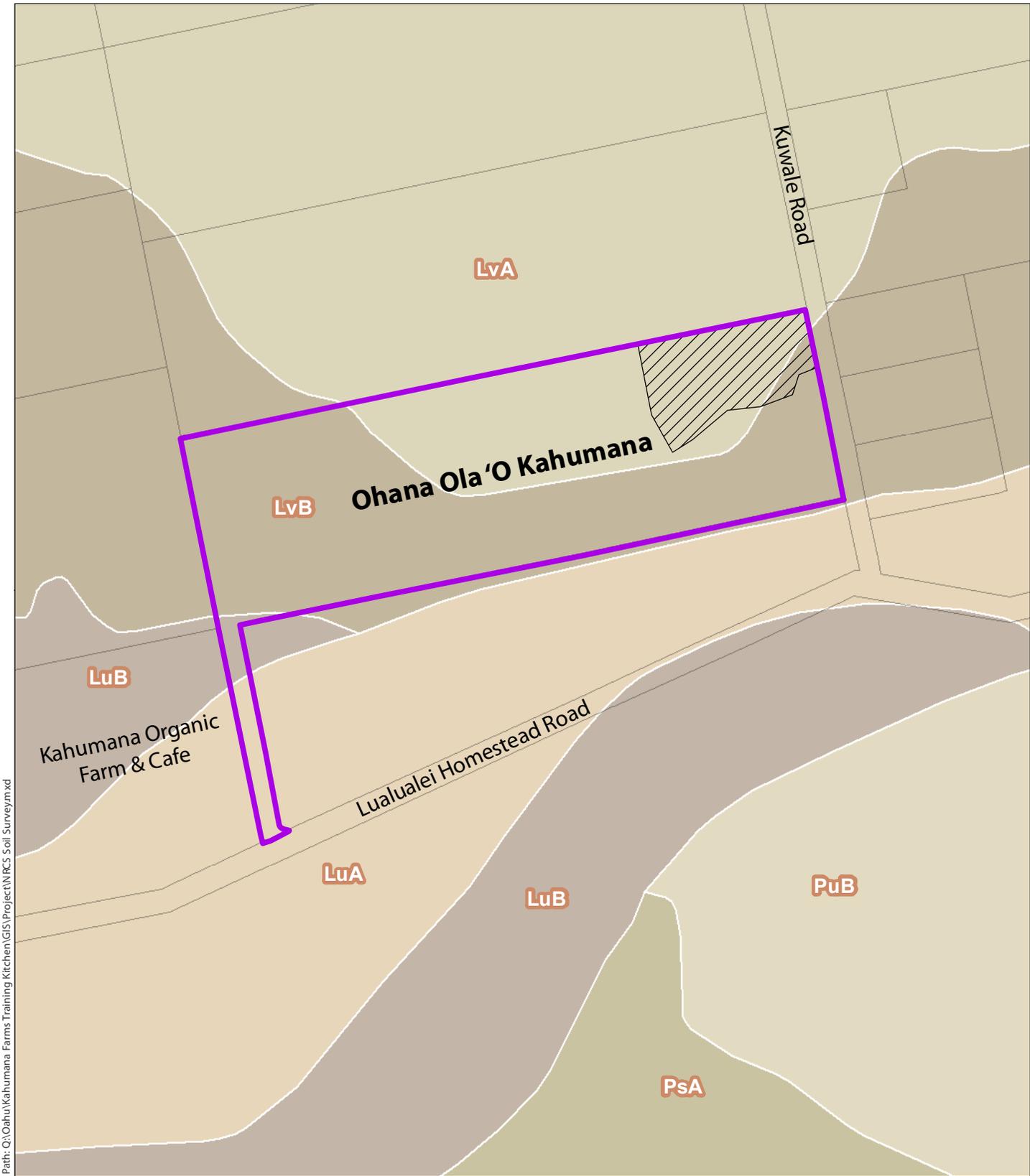
From around 1811 to 1829, the trading of sandalwood thrived in the region. Livestock then became an important operation around the mid-1800’s. Later in the century, sugar became the predominant crop. The Wai‘anae Sugar Mill was the first sugar mill on O‘ahu. Built in 1880, the Mill operated for over 70 years in Wai‘anae. In 1946, the Wai‘anae Sugar Plantation closed due to economic and environmental pressures (McGrath, 1973).

4.4.2 Existing Conditions

Three soil suitability studies prepared for lands in Hawai‘i principally focus on the relative agricultural productivity of different land types. These studies are: 1) the U.S. Department of Agriculture Natural Resources Conservation Service (USDA NRCS) Soil Survey; 2) the University of Hawai‘i Land Study Bureau (LSB) Detailed Land Classification; and 3) the State Department of Agriculture’s Agricultural Lands of Importance to the State of Hawai‘i (ALISH).

4.4.2.1 Natural Resources Conservation Service

According to the USDA NRCS soil survey, two soil types are found on the project site: Lualualei stony clay, 0-2% slopes (LvA) and Lualualei stony clay, 2-6% slopes (LvB) (Figure 12).



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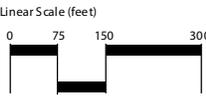
LEGEND

-  Ohana Ola 'O Kahumana Community
-  Project Site
-  Tax Map Key Parcels
-  LuA: Luualalei clay, 0 to 2 percent slopes
-  LuB: Luualalei clay, 2 to 6 percent slopes
-  LvA: Luualalei stony clay, 0 to 2 percent slopes
-  LvB: Luualalei stony clay, 2 to 6 percent slopes
-  PsA: Pulehu clay loam, 0 to 3 percent slopes
-  PuB: Pulehu stony clay loam, 2 to 6 percent slopes

FIGURE 12:
NRCS Soil Survey Map

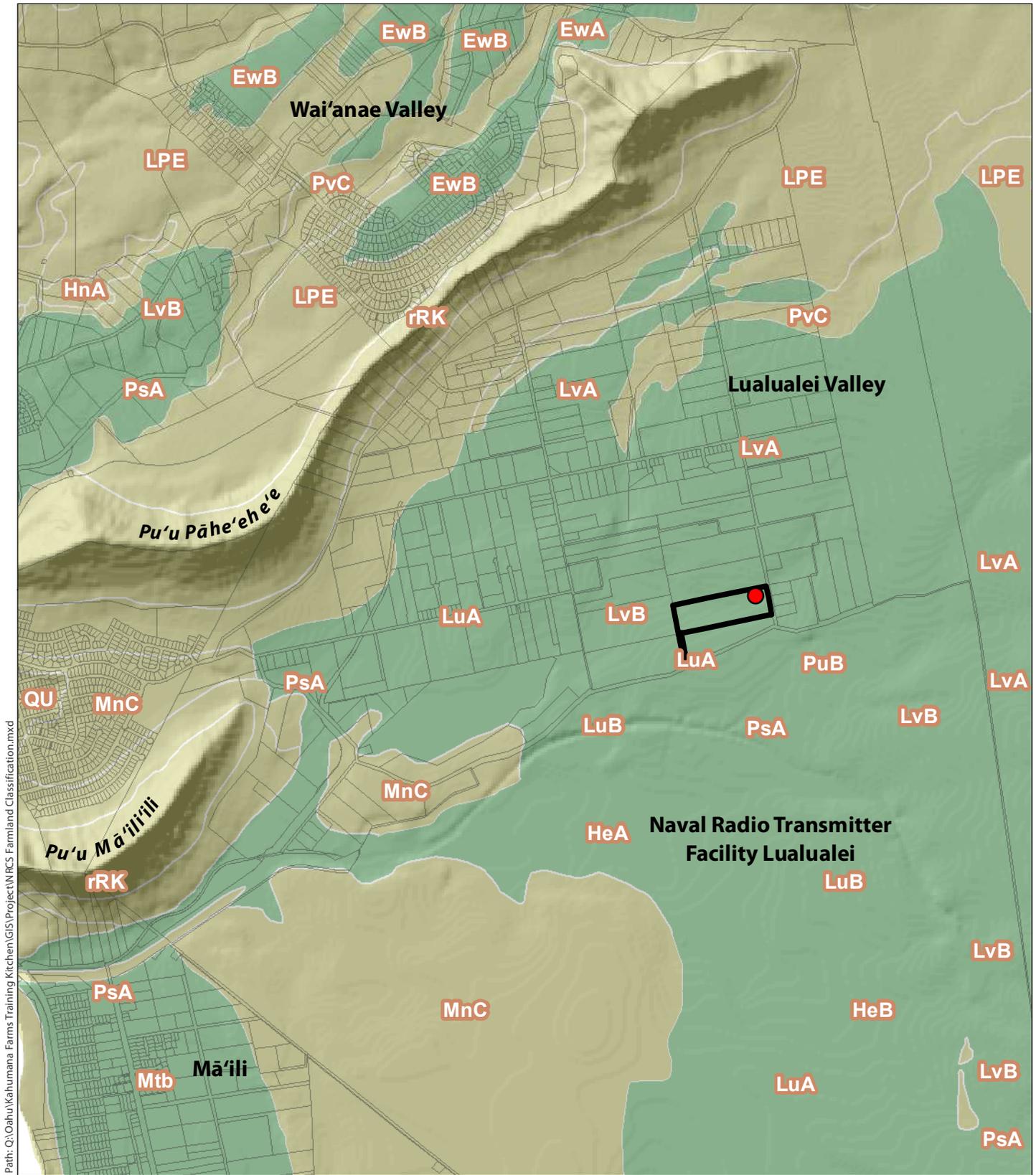
Kahumana Community Training Kitchen

Alternative Structures International Island of Oahu

North  Linear Scale (feet) 



Sources: U.S. Department of Agriculture Natural Resources Conservation Service. City and County of Honolulu.
Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.



Path: Q:\Oahu\Kahumana Farms Training Kitchen\GIS\Project\NRCS Farmland Classification.mxd

DATE: 5/12/2016

LEGEND

- Project Site
- Ohana Ola 'O Kahumana Community
- Tax Map Key Parcels
- Not prime farmland
- Prime farmland if irrigated

FIGURE 13:

NRCS Farmland Classification

Kahumana Community Training Kitchen

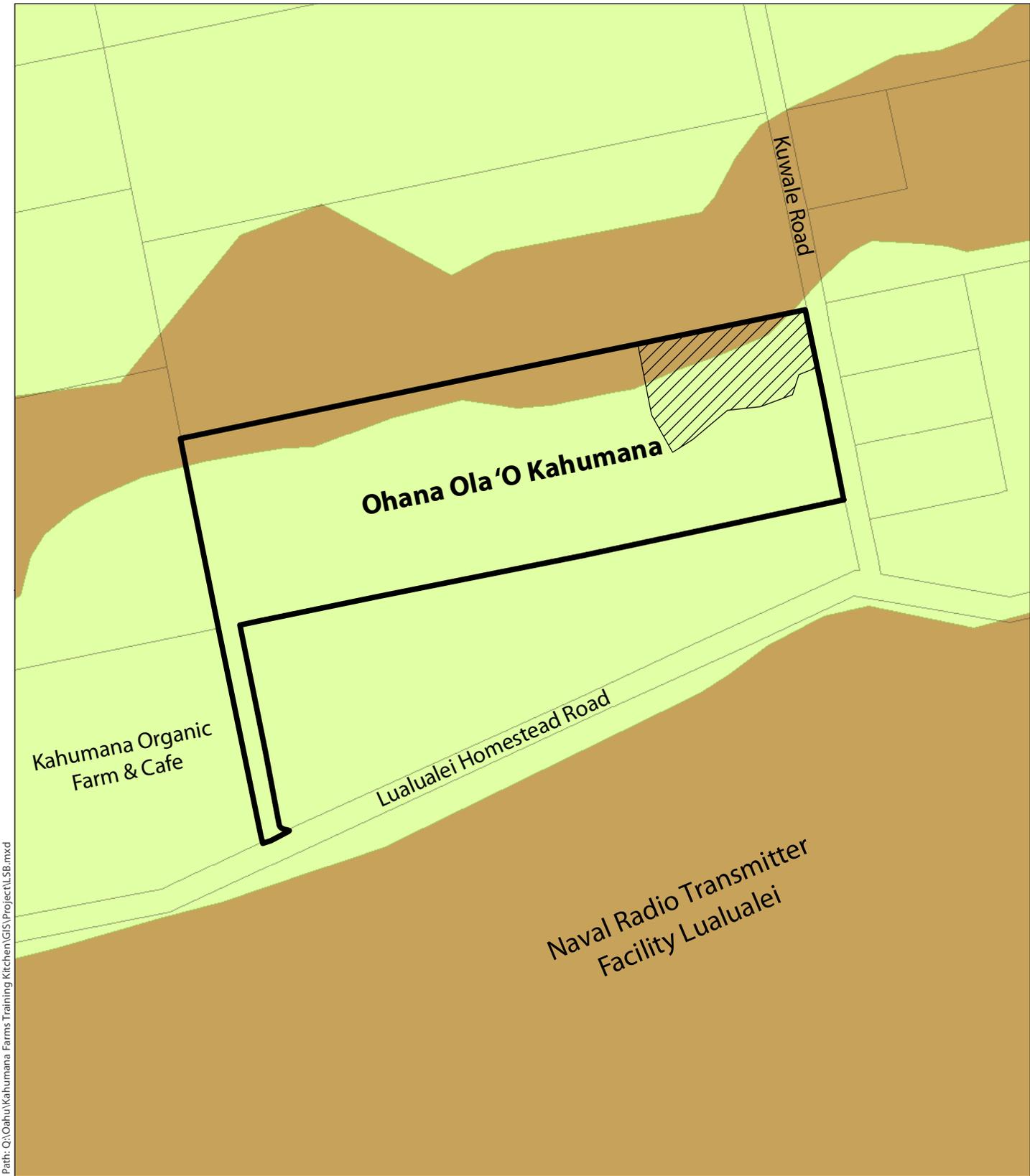
Alternative Structures International Island of Oahu

North

Linear Scale (feet)

0 500 1,000 2,000

Sources: U.S. Department of Agriculture Natural Resources Conservation Service, 1972. City and County of Honolulu, 2014. State of Hawaii, 2003.
 Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.



DATE: 5/11/2016

LEGEND

Ohana Ola 'O Kahumana Community

Project Site

Tax Map Key Parcels

LSB Productivity Rating:

B: Good

E: Very Poor

FIGURE 14:
Land Study Bureau
Detailed Land Classification

Kahumana Community
Training Kitchen

Alternative Structures International Island of Oahu

North

Linear Scale (feet)

0 75 150 300

Source: Land Study Bureau (1972)
 Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.



Path: Q:\Oahu\Kahumana Farms Training Kitchen\GIS\Project\ALISH.mxd

DATE: 5/12/2016

LEGEND

- Project Site
- Ohana Ola 'O Kahumana Community
- Tax Map Key Parcels
- P: Prime ALISH
- O: Other ALISH

FIGURE 15:
Agricultural Lands of Importance to the State of Hawai'i (ALISH)

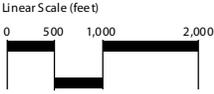
Kahumana Community Training Kitchen

Alternative Structures International Island of O'ahu

North



Linear Scale (feet)




Source: Hawai'i State Department of Agriculture (1977). ESRI Basemaps.
 Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.

Community Training Kitchen at Ohana Ola ‘O Kahumana
Final Environmental Assessment – *Finding of No Significant Impact*

4.4.2.2 Agricultural Lands of Importance to the State of Hawai‘i

The Agricultural Lands of Importance to the State of Hawai‘i (ALISH) system rates agricultural land into three classes: “Prime,” “Unique” or “Other”, with all remaining lands termed “Unclassified”. The project site is rated as “Prime” agricultural land (Figure 15). Lands with the “Prime” classification are considered best suited for the production of food, feed, forage, and fiber crops. The land has the soil quality, growing season, and moisture supply needed to produce sustained high yields of crops economically when treated and managed, including water management, according to modern farming methods.

4.4.3 Potential Impacts and Mitigation Measures

Although the soils of the proposed project site are considered well suited for agricultural cultivation or production (LSB rating B and D), the proposed project will not significantly reduce the availability of agricultural land in the region. Moreover, the proposed project will serve to enhance the agricultural functions of Kahumana's three organic farms located nearby: one that is being planned for 2.5 acres the remaining undeveloped land at Ohana Ola, Kahumana's existing nine-acre farm that is adjacent to Ohana Ola, and a third farm to be developed on Kuwale Road. The close proximity of the proposed project to these farms will streamline the process of incorporating fresh farm produce into the Kitchen’s meals for underprivileged children while creating innumerable opportunities for educating kitchen trainees about the farm-to-table process. Despite the strong functional relationship with agricultural uses, the Kitchen will need approval as a community use associated with the existing housing at Ohana Ola. Therefore, an application to exempt the use from restrictions associated with HRS 205-4.5(a) is anticipated to be submitted to the City and County of Honolulu. As the proposed project will serve to augment the agricultural and social services offered by Kahumana, no mitigation measures are proposed.

The development of the Kitchen at Ohana Ola is expected to cause some land disturbance, including removal of existing vegetation (clearing and grubbing) and grading of approximately one acre. During site grading and all other construction activities, implementation of BMPs, which may include use of silt fences, sediment traps, and diversion swales, temporary groundcover, hydro-mulching, etc., will minimize erosion and the discharge of other pollutants. After construction, landscaping should provide long-term erosion control. The proposed project is not expected to have a deleterious effect on the soil within the site.

With respect to construction methods, a geotechnical engineer will be engaged to investigate site soils and to make recommendations as to the foundation construction.

4.5 FLORA AND FAUNA

4.5.1 Existing Conditions

The site is dominated by non-native vegetation, including tall grasses as well as kiawe (*Prosopis pallida*) trees (see Figure 8). The site was probably used for sugarcane plantations once, but has not been used for many decades.

The U.S. Fish and Wildlife Service list of Threatened, Endangered, and Candidate Species was reviewed to consider the likelihood of a species of concern transiting the area. Additionally, a critical habitat map was developed to review the site’s relationship with the habitats that support

Community Training Kitchen at Ohana Ola 'O Kahumana
Final Environmental Assessment – *Finding of No Significant Impact*

endangered species. The site contains no critical habitat as shown in Figure 16: Critical Habitats. However, some Threatened or endangered species may transit the area.

The endangered Hawaiian hoary bat (*Lasiurus cinereus semotus*) may be present within the proposed project area. The Hawaiian hoary bat roosts in both exotic and native woody vegetation and will leave young unattended in "nursery" trees and shrubs when they forage. If trees or shrubs suitable for bat roosting are cleared during the breeding season, there is a risk that young bats could inadvertently be harmed or killed. Additionally, Hawaiian hoary bats forage for insects from as low as three feet to higher than 500 feet above the ground. When barbed wire is used in fencing, Hawaiian hoary bats can become entangled.

Hawaiian stilt (*Himantopus mexicanus knudseni*), Hawaiian gallinule (*Gallinula chloropus sandvicensis*), Hawaiian coot (*Fulica alai*), Hawaiian duck (*Anas wyvilliana*) (collectively referred to as Hawaiian waterbirds), may occur in fresh and brackish water including streams, rivers, marshes, ponds, reservoirs, fish ponds, taro lo'i, impoundments, or other water sources.

Hawaiian dark-rumped petrel (*Pterodroma sandwichensis*) and Newell's shearwater (*Puffinus newelli*) (collectively referred to as Hawaiian Seabirds).

Hawaiian petrels and Newell's shearwaters (collectively known as seabirds) may traverse the project area at night during the breeding season. Outdoor lighting at the project site could result in seabird disorientation, fallout, and injury or mortality. Seabirds are attracted to lights and after circling the lights they may collide with nearby wires, buildings, or other structures or they may land on the ground due to exhaustion. Downed seabirds are subject to increased mortality due to collision with automobiles, starvation, and predation by dogs, cats, and other predators. Any increase in night-time lighting, particularly during each year's peak fallout period (September 15 through December 15), could result in seabird injury or mortality. Young birds (fledglings) traversing the project area between September 15 and December 15, in their first flights from their mountain nests to the sea, are particularly vulnerable.

4.5.2 Potential Impacts and Mitigation Measures

The proposed project will not have a significant negative impact on the botanical or wildlife resources of the project site, however, to ensure that any impacts from the construction or long-term use of the kitchen are avoided, the following measures are proposed.

To minimize threats from invasive species all workers will be advised to ensure their food scraps, paper wrappers, food containers, cans, bottles, and other trash from the project area are deposited in covered or closed trash containers. The trash containers shall be removed from the project area and disposed of off-site at an approved landsite at the end of each working day to prevent the attraction of non-native pests (i.e., rats). All tools, gear, and construction scrap will be removed upon completion of work in order to prevent the attraction of non-native pests (i.e., rats). No contamination (trash or debris disposal, non-native species introductions, attraction of non-native pests, etc.) of adjacent habitats will result from project-related activities.

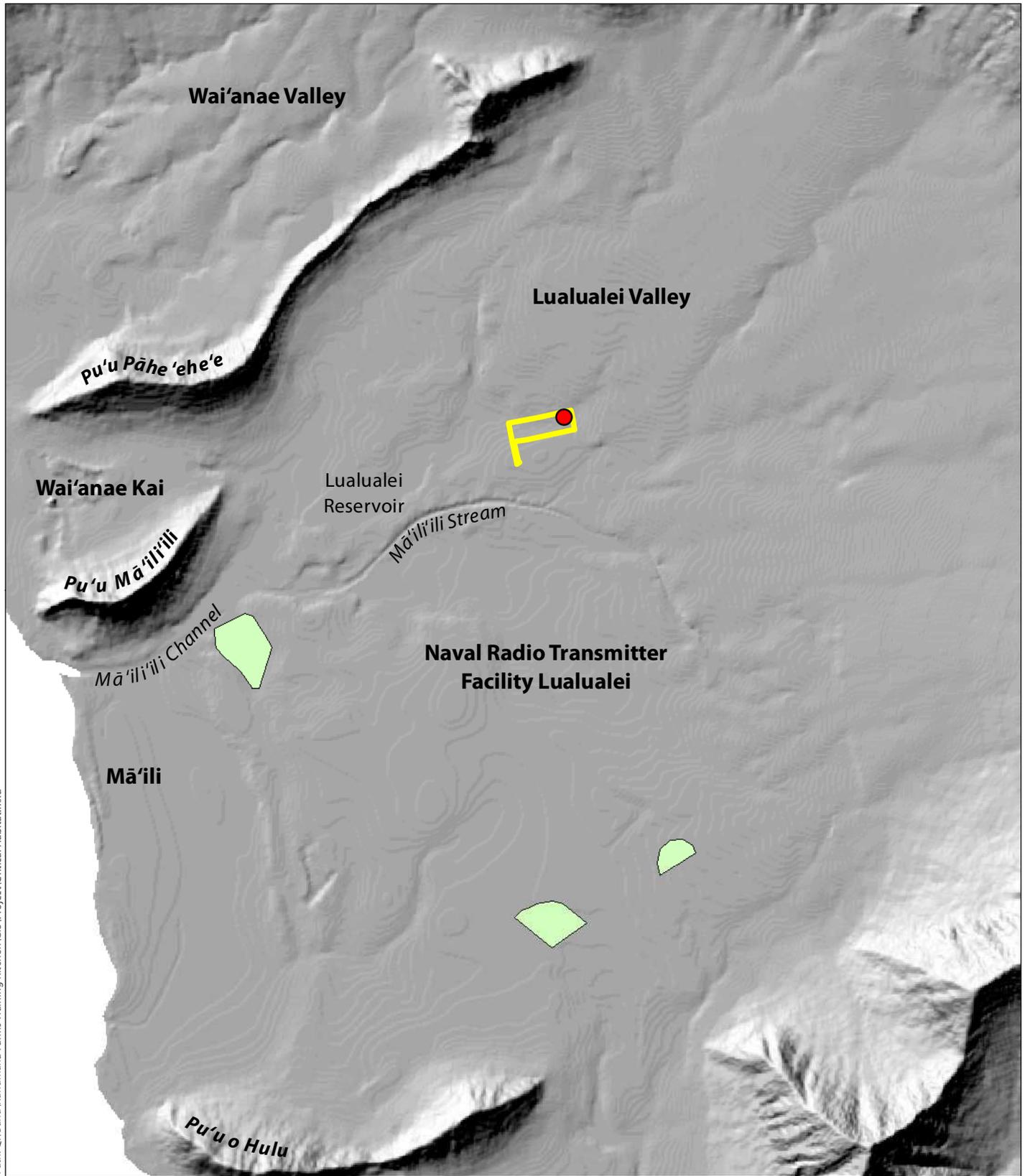
To avoid adverse impacts to the Hawaiian hoary bat, woody plants greater than 15 feet (4.6 meters) tall will not be disturbed, removed, or trimmed during the bat birthing and pup rearing

Community Training Kitchen at Ohana Ola 'O Kahumana
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season (June 1 through September 15). Furthermore, barbed wire fencing will not be used anywhere within the project.

To avoid impacts to Hawaiian waterbirds such as the Hawaiian stilt (*Himantopus mexicanus knudseni*), Hawaiian gallinule (*Gallinula chloropus sandvicensis*), Hawaiian coot (*Fulica alai*), Hawaiian duck (*Anas wyvilliana*), no activities in or within 100 feet of streams, rivers, marshes, ponds, reservoirs, fish ponds, taro lo'i, impoundments or other water sources are proposed.

To minimize potential project impacts to seabirds during their breeding season, all outdoor lights will be retrofitted to be fully shielded so the bulb can only be seen from below bulb height and only used when necessary. Automatic motion sensor switches and controls will be installed on all outdoor lights. Nighttime construction will be avoided during the seabird fledging period, September 15 through December 15. If nighttime construction occurs during other times of year, all lighting will be shielded and directed toward the ground to avoid attracting adult seabirds as they travel from the ocean to their breeding areas.



Path: Q:\Oahu\Kahumana Farms Training Kitchen\GIS\Project\Critical Habitat.mxd

DATE: 5/12/2016

LEGEND

- Project Site
- Ohana Ola 'O Kahumana Community
- Critical Plant Habitats:
- Kula wahine noho (*Isodendron pyrifolium*)

FIGURE 16:
Critical Habitats

**Kahumana Community
Training Kitchen**

Alternative Structures International Island of O'ahu

North

Linear Scale (feet)

0 750 1,500 3,000

Source: U.S. Fish and Wildlife Service (2015).
Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.

4.6 NATURAL HAZARDS

4.6.1 Existing Conditions

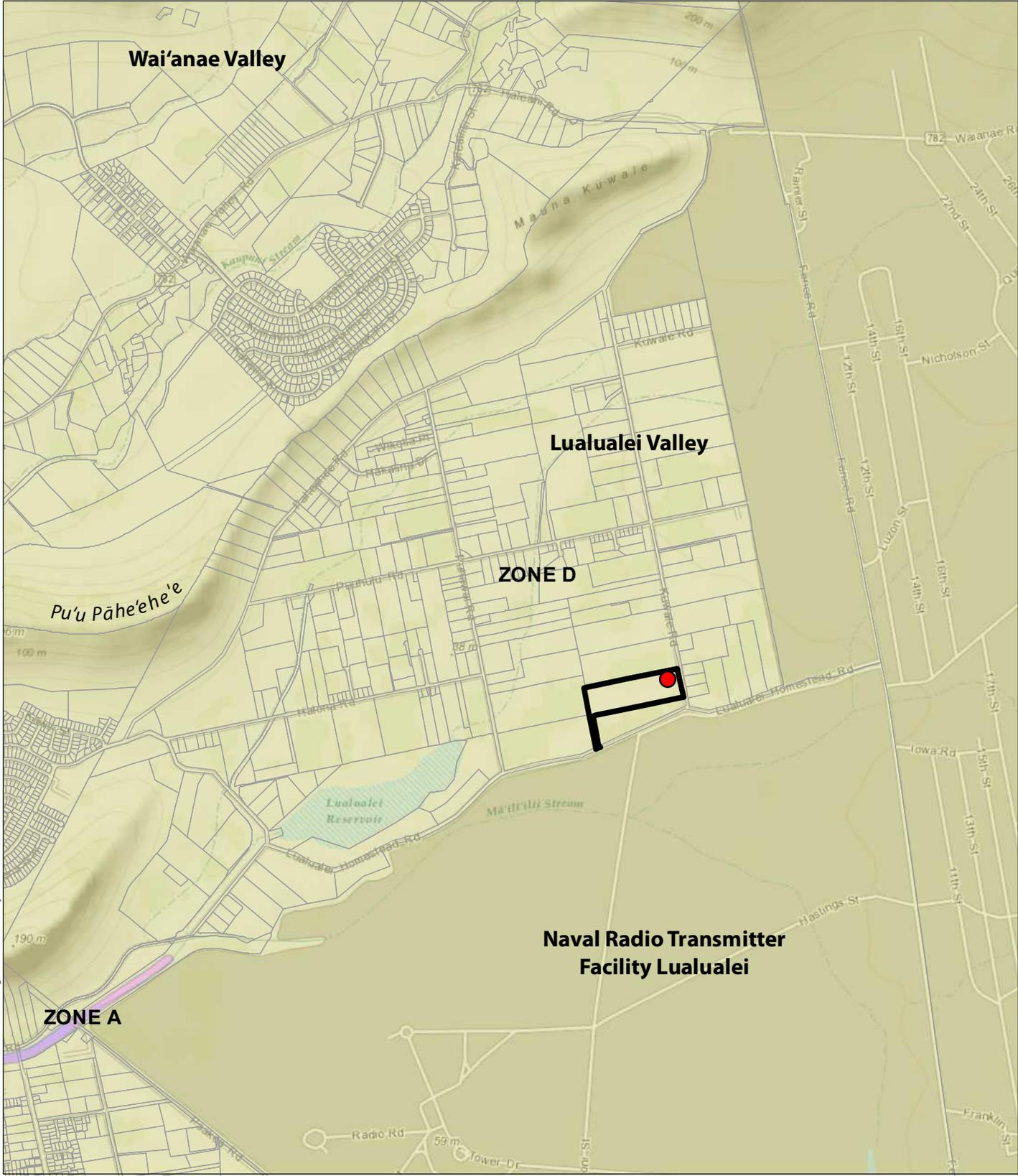
Natural hazards such as flooding, tsunami inundation, hurricanes, earthquakes, volcanic eruptions, and wildfires have historically affected the State of Hawai‘i. This section provides an assessment of the project site's vulnerability to such hazards.

4.6.1.1 Flooding

Flood Insurance Rate Maps (FIRM) indicate areas that would be flooded during 100- and 500-year flood events. Areas recognized as falling within a 100-year flood area are further divided into special flood hazard areas, which are insurance risk rate zones which range from moderate flood hazard areas (100- and 500-year flood boundaries) to minimal flood areas (for anything greater than 500-year flood level). Special flood hazard areas are further classified into zones “V” and “A”, which are zones that have the highest risk of flooding; and zone “X” which represents minimal-risk zones. Areas identified as zone “D” are unstudied areas where flood hazards are undetermined, but flooding is possible. According to the Flood Hazard Assessment Report prepared by the State Department of Land and Natural Resources, the proposed project is located in Flood Zone D. The Flood Insurance Program does not have any regulations for developments within Flood Zone D. Flood hazard classification for the project site and vicinity are shown in Figure 17.

4.6.1.2 Tsunami

In 2010, the City and County of Honolulu Department of Emergency Management revised the O‘ahu tsunami evacuation zone maps. The evacuation zones were developed by taking tsunami inundation data created by the Tsunami Inundation Mapping Project and applying a public safety buffer. Those residing in a tsunami evacuation zone must leave immediately when a tsunami warning is issued. As illustrated in Figure 18, the project site is well outside the tsunami evacuation zone.



Path: Q:\Oahu\Kahumana Farms Training Kitchen\GIS\Project\FIRM.mxd

DATE: 5/12/2016

LEGEND

- Project Site
- Ohana Ola 'O Kahumana Community
- Tax Map Key Parcels
- Zone A: 1% Annual Chance Flood; No Base Flood Elevation
- Zone D: Undetermined

FIGURE 17:
Flood Insurance Rate Map

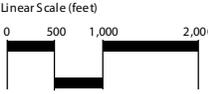
Kahumana Community Training Kitchen

Alternative Structures International Island of Oahu

North



Linear Scale (feet)




Source: Federal Emergency Management Agency (FEMA), 2010. City and County of Honolulu, 2015. ESRI basemaps.
Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.



Path: Q:\Oahu\Kahumana Farms Training Kitchen\GIS\Project\Tsunami Evacuation Zone.mxd

DATE: 5/12/2016

LEGEND

- Project Site
- Ohana Ola 'O Kahumana Community
- Tax Map Key Parcels
- Tsunami Evacuation Zone

FIGURE 18:
Tsunami Evacuation Zone

Kahumana Community Training Kitchen

Alternative Structures International Island of Oahu

North

Linear Scale (feet)

0 500 1,000 2,000

Source: City and County of Honolulu, 2010. ESRI basemaps.
Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.

4.6.1.3 Hurricanes

The State of Hawai'i has been affected twice in the past three decades by devastating hurricanes- Hurricane 'Iwa in 1982, and Hurricane 'Iniki in 1992. While it is difficult to predict these natural occurrences, it is reasonable to assume that Hurricanes will occur again. As in other parts of O'ahu, the property would be vulnerable to destructive winds and torrential rains associated with hurricanes. The two emergency evacuation centers nearest to the property are Leihōkū Elementary School and Wai'anae Elementary School, approximately 1.7 miles and 2.7 miles away from the project site, respectively. Other emergency evacuation shelters along the Leeward Coast include Nānākuli Elementary School, Nānākuli High and Intermediate School, Kamaile Elementary School, and Mākaha Elementary School.

4.6.1.4 Earthquake & Volcanic Hazards

In Hawai'i, volcanic activity produces more earthquakes than most other areas sitting on tectonic plate margins. Thousands of earthquakes occur in Hawai'i each year. However, the vast majority of them are undetectable through normal human senses. A few historical earthquakes have reached moderate and even disastrous magnitudes.

The last earthquakes felt statewide were magnitudes of 6.7 and 6.0. These earthquakes occurred at Kīholo Bay along Hawai'i Island's Kona Coast on October 15, 2006. These earthquakes resulted in more than \$100 million in damages to the northwest area of Hawai'i Island and minimal damage on O'ahu. From that same event, O'ahu was also subject to an earthquake-induced electrical blackout that paralyzed the City and County of Honolulu and shut down the Honolulu International Airport for nearly a day. While it is difficult to predict such natural occurrences, it is reasonable to assume that future incidents are probable, given historical events.

4.6.1.5 Wildfires

According to the City and County of Honolulu, the greatest danger of fire is where wildlands (trees and brush) border urban areas. Although all the Hawaiian Islands are vulnerable to wildland fires (especially during the summer months, prolonged drought and/or high winds), the great majority of wildfires are human-caused (intentionally caused or by negligence) and start along roadsides. Wildfires can and do also occur naturally. Fires occur frequently on the Wai'anae Coast, particularly along the hillsides and mountains, but also on unoccupied properties. As a result, the Wai'anae Fire Station is one of the busiest stations on the island.

4.6.2 Potential Impacts and Mitigation Measures

The project site is located in an area of undetermined flood hazards. This area has been designated as zone D on the FIRM. The project site is located outside the tsunami evacuation zone.

Fire hazards, particularly on undeveloped lands, are always a possibility during summer months, periods of drought and/or high winds. Ohana Ola has an evacuation plan in the event of emergencies. The Kitchen facility will be subject to this established plan that includes provisions for the safe evacuation of residents, staff, and visitors. Development of the kitchen grounds and eventual irrigated farm development of the remainder of the parcel will remove the existing fuel (overgrown grasses), providing a functional firebreak to the Kitchen.

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The State of Hawai'i Department of Defense, Hawai'i Emergency Management Agency (HIEMA, formerly the State Civil Defense) operates a system of civil defense sirens throughout the State to alert the public of emergencies and natural hazards, particularly tsunamis and hurricanes. According to the State of Hawai'i's online map of civil defense sirens (data.hawaii.gov), the two existing sirens nearest to the Project's Site are OA320, a 126-decibel (dB) siren located in the Wai'anae Shopping Mall, and OA319, A 110 dB siren located at Mā'ili Beach Park. Both sirens are located approximately two miles from the project site.

During the pre-assessment consultation period, HIEMA determined that no disaster warning siren coverage exists for the Project location. It was recommended that a solar-powered 121 dB(C) omni-directional siren be installed to provide the necessary siren coverage (see letter in Appendix F). The proposed kitchen site plan allows adequate area to accommodate a siren. Should the State wish to pursue installing a siren at this location, the project does not preclude this opportunity. Coordination with the land owner, the City and County of Honolulu, will be necessary.

4.7 HISTORIC, ARCHAEOLOGICAL AND CULTURAL RESOURCES

An archaeological consultant, Scientific Consultant Services, Inc. (SCS), was contracted to conduct an Archaeological Inventory Survey (AIS)-level testing of the site. The resulting report, an Archaeological Assessment is included as Appendix D.

4.7.1 Existing Conditions

The project site is located in Lualualei Valley, within the Wai'anae Ahupua'a. The Archaeological Assessment provides a summary of the area's traditional and historical background. It is thought that the ahupua'a of Wai'anae were settled during a period of population growth on O'ahu of A.D. 1100-1650. Wai'anae [*wai* (water) '*anae* (mullet)] is thought to be named for the large freshwater fishpond west of Wai'anae Stream and the ocean's abundance. There are multiple possible meanings or stories for the name Lualualei, including the interpretation "flexible wreath" referring to a battle formation; "beloved one spared" in reference to a traditional story of spared punishment; or possibly a reference to the demi-god Māui's sister who went by the same name. The valley was important in the times before contact with western cultures. Crops were grown in the back of the valley near water sources, pili grass for housing thatch was collected in the mid-valley, and the shoreline was used for salt production and marine resources. Hawaiian legends associated with Lualualei relay tales of Māui, learning to make fire, fishing, and adze-making.

Wai'anae, once a political center, was the place where the Maui Chief Kahekili was defeated by O'ahu warriors. Later, when Kamehameha I took control of the island, displaced individuals move to the area. Christian missionaries arrived on O'ahu in 1820, and by 1850, the first Hawaiian minister of the Wai'anae District, Stephen Waimalu, was ordained.

Sugar cultivation was attempted for a time in Lualualei Valley and throughout Wai'anae. It is possible that sugar was once cultivated on the project site, however, the archaeological testing performed for this study did not yield evidence of any prior land use.

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The archaeological testing included excavation of ten trenches distributed across a 1.43 acre area (See Appendix D for a map of the trench locations). The trenches were all approximately 5 meters long, .5-.65 meters wide, and between 1 and 1.3 meters deep. The trenches found two layers of soil stratum, the top layer being silty clay, the deeper layer being silt loam with 60-70% comprised of waterworn basalt rocks. The excavations found sterile soil and no evidence of historic properties. The archaeologists therefore recommend no additional archaeological work.

The Site has not been used for traditional cultural purposes in recent times, and it contains no known cultural resources. Because federal funds may be sought for the construction of the kitchen, notice of the proposed action was mailed to the Department of Interior list of Native Hawaiian Organizations (NHO). NHO were invited to participate in the National Historic Preservation Act historic preservation process with regard to the proposed Kitchen. No responses were received to the invitation. A copy of the Section 106 materials are included in Appendix E.

4.7.2 Potential Impacts and Mitigation Measures

Based on the findings of the Archaeological Assessment, adverse impacts to historic, archaeological, or cultural resources are not expected from development of the Kitchen. The Archaeological Assessment recommended that no further archaeological work be conducted at the Site, and has been submitted to the State Department of Land and Natural Resources State Historic Preservation Division (SHPD) for concurrence.

In the event that any historic properties, other than burials, are discovered during the course of construction, the procedures enumerated in Section 13-280-3 Hawai'i Administrative Rules will be followed.

In the event that burials are discovered during the course of construction, all work will cease in the immediate vicinity and the procedures enumerated in Section 13-300-40 Hawai'i Administrative Rules will be followed.

No adverse impact to cultural practices or beliefs is anticipated. Although no cultural or customary activities have been observed to occur on the Kitchen site, the Kitchen is not anticipated to affect the exercise of Native Hawaiian rights related to gathering, access, or other customary activities.

4.8 NOISE

4.8.1 Existing Conditions

Current sources of noise in the vicinity of the project site include vehicular traffic, farm equipment, typical residential noise, occasional aircraft, and natural sounds associated with weather and birds.

4.8.2 Potential Impacts and Mitigation Measures

4.8.2.1 Construction Noise

The proposed project is expected to produce increased noise levels during construction. In general, construction activities cannot exceed the permissible noise levels for more than ten percent of the time within any twenty minute period except by permit or variance. Any noise

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source that emits noise levels in excess of the maximum permissible sound levels cannot be operated without first obtaining a noise permit from the State Department of Health (DOH). Although the permit does not attenuate noise, it regulates the hours during which excessive noise is allowed.

Exposure to noise is expected to vary by construction activity, and the type of equipment used during the different activities. The general contractor(s) is expected to be responsible for obtaining necessary permits and complying with all permit conditions. There is a need to balance work activities to meet permit conditions for “acoustical” zoning districts while minimizing traffic disruptions. Work is expected to be scheduled primarily for daytime hours, as described in HAR Title 11, Chapter 46 (7:00 AM to 10:00 PM), Monday through Friday. The contractor is also expected to ensure that all construction equipment with motors are properly equipped with mufflers in good operating condition. The contractor may employ other mitigation measures to minimize those temporary noise impacts.

There are several residential homes and a church in the immediate vicinity of the proposed project site. As the new kitchen facility is constructed, the surrounding buildings and residences are likely to experience the temporary inconvenience of construction noise; however, it is anticipated that the distance between the homes and buildings will partially attenuate construction noise from the proposed project.

4.8.2.2 Operational Noise

Once operational, the noise levels at the Kitchen site are expected to be minimal. Noise generated by the Kitchen is anticipated to be negligible on adjacent properties. It is anticipated that noise may be generated from three different types of sources. One noise generator is the use of necessary mechanical and electrical equipment such as air conditioning systems and commercial grade kitchen equipment. Kitchen equipment will all be housed in doors. Another source of operational noise is from the cars and delivery vans/trucks coming to and from the facility. The third source of operational noise is a result of the increased number of people within the proposed facility. Due to the small-scale of the project, noise mitigations are not expected to be needed once the Kitchen is operational.

4.9 AIR QUALITY

4.9.1 Existing Conditions

The State’s good air quality is largely a function of the predominant tradewinds blowing from the northeast. The typical tradewind pattern blows anthropogenic and volcanic pollutants toward the ocean. However, during non-tradewind periods, both anthropogenic and volcanic pollutants can accumulate on island, affecting both visibility and air quality (increase in sulfur oxides (SO_x) and particulates). According to the EPA, there are no “non-attainment” areas on the island of O‘ahu. A non-attainment area is defined as a locality where air pollution levels caused by anthropogenic sources persistently exceed National Ambient Air Quality Standards (NAAQS). Most of the existing airborne pollutants are attributed primarily to vehicle-generated exhaust from the region’s roadways.

4.9.2 Potential Impacts and Mitigation Measures

Short-term air quality impacts due to the proposed project may result from construction activities. During construction, air quality in the area may be impacted by exhaust generated from construction equipment and fugitive dust. All construction activities will implement BMPs necessary to comply with the provisions of HAR, Chapter 11-60.1, “Air Pollution Control,” Section 11-60.1-33, “Fugitive Dust,” and to reduce any negative air quality impacts. The contractor for the proposed project will be encouraged to implement a dust control plan, to comply with the fugitive dust regulations. Dust control measures that may be implemented include the following:

- Planning the different phases of construction, focusing on minimizing the amount of dust-generating materials and activities, centralizing on-site vehicular traffic routes, and locating potential dust-generating equipment in areas of the least impact;
- Providing an adequate water source at the site prior to start-up of construction activities;
- Landscaping and providing rapid covering of bare areas, including slopes, starting from the initial grading phase;
- Minimizing dust from shoulders and access roads;
- Providing adequate dust control measures during weekends, after hours, and prior to daily start-up of construction activities; and
- Controlling dust from debris being hauled away from the project site. Also, controlling dust from daily operations of material being processed, stockpiled, and hauled to and from the facility.

The General Contractor is expected to develop standard procedures should dirt be tracked onto the roadways, to prevent sediment dispersal and fugitive dust formation. Exhaust emissions from construction equipment and increased vehicular traffic should not violate State or Federal air quality standards based on the moderate level of existing traffic volumes in the region.

Long-term air quality impacts due to the proposed project are not expected. Once the kitchen facility is built and operational, the number of vehicles traveling to and from the proposed project site is expected to increase slightly, particularly during the morning hours. However, the winds (tradewinds and on-shore breezes) should rapidly dissipate any potential impacts from noxious gasses. Due to the close location of the proposed project to Ohana Ola, residents in the transitional housing complex will be able to walk to the kitchen facility. A footbridge connecting the housing units to the kitchen will enable them to avoid walking on Kuwale Road. This significantly reduces the number of cars traveling to and from the project site, thereby reducing the potential emissions generated by single occupancy vehicles. While the project designs are still under development, the concept of sustainability is being incorporated into the design, including measures to minimize impacts to air quality. No additional mitigation measures are proposed.

4.10 VISUAL RESOURCES

4.10.1 Existing Conditions

According to the Wai'anae Sustainable Communities Plan (WSCP), visual resources in the Wai'anae district include coastal lands, steep ridges and Pu'u near the coast, and the peaks of the Wai'anae Mountain range. The property's central location within the Ahupua'a 'o Lualualei, surrounded by Pu'u Mā'ili'ili and Pu'u Pāhe'ehe'e to the west, Pāhe'ehe'e Ridge/Mauna Kuwale and Mt. Ka'ala to the north, the Wai'anae Range to the north and east, and Pu'u o Hulu to the south, provides for panoramic views from within the property of the ridgeline of the Ahupua'a and the two distinctive Pu'u landforms to the north and south of the property. Due to the site's location two miles inland, there are no makai views of the ocean (Figure 8).

4.10.2 Potential Impacts and Mitigation Measures

The visual appearance of the project site is expected to change from vacant land overgrown with weeds, grasses, and shrubs to a kitchen facility. To maintain the visual appearance, the building footprint will occupy only 2,800-to-3,000 sq. ft., and will be one story in height. Given the existing grade of the project site and the low building height, view planes are not expected to be obstructed. Landscaping should further mitigate the visual impact of rooflines. The WSCP indicates that mauka and makai views are important, but does not recognize any specific view planes encompassing any portion of the project site that require consideration and accommodation. As such, the proposed project is not expected to significantly impact public views.

4.11 SOCIAL & ECONOMIC CHARACTERISTICS

4.11.1 Existing Conditions

Data from the U.S. Census Bureau can provide general characteristics of the population in the vicinity of the property. Demographic data for the Lualualei: Halona Road Census Tract are from the 2010-2014 American Community Survey 5-Year Estimate, while data for O'ahu are from the 2014 American Community Survey 1-Year Estimate. The American Community Survey (ACS) Estimates represent the average characteristics of a population for a time range, rather than for a single point in time. The Lualualei: Halona Road Census Tract extends from Pu'u Pāhe'ehe'e and Pāhe'ehe'e Ridge to the north, Hoku'ukali Street and the Wai'anae Kai Hawaiian Homestead to the west, Pu'u Mā'ili'ili and Mā'ili'ili Stream to the southwest, Lualualei Reservoir and Lualualei Homestead Road to the south, and the Lualualei Naval Magazine to the east.

Between 2010 and 2014, the Lualualei: Halona Road Census Tract had an average population of 3,388 persons (U.S. Census Bureau). Table 3 below provides a comparison of demographic characteristics of the census tract versus Honolulu County (O'ahu Island) as a whole.

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Table 3: Comparison of Hawai‘i American Community Survey (ACS) Estimates

	Census Tract No. 97.04: Lualualei: Halona Road <i>(2010-2014 ACS 5-Year Estimates)</i>	Honolulu County <i>(2014 ACS 1-Year Estimates)</i>
Resident population:	3,388	991,788
Median household income:	\$71,890	\$74,634
Median family income:	\$72,885	\$83,963
Persons below poverty level:	12.4%	9.7%
Families below poverty level:	8.0%	6.6%
Civilian unemployment rate:	11.4%	5.2%
Population with a high school degree or higher:	76.1%	91.8%
Population with a bachelor degree:	9.7%	21.5%
Population who were foreign-born:	14.8%	18.7%
Population who speak a language other than English:	30.5%	27.4%
Median value for owner-occupied housing unit:	\$404,500	\$590,600

(Source: Research and Economic Analysis Division, DBEDT)

As compared with O‘ahu as a whole, the median household income and median family income were lower in the Lualualei: Halona Road Census Tract, and poverty and unemployment rates were higher. Educational attainment was also lower in this census tract, and the population who speak a language other than English was slightly higher.

4.11.2 Potential Impacts and Mitigation Measures

The proposed Kitchen at Ohana Ola is anticipated to have a positive impact on the area population by providing improved social services and occupational training opportunities for homeless and low-income individuals and families. Other positive impacts include the meals prepared for underprivileged children, and strengthened connections with and stewardship of the ‘āina in the farm-to-table process.

The proposed project is expected to generate short-term employment in the construction of on- and off-site infrastructure improvements, as well as on-site building and landscape improvements.

4.12 INFRASTRUCTURE AND UTILITIES

4.12.1 Roadways and Traffic

Ohana Ola ‘O Kahumana is located approximately two miles mauka (northeast) of Farrington Highway. The project site will be accessed by Kuwale Road via Lualualei Homestead Road and Mā‘ili‘ili Road.

Farrington Highway is owned by the State of Hawai‘i, and is a four-lane, generally north-south, divided highway in the vicinity of Mā‘ili that extends along the western coast of the island, from Wai‘anae at the north end to Nānākuli at the south end of the Wai‘anae Coast. Farrington

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Highway has a posted speed limit of 35 mph in the vicinity of Mā‘ili. Separate left and right turn lanes are provided at intersections. Farrington Highway is the highest vehicle volume roadway on the Wai‘anae Coast and includes distinct directional traffic as residents travel to jobs in Kapolei and the primary urban center of Honolulu in the morning (AM) peak period and return in the evening (PM) peak period.

Mā‘ili‘ili Road, Lualualei Homestead Road, and Kuwale Road are narrow, two-lane paved roadways with unimproved shoulders (no curbs, gutters, or sidewalks). Mā‘ili‘ili Road starts at its intersection with Farrington Highway between the mouth of Mā‘ili‘ili Stream/Channel and the foot of Pu‘u Mā‘ili‘ili, and runs northeast for one mile until a bend at which it becomes Lualualei Homestead Road. From there, Lualualei Homestead Road continues northeast for approximately 1.4 miles until it reaches a dead end. Roughly 0.2 miles before this dead end, Lualualei Homestead Road intersects with Kuwale Road. From this intersection, Kuwale Road runs north in a straight line for approximately one mile until its dead end at the foot of Pāhe‘ehe‘e Ridge and Mauna Kuwale, which separate Wai‘anae Valley and Lualualei Valley.

Deliveries to and from the existing Kitchen at Ulu Ke Kukui in Mā‘ili are made Monday through Friday, utilizing the local roads. On a given weekday, there are typically two to six deliveries of food and supplies to the Kitchen at Ulu Ke Kukui, depending on needs. The current schedule of deliveries of food and supplies to the existing Kitchen at Ulu Ke Kukui is provided in the following table:

Table 4: Delivery Schedule for Kitchen at Ulu Ke Kukui

	Monday	Tuesday	Wednesday	Thursday	Friday
Milk	4:30 AM	4:30 AM	4:30 AM	4:30 AM	4:30 AM
H & W (food)	Between 6 AM – 4:00 PM			Between 6 AM – 4:00 PM	
HFM (food)		Between 6 AM – 4:00 PM		Between 6 AM – 4:00 PM	
Armstrong (produce)	(Depending on needs, deliver between 6 AM – 4 PM)				
Malolo (paper products)			PM hours		
Personal Van Purchaser	Between 6-8AM or evening	Between 6-8AM or evening	Between 6-8AM or evening		
HFA (bread)	8-10 AM		8-10 AM		8-10 AM
Y Hata	(On needed basis)			(On needed basis)	

The Kitchen at Ulu Ke Kukui also makes deliveries of prepared keiki meals to several locations, including Ohana Ola, 3 YMCA sites, and 21 Head Start sites. These deliveries are made using two vans, according to the following staggered schedule:

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Table 5: Current Meal Delivery Schedule

	Daily (M-F)
1 st Van (<i>departs</i>)	8:50 AM
2 nd Van (<i>departs</i>)	9:20 AM
Vans 1 & 2 (<i>return</i>)	By 11:30 AM – 12:00 PM
1 st Van (<i>departs</i>)	1:15 PM
2 nd Van (<i>departs</i>)	1:15 PM
Vans 1 & 2 (<i>return</i>)	By 2:30 PM
Van (<i>departs</i>)	2:45 PM
Van (<i>returns</i>)	4:20 PM

It is expected that to continue the level of Kitchen service currently provided, the trip generation for the new Kitchen will be similar to that of Ulu Ke Kukui, plus one trip per week from a rubbish hauler. Kahumana staff estimates that if the Kitchen contracts are expanded to 2,200 meals per day (the estimated maximum that Kahumana foresees capacity to fill), truck deliveries may increase by up to 25% and delivery trips by vans may increase by 50%. Due to the staggered nature of the food deliveries, it is not expected that the estimated 25% increase in delivery trucks will generate traffic congestion or noticeable wear and tear on roadways. Similarly, the addition of 50% more van trips, increases the number of vans from two that operate in the area now to three and is not expected to be noticeable in terms of congestion or wear on transportation systems.

4.12.2 Public Transportation

TheBus is a public transportation service provided by the City and County of Honolulu. It provides bus service along the Wai‘anae Coast. The closest bus stop is Stop ID #2724, located on Kuwale Road at Lualualei Homestead Road, near the existing Kuwale Road entrance to Ohana Ola ‘O Kahumana. Route 402 services this bus stop daily, with scheduled stops at roughly one-hour intervals, starting at 4:17 AM and ending at 9:57 PM.

Route 402 connects Lualualei Homestead with the Wai‘anae Transit Center on Leihōkū Street, at which riders may transfer to the following service routes:

Route C – Country Express bus service connects the Wai‘anae Coast to the Ala Moana Shopping Center, and several points in-between, including Kapolei, Kalihi, and downtown Honolulu. Service frequency on Route C varies from 4:00 AM to 10:30 PM with 30 minute headways.

Route PHI – Pearl Harbor and Hickam AFB route that follows a similar route as Route C, with an additional loop through the Pearl Harbor/Hickam Air Force Base. Service frequency on Route PHI varies from 4:00 AM to 10:30 PM with 30 minute headways.

Route 40 – Honolulu-Mākaha route that connects the Mākaha Towers to the Ala Moana Center. The route follows Farrington Highway with stops at Mākaha Valley Road, the Wai‘anae Transit Center, the Wet n’ Wild Hawai‘i Water Park and Kapolei. The route continues on to Honolulu via the Kamehameha Highway to Nimitz Highway, Dillingham Boulevard, King Street and Kapi‘olani Boulevard. Route 40 operates 24 hours per day with 30 minute headways during the peak hours.

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Route 93 – Wai‘anae Coast Express route that connects the Wai‘anae Coast to downtown Honolulu as far east as Alapa‘i and King Street. It follows a similar route as Route C, Country Express, except that it does not continue to Ala Moana Center, instead offering stops on Vineyard and continuing along Middle Street before returning to the Wai‘anae Coast. Route 93 is an express route which operates in the eastbound direction during the morning peak hour at 20 minute headways, and operates during the evening peak hour with an average of 15 minute headways.

Route 401 – Local route that connects Wai‘anae Valley to the Wai‘anae Transit Center.

Route 403 – Local route that connects Mā‘ili and Nānākuli to the Wai‘anae Transit Center.

4.12.2.1 Potential Impacts and Mitigation Measures

No significant impacts to roadways and traffic or to public transportation are anticipated. The primary source for participants in Kahumana's kitchen training program at the new Kitchen facility will be adults residing at Ohana Ola. An on-site walkway and footbridge over the drainageway is planned to allow residents in the transitional housing complex to access the Kitchen without walking on Kuwale Road. This will make the program accessible to all housing residents, including those who cannot afford to own cars or pay for bus fare. Other participants and staff who do not live at Ohana Ola will be able to catch TheBus or drive to the project site, although these numbers are anticipated to be low. The new facility will include a parking/loading area for about twelve vehicles.

With the relocation of the kitchen training program from the existing KUK in Mā‘ili to the proposed Kitchen at Ohana Ola, there will be an increase in the number of daily deliveries to and from Ohana Ola, resulting in slight increases to traffic along Mā‘ili‘ili Road, Lualualei Homestead Road, and Kuwale Road, as well as on Farrington Highway. This potential impact may be mitigated by staggering the scheduled deliveries during off-peak hours.

During pre-consultation, design comments were received from transportation agencies as follow:

- The City and County of Honolulu Department of Transportation Services notes the following requirements pertaining to roadways and transportation during design:
 - All access driveways to the project site should be designed with the highest pedestrian and bicycle safety measures.
 - On-site bike racks and secure bike storage for the residents, employees and visitors should be included.
 - All parking needs should be handled on site.
 - All loading and unloading needs should be handled on site rather than on City roadways.
 - The project should be designed to accommodate TheHandi-Van paratransit vehicles on site with a minimum 31-foot turning radius and a 10 foot 6 inch height clearance.

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Due to the small-scale nature of the development, construction impacts to roadways are not expected. Comments received during pre-consultation provide guidance during construction as follow:

- The State of Hawai‘i Department of Transportation (DOT) requires that transport of oversized and/or overweight materials or equipment will necessitate a permit from the DOT Highways Division.
- The City and County of Honolulu Department of Facilities Maintenance cautions that should any damages/deficiencies to Lualualei Homestead Road or Kuwale Road rights-of-way occur during construction, they shall be corrected.
- The City and County of Honolulu Department of Transportation Services notes the following requirements pertaining to roadways and transportation during construction:
 - Any damage to existing roadway area caused by the project should be restored to original condition or better.
 - Construction notes should include the following note: *This project may affect bus routes, bus stop, and paratransit operations therefore, the Contractor shall notify the Department of Transportation Services, Public Transit Division at 768-8396 and Oahu Transit Services, Inc. (bus operations: 848-4578 or 852-6016 and paratransit operations: 454-5041 or 454-5020) of the scope of work, location, proposed closure of any street, traffic lane, sidewalk, or bus stop and duration of project at least two weeks prior to construction.*
 - Construction materials and equipment should be transferred to and from the project site during off-peak traffic hours (8:30 am to 3:30 pm) to minimize any possible disruption to traffic on the local streets.
 - A street usage permit from the City’s Department of Transportation Services should be obtained for any construction-related work that may require the temporary closure of any traffic lane on a City street.

4.12.3 Water System

4.12.3.1 Existing Conditions

The project site is within the Wai‘anae Service Area of the Board of Water Supply’s (BWS) Development Plan for the island of O‘ahu. The Wai‘anae Service Area (potable supply) is estimated to have a water demand of 9.3 million gallons a day (MGD). The wells in the Wai‘anae Service Area contribute approximately 4.8 MGD. The Lualualei booster pump provides approximately 4.5 MGD to the Wai‘anae Area from Central O‘ahu.

4.12.3.2 Potential Impacts and Mitigation Measures

The estimated total fire flow requirement for the size of building proposed is approximate 2,000 gpd. The estimated average daily demands for the Kitchen will be determined at the time of final design. Preliminary fixture counts estimate the following:

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Table 6: Estimated Fixture Count

Fixture	Number
Double sinks	3
Hand sinks and eye wash	5
Triple sinks	1
Dish washer	1
Clothes washer	1
Hose bibs	4
Shower	1
Water closets.	3
Urinal	1

A new connection to the existing BWS water system will provide water service to the project. The water system will need to be designed in conformance with the BWS Water System Standards and Standard Details. The project’s water system is expected to be serviced by the BWS 242 Service Zone. Connection to the BWS system is anticipated on Kuwale Street. BWS Cross-Connection Control and Backflow Prevention requirements will be fulfilled prior to the issuance of the building permit applications.

Water conservation measures considered for the proposed project include: low flow plumbing fixtures, utilization of nonpotable water for irrigation using rain catchment, drought tolerant plants, xeriscape landscaping, efficient irrigation systems, and the use of Water Sense labeled ultra-low-flow water fixtures and toilets.

4.12.4 Wastewater System

4.12.4.1 Existing Conditions

The project site is currently not served by a public sanitary sewer system.

4.12.4.2 Potential Impacts and Mitigation Measures

Estimating 30 employees (20 part time and 10 full time) and preparation of up to 2,000 meals to be delivered and consumed elsewhere per day, the proposed project is anticipated to generate a design average flow of 6,400 gallons of wastewater per day (gpd).

An individual wastewater system compliant with State of Hawai‘i Department of Health Wastewater Branch requirements will be constructed to serve the proposed project. Kahumana plans to recycle the water from fruit and vegetable washing to irrigate the Kitchen’s landscaping. This should serve to minimize volume of waste related to food preparation, fruit and vegetable washing and benefit the efficiency and effectiveness of the individual wastewater system.

4.12.5 Drainage System

4.12.5.1 Existing Conditions

The project site is vegetated and the ground contours generally slope down to the west and south; consequently, stormwater infiltrates on site or sheet flows during heavier rain events to the

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drainageway that runs between the project site and the housing component of Ohana Ola ‘O Kahumana.

4.12.5.2 Potential Impacts and Mitigation Measures

The development of the Kitchen will increase the impervious area to less than 1/3 acre.

As required by the City and County of Honolulu, the proposed project will maintain existing drainage patterns and detain additional run-off caused by the increase in impervious area due to the development of the project site. It is anticipated that sustainable design practices and post construction best management practices (BMPs) will be implemented to limit the increase in runoff volume and help improve the quality of the storm water discharged. Detention ponds, water quality swales, structural BMPs, and pervious pavements may be utilized to help minimize the discharge from the project site to be equal to or less than the existing run-off quantity. In addition, the proposed project will comply with the City and County of Honolulu’s Rules Relating to Storm Drainage Standards.

4.12.6 Energy Systems

4.12.6.1 Existing Conditions

Hawaiian Electric Company, Inc. (HECO) provides electrical power to the area. Overhead lines in the Kuwale Road right of way.

4.12.6.2 Potential Impacts and Mitigation Measures

During the pre-consultation process, HECO noted that should there be any easements on the site for HECO facilities, the company will continue to need access. HECO also expressed the need to continue communications as the project plans are developed. Comments can be found in Appendix F. Kahumana has registered with Hawaii One Call to ensure that there are no utilities on site. Notice of ground disturbance was provided to utilities through the One Call service prior to archaeological subsurface investigations, and the service will be utilized again prior to site preparation

4.12.7 Solid Waste

4.12.7.1 Existing Conditions

It is the County Department of Environmental Services, Refuse Division’s responsibility to collect, recycle, burn and dispose of the Island’s solid waste. The project site is currently vacant and does not generate waste.

4.12.7.2 Potential Impacts and Mitigation Measures

The proposed project will generate solid waste during construction and after development. Construction wastes will include vegetation, rocks and debris from the grading and grubbing of the project site.

During operations of the facility, the composition of the solid waste is expected to be primarily compostable kitchen scraps. They will be taken next door to Kahumana’s established composting station. Any refuse that is not recycled or composted is anticipated to be collected by a private

refuse company to transport it to a County Department of Environmental Services, Refuse Division transfer station, for burning at the City’s H-POWER facility and eventual disposal in a sanitary landfill.

4.13 PUBLIC SERVICES AND FACILITIES

4.13.1 Existing Conditions

4.13.1.1 Police Protection

The site is located within Honolulu Police Department District 8. The new Wai‘anae Police Substation facility is located at 85-939 Farrington Highway, at the intersection with Wai‘anae Valley Road. The Wai‘anae Police Substation is approximately 2.6 miles from the project site.

4.13.1.2 Fire Protection

The Wai‘anae Fire Station is located at 85-645 Farrington Highway and is approximately three miles away from the project site.

4.13.1.3 Health & Social Services

The Wai‘anae Coast Comprehensive Health Center, which includes emergency services, is located at 86-260 Farrington Highway, and is approximately two miles from the project site.

4.13.1.4 Recreational and Cultural Facilities

Recreational facilities near the proposed project include Pu‘u o Hulu Community Park, Mā‘ili Community Park, Mā‘ili Beach Park, Ulehawa Beach Park, Nānākuli Beach Park, Lualualei Beach Park, Pokai Beach Park, Herbert K Pililaa Community Park, Wai‘anae District Park.

4.13.1.5 Educational Facilities

There are a number of educational facilities and programs in the vicinity of the property, including Kamehameha Schools Wai‘anae 1 Preschool, Kamehameha Schools Hoaliku Drake Preschool, INPEACE Keiki Steps (Mā‘ili Elementary School), Head Start Mā‘ili Elementary School, Head Start Ulu Ke Kukui, Head Start Keiki Country, Mā‘ili Bible School, Butler Enterprises Child Care, and Nina’s Learning Day Care.

Public schools serving the property include Leihōkū Elementary School, Wai‘anae Intermediate School, and Wai‘anae High School. Charter schools along the Wai‘anae Coast include the Ka Waihona o ka Na‘auao K-8 School in Nānākuli and the Kamaile Academy K-9 School in Wai‘anae.

4.13.2 Potential Impacts and Mitigation Measures

4.13.2.1 Police Protection

An occasional and unavoidable demand for police protection is anticipated. During the pre-consultation process, the Honolulu Police Department noted that the project should have no significant impact on its facilities or operations. Comments can be found in Appendix F and H.

4.13.2.2 Fire Protection

An occasional and unavoidable demand for fire protection is anticipated. During the pre-consultation process, the Honolulu Fire Department noted that the project should have no

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significant impact on its facilities or operations. Upon review of the Draft EA, the Fire Department commented that they will apply Chapter 50, Commercial Cooking Equipment of the Fire Code of the City and County of Honolulu and other pertinent chapters of the Fire Code during the plans review. Comments can be found in Appendix F and H.

4.13.2.3 Health and Social Services

An occasional and unavoidable demand for emergency health care is anticipated. The nearest emergency health center, the Wai‘anae Coast Comprehensive Health Center, is located approximately two miles from the project site. No impacts to the Health Center’s ability to provide service is anticipated. During the pre-consultation process, the State of Hawai‘i Department of Human Services noted that the agency has no comment to the proposed Kitchen. Comments can be found in Appendix F.

4.13.2.4 Recreational and Cultural Facilities

The proposed project is not anticipated to have a significant impact on recreational and cultural facilities in the area. During the pre-consultation process, the City and County of Honolulu Parks Department noted that the project should have no significant impact on its facilities or programs. Comments can be found in Appendix F.

4.13.2.5 Educational Facilities

The proposed project is anticipated to have a positive impact on the Wai‘anae Coast by providing healthy meals for underprivileged children at schools, headstart programs, and YMCA. During the school year, the existing kitchen at Kahumana prepares approximately 1,100 healthy meals per weekday. It is a successful program with high potential for growth. Based on on-going dialogue with kitchen clients, Kahumana estimates that it could double the kitchen’s production. Thus, with the proposed new kitchen facility, there would be an even greater positive impact on area schoolchildren.

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5 ALTERNATIVES

In compliance with the provisions of Section 11-200-17(f), HAR, an EA must discuss all potential practicable alternatives to the proposed action.

5.1 NO ACTION

The no-action alternative results in no change in use of the project site. Under this alternative, the Community Training Kitchen at Ohana Ola would not be built and the project site would remain in its current undeveloped state. No short-term construction jobs or long term operational jobs would be generated. While Kahumana's job training program may be able to continue at the existing Kitchen at Ulu Ke Kukui in Mā‘ili, the existing program will not be able to increase production to accommodate projected growth due to the limited capacity of the existing facilities. Moreover, the lease for Ulu Ke Kukui will expire in 2018, leaving the existing kitchen's future uncertain.

5.2 ALTERNATIVE SITES

Alternative sites within the 12 acre Ohana Ola TMK parcel were also considered. However, since the dominant uses at Kahumana Farms and Ohana Ola are agriculture and transitional housing, locations elsewhere on the property would be disruptive to farm expansion plans and residential uses.

5.3 ALTERNATIVE RELATED TO DIFFERENT DESIGNS OR DETAILS OF THE PROPOSED ACTION WHICH WOULD PRESENT DIFFERENT ENVIRONMENTAL IMPACTS

Early concepts for the kitchen included a larger sized facility (7,000-9,000 square feet) and included a central kitchen centered on the vocation program and preparation of lunches; an instructional kitchen for culinary/vocational skills training; and three small community incubator kitchens for use by low-income or unemployed residents in developing food-based micro enterprises. This scale of facility was generally described in the pre-consultation process. As pre-consultation responses were received and concerns about the use of agricultural land use were voiced, the larger size, multiple use facility concept was discarded in favor of a more modest facility.

5.4 PREFERRED ALTERNATIVE

The preferred alternative is to develop the Kitchen at Ohana Ola. This alternative satisfies project goals to retain and expand Kahumana’s kitchen training program by building a larger facility and locating it where Kahumana will have long-term site control, thus creating greater certainty that the program can continue uninterrupted and eventually expand. The location at Ohana Ola puts the Kitchen in immediate proximity to resident trainees and Kahumana Farm’s produce which is used in meal production.

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The preferred alternative represents a more modest facility than initially conceived. The proposed Kitchen is more functionally related to workforce development of the residents at Ohana Ola and the use of produce grown at Kahumana Farms.

6 FINDINGS, SUPPORTING REASONS, & DETERMINATION

To determine whether the proposed project may have a significant impact on the physical and human environment, all expected consequences of the Community Training Kitchen at Ohana Ola ‘O Kahumana have been evaluated, including potential primary, secondary, short-range, long-range, and cumulative impacts. Based on this evaluation, the Approving Agency (DCS) has determined a FONSI for the Kitchen at Ohana Ola. The supporting rationale for this finding is presented in this chapter.

6.1 PROBABLE IMPACT, INCLUDING CUMULATIVE IMPACTS

Cumulative impacts are impacts on the environment that result from the action when added to other past, present, and foreseeable future actions by other agencies or persons. As discussed throughout this document, this project is being proposed to address the critical need to expand the job training program provided by Kahumana at Ohana Ola to help families navigate from homelessness to self-sufficiency.

Overall, the anticipated cumulative impacts are beneficial, particularly socio-economic impacts. The long-term cumulative impacts of the proposed project as presented include: 1) improved provision of critically needed social services and increased educational and job-training opportunities for unemployed or extremely low-income adults within the Wai‘anae Coast District; 2) increased provision of healthy meals for underprivileged children in the community; 3) strengthened connections with and stewardship of the ‘āina in the farm-to-table process; and 4) streamlining the integration of produce grown and raised at Kahumana Farms into keiki meals.

Impacts to the environment can be addressed through the implementation of measures to avoid, minimize, or mitigate construction activities and long term operations. Those measures are discussed throughout this document.

6.2 SIGNIFICANCE CRITERIA

Based upon the previous information presented in this document, the proposed permitting and construction of the Community Training Kitchen at Ohana Ola ‘O Kahumana is not expected to have a significant impact on the environment. This determination is based upon the Significance Criteria outlined in Chapter 343, HRS, as amended and Title 11 Chapter 200, HAR 1996, discussed below.

(1) Involves an irrevocable commitment to loss or destruction of any natural or cultural resource;

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Discussion: As discussed herein, the proposed site does not contain any known significant natural or cultural resources, and the proposed project will not involve an irrevocable commitment to loss or destruction of any natural or cultural resource.

(2) *Curtails the range of beneficial uses of the environment;*

Discussion: The Community Training Kitchen at Ohana Ola will increase, not curtail, the beneficial uses of the subject properties. While the proposed project forecloses other uses (e.g., open space or potential agricultural development) for a small portion of the site, the range of beneficial uses of the property will likely increase over the status quo to include educational and vocational training. It is expected that the addition of the Kitchen to the site will add value to the agricultural activities of Kahumana's existing nine-acre farm, the planned expansion of farm use for 2.5 acres of the remaining undeveloped land at Ohana Ola, and a soon-to-be opened sixteen-acre farm farther up Kuwale Road.

(3) *Conflicts with the state's long term environmental policies or goals and guidelines as expressed in Chapter 344, HRS; and any revisions thereof and amendments thereto, court decisions, or executive orders;*

Discussion: The environmental policies enumerated in Chapter 344, HRS promote conservation of natural resources, and an enhanced quality of life for all citizens. The proposed project is consistent with the environmental policies, goals, and guidelines. This EA has addressed such issues as: natural resources conservation; enhancement of the quality of life; population; land, water, visual, air, and other natural resources; biological resources; parks, recreation, and open space; economic development; transportation; energy; education and culture; and citizen participation.

(4) *Substantially affects the economic or social welfare, and cultural practices of the community or State;*

Discussion: The proposed project is anticipated to positively affect the economic and social welfare of the Wai'anae Coast community by providing a critically needed venue for Kahumana to retain and expand its food-preparation job-training program. This kitchen training program is a crucial component of Kahumana's integrated mix of social services, social ventures, and vocational training programs that help homeless families, people with disabilities, and youth. The proposed Kitchen will allow Kahumana to have a greater positive impact on the lives and livelihoods of the homeless, unemployed, and extremely low-income adults who participate in the program. Moreover, the proposed Kitchen will also enable Kahumana to double the production of healthy meals for underprivileged children in the community.

(5) *Substantially affects public health;*

Discussion: The proposed project is anticipated to positively affect public health of the Wai'anae Coast community. Most appreciably, continuation and growth of the provision of healthy lunches for underprivileged children is expected to be a beneficial impact to community public health. Secondly, by providing jobs and job training within walking distance of the residences at

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Ohana Ola may serve to remove a few cars from Waianae roads and facilitate a walkable live/work environment for the individual Ohana Ola residents employed at the Kitchen. Long term, the educational component emphasizing the farm to table process for low-income individuals is anticipated to be a benefit to the individuals involved and passed to their children and ohana.

In the short term, construction of the proposed project may pose the potential for temporary impacts to noise, air, and water quality; however, these potential impacts will be of a short-term duration and are not expected to substantially affect public health. All construction activities will comply with applicable regulations and appropriate mitigation measures will be implemented as necessary.

(6) *Involves substantial secondary impacts, such as population changes or effects on public facilities;*

Discussion: The proposed project is not anticipated to significantly impact population changes or public facilities. The demand for water, as well as solid waste and wastewater generation, should not increase significantly, either regionally or island-wide. The construction of the Kitchen at Ohana Ola will not trigger population changes or the need for additional housing in Wai‘anae.

(7) *Involves a substantial degradation of environmental quality;*

Discussion: The proposed project will utilize previously disturbed vacant land and is not expected to substantially degrade environmental quality of these lands. The property was substantially modified in the past, and today lacks any significant natural resources. Potential impacts to the environment resulting from development, and appropriate mitigation measures have been identified throughout this EA.

(8) *Is individually limited but cumulatively has considerable effect upon the environment or involves a commitment for larger actions;*

Discussion: Short term impacts related to construction can be expected, but minimized as discussed throughout this EA. Cumulative impacts are anticipated to be of a beneficial nature. The goals of this project are to retain and expand Kahumana’s kitchen training program by building a larger facility and locating it where Kahumana will have long-term site control. The cumulative positive impacts will be the development of knowledge and workforce training; uninterrupted continuation and potential growth of the keiki meal program, expanding the use of produce grown at Kahumana Farms to the extent possible to strengthen connections with and stewardship of the ‘āina in the farm-to-table process.

(9) *Substantially affects a rare, threatened or endangered species or its habitat;*

Discussion: The site contains no habitat for rare, threatened or endangered plant or animal species listed by the USFWS or in the Endangered Species Act. Therefore, none are expected to be affected by the proposed project. Minimization measures are included herein to ensure there is no adverse effect to any threatened or endangered species that may transit the area.

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(10) *Detrimentially affects air or water quality or ambient noise levels;*

Discussion: No State or Federal air quality or water standards should be violated during or after the construction of the proposed project. Construction activities for the development of the property including infrastructure improvements will inevitably create temporary noise impacts. Mitigation measures to minimize temporary noise impacts may include the use of mufflers and implementing construction curfew periods. Upon completion of the project, the ambient noise level within the proposed project is expected to be minimal, and sound enclosures, mufflers, buffers and setbacks will be provided to help mitigate noise impacts.

(11) *Affects or is likely to suffer damage by being located in an environmentally sensitive area, such as a flood plain, tsunami zone, beach, erosion-prone area, geologically hazardous land, estuary, fresh water, or coastal waters;*

Discussion: The proposed project is not located in an environmentally sensitive area, such as a flood plain, tsunami evacuation zone, beach, erosion-prone area, geologically hazardous land, estuary, fresh water, or coastal waters.

(12) *Substantially affects scenic vistas and view planes identified in County or State plans or studies; or,*

Discussion: Kahumana does not anticipate that scenic vistas or view planes specifically identified in City and County of Honolulu plans, such as the Wai‘anae Sustainable Communities Plan will be affected. In addition, Kahumana does not anticipate that the significant views identified in the Coastal Views Study will be affected. The Kitchen structure is anticipated to be one story in height, and will be sited to reduce visual impact. Views from residences adjacent to the Kitchen at Ohana Ola are not expected to be obstructed.

(13) *Requires substantial energy consumption.*

Discussion: Construction of the proposed project is not expected to require more energy than other projects of similar size and scale. Sustainable features that reduce overall energy consumption will be integrated into the design of the Kitchen at Ohana Ola, where appropriate. Such features could include considerations for orienting structures to maximize solar energy production, incorporating energy-saving fixtures and appliances, and maximizing day lighting.

6.3 DETERMINATION

On the basis of impacts and mitigation measures examined in this document and analyzed under the above criteria, it has been determined that the Kitchen at Ohana Ola will not have a significant effect on the physical or human environments. Pursuant to Chapter 343, HRS, the approving agency (DCS) has issued a FONSI.

7 CONSULTED PARTIES AND PARTICIPANTS IN THE EA PROCESS

Various agencies and individuals were consulted in preparation of this EA as described in the following sections of this report.

7.1 PRE-CONSULTATION & EARLY OUTREACH

A pre-consultation letter was sent to various agencies, organizations, and individuals listed in the following table. Comment and response letters have been reproduced and are provided in Appendix F.

Table 7: Pre-consultation Comment Letters

STATE	Comment Rec'd
Department of Accounting and General Services	X
Department of Agriculture	X
Department of Business, Economic Development & Tourism – Hawaii Housing Finance & Development Corporation	
DBEDT - Office of Planning	
Department of Defense	X
Department of Hawaiian Home Lands	
Department of Health – Clean Water Branch	X
Department of Health - Environmental Planning Office	X
Department of Human Services	X
Department of Labor and Industrial Relations	
Department of Land and Natural Resources	X
DLNR - Commission on Water Resource Management	X
Department of Transportation	X
Hawai'i Housing Finance and Development Corporation	X
Office of Hawaiian Affairs	
Office of Environmental Quality Control	X
Office of Planning	X
FEDERAL	
U.S. Fish and Wildlife Service	X
U.S. Army Corps of Engineers	X
U.S. Navy	
U.S. Department of Agriculture, Natural Resources Conservation Service	
U.S. Environmental Protection Agency, Region 9	
Federal Emergency Management Agency, Region IX	
COUNTY OF HONOLULU	

Community Training Kitchen at Ohana Ola 'O Kahumana
Final Environmental Assessment – *Finding of No Significant Impact*

Board of Water Supply	X
Department of Community Services	
Department of Environmental Services	
Department of Design and Construction	X
Department of Facility Maintenance	X
Department of Parks and Recreation	X
Department of Customer Services	
Fire Department	X
Department of Planning and Permitting	X
Police Department	X
Department of Transportation Services	X
ELECTED OFFICIALS	
State Senator	X
State Representative	
Council Member	X
UTILITIES	
Hawaiian Electric Company, Inc.	X
CITIZEN GROUPS/INDIVIDUALS, CONSULTED PARTIES	
Wai‘anae Coast Neighborhood Board	

Additionally, in an effort to inform potential stakeholders and interested parties of the Kitchen project, Alternative Structures, doing business as Kahumana, consulted with a variety of individuals and agencies such as, immediate neighbors (land owners and renters), local elected officials, and additional agencies:

- Councilmember Pine
- Representative Johnson
- Senator Shimabukuro
- Meal contract clients
- Board of Water Supply
- Department of Agriculture
- Adjacent Landowners:
 - 86-445 Kuwale Rd.
 - 86-401 Kuwale Rd.
 - 86-405 Kuwale Rd.
 - 86-446 A Kuwale Rd
 - 86-440 Kuwale Rd
 - 86-430 Kuwale Rd.
 - 86-424 Kuwale Rd.
 - 86-416 Kuwale Rd

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7.2 Public Meetings

Representatives of Kahumana presented the Kitchen at Ohana Ola ‘O Kahumana concept plan to the Wai‘anae Coast Neighborhood Board on July 5, 2016. To supplement the standard Neighborhood Board meeting notification, adjacent land owners listed in the prior section of this report were sent a notice of the meeting. Neighbor notification and Neighborhood Board Meeting notes are included in Appendix G. The Neighborhood Board voted unanimously to support the proposed Kitchen.

7.3 Environmental Assessment

As required by Chapter 343, HRS, the Draft Environmental Assessment was published on line by the Office of Environmental Quality Control (OEQC), allowing a 30-day comment period between August 8, 2016 and September 7, 2016. Copies of the document were also sent to the following agencies and individuals for comment. Draft EA comments and responses can be found in Appendix H.

Table 8: Draft EA Distribuion List

STATE	Comment Rec'd
Office of Environmental Quality Control	X
Department of Accounting & General Services	X
Department of Agriculture	X
Department of Business, Economic Development & Tourism	
Office of Planning	
Department of Defense	
Department of Hawaiian Home Lands	
Department of Health, Environmental Planning Office	
Department of Health, Clean Water Branch	X
Department of Health	X (Wastewater Branch)
Department of Human Services	X
Department of Labor and Industrial Relations	
Department of Land and Natural Resources, Land Division	X (and Engineering Division)
Department of Land and Natural Resources	
Commission on Water Resource Management	
Department of Transportation	
Hawai‘i Housing Finance and Development Corporation	
Office of Hawaiian Affairs	
FEDERAL	
U.S. Fish and Wildlife Service	

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U.S. Fish and Wildlife Service	
U.S. Army Corps of Engineers	
U.S. Army Corps of Engineers	
Naval Facilities Engineering Command (NAVFAC) Hawaii	
Pacific Islands Area State Office	
U.S. Environmental Protection Agency, Region 9	
Federal Emergency Management Agency, Region IX	
COUNTY OF HONOLULU	
Board of Water Supply	
Department of Community Services	
Department of Environmental Services	
Department of Design and Construction	
Department of Facility Maintenance	
Department of Customer Services	
Fire Department	X
Department of Planning and Permitting	X
Police Department	X
Oahu Transit Services	
Department of Parks and Recreation	
Department of Transportation Services	
ELECTED OFFICIALS	
Sen. Maile Shimabukuro	
Rep. Jo Jordan	
Council Member Marcos Pine	
UTILITIES	
Hawaiian Electric Company, Inc.	X
CITIZEN GROUPS/INDIVIDUALS, CONSULTED PARTIES	
Wai‘anae Coast Neighborhood Board	

In their comments to the Draft EA, the Department of Agriculture (HDOA), made a recommendation to contact the owners of three additional properties in the vicinity of the proposed Kitchen. A copy of the final EA will be provided to those landowners.

8 REFERENCES

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Final Environmental Assessment – *Finding of No Significant Impact*

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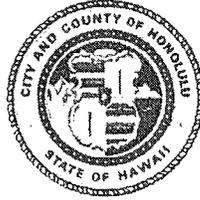
Westervelt, William D. 1963 Hawaiian Legends of Old Honolulu. Charles E. Tuttle Co., Rutland Vermont

Appendix A:
City Council Resolution 89-351



DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT
CITY AND COUNTY OF HONOLULU

650 SOUTH KING STREET, 5TH FLOOR
 HONOLULU, HAWAII 96813
 PHONE: 523-4427



FRANK F. FASI
 MAYOR

MIKE N. SCARFONE
 DIRECTOR

HIRAM K. KAMAKA
 DEPUTY DIRECTOR

TO: Alternative Structures International DATE: August 16, 1989
86-660 Luualalei Homestead Road ATTENTION: Florian Sydow
Waianae, Hawaii 96792

SUBJECT: Kahumana Transitional Housing Project

ENCLOSED ARE THE FOLLOWING:

COPIES	DATE	DESCRIPTION
12	8/9/89	Resolution 89-351 Authorizing Certain Exemptions form
		Planning, Zoning, and Development Standards

- | | | |
|--|---|---|
| <input type="checkbox"/> For approval | <input type="checkbox"/> Approved as submitted | <input type="checkbox"/> Returned after |
| <input checked="" type="checkbox"/> For your use | <input type="checkbox"/> Approved as noted | loan to us |
| <input type="checkbox"/> As requested | <input type="checkbox"/> Returned for correction | |
| <input type="checkbox"/> For review and comment | <input type="checkbox"/> Resubmit copies for approval | |

COMMENTS: You will need to attach these to your plans when you go for your
permits. Otherwise the plans checker will think the project does not
comply with City rules and standards.

COPIES TO: _____ SIGNED: _____

FOR QUESTIONS CONTACT: Keith I. Ishida (527-5092)

RESOLUTION

AUTHORIZING EXEMPTIONS FROM REQUIREMENTS RELATING TO PLANNING, ZONING, CONSTRUCTION STANDARDS, AND DEVELOPMENT AND IMPROVEMENT OF LAND FOR THE KAHUMANA TRANSITIONAL HOUSING PROJECT, WAIANAE, OAHU.

WHEREAS, the Department of Housing and Community Development (DHCD) together with Alternative Structures International proposes to develop a transitional housing project for homeless families in Waianae, Oahu; and

WHEREAS, the Council of the City and County of Honolulu is empowered to approve exemptions from statutes, ordinances, Charter provisions, and rules relating to planning, zoning, construction standards for subdivisions, development and improvement of land and the construction of units thereon pursuant to Section 201E-210, Hawaii Revised Statutes; and

WHEREAS, the project objectives are consistent with the housing goals and objectives of the City; and

WHEREAS, the granting of certain exemptions is necessary for the timely and successful implementation of the project; and

WHEREAS, the DHCD has found, and the Council concurs, that the proposed exemptions will not adversely affect the public health, safety or welfare; and

WHEREAS, the project does not contravene any safety standard or tariff of the Public Utilities Commission for public utilities; and

WHEREAS, the DHCD has presented preliminary plans and specifications for the project to the City Council of the City and County of Honolulu; now, therefore,

BE IT RESOLVED that the Council of the City and County of Honolulu authorize the following exemptions from requirements relating to planning, zoning, construction standards for subdivisions, development and improvement of land for the Kahumana Transitional Housing Project:

RESOLUTION

1. Exemption from the State Land Use Agricultural District Boundary to allow the proposed residential use in an agricultural district. The parcel is less than 15 acres and thus pursuant to Section 205-3.1, Hawaii Revised Statutes, falls under the jurisdiction of the Department of General Planning.

2. Exemption from Ordinance 83-11, as amended, Waianae Development Plan Land Use Map to permit the proposed residential use in an agricultural district.

3. Exemption from Zoning Map No. 15, Lualualei to Makaha, and Section 5.20-5 of the Land Use Ordinance (LUO) to permit the proposed residential use in an AG-2 Restricted Agricultural District.

4. Exemption from Section 3.70-1 of the LUO to allow the construction of 21 off-street parking stalls instead of the required 32 (including two guest stalls). The project will serve homeless families with a very low rate of automobile ownership.

5. Exemption from Ordinance 2412 relating to the construction of required street improvements (curbs, gutters, etc.).

6. Exemption from Chapter 7, Article 7, ROH, relating to park dedication requirements. We note that a multi-purpose building and landscaped open space have been provided.

7. An exemption from Chapter 22, Article 5, ROH, to permit the use of overhead utility lines.

BE IT FURTHER RESOLVED that the final plans and specifications for the project shall not substantially deviate from the preliminary plans and specifications submitted to the Council; and such plans and specifications shall constitute the zoning, building, construction and subdivision standards for the project; and

BE IT FURTHER RESOLVED that no action may be prosecuted or maintained against the City and County of Honolulu, its officials, or employees, on account of actions taken by them in reviewing or approving the plans and specifications; and

RESOLUTION

BE IT FINALLY RESOLVED by the Council of the City and County of Honolulu that the Clerk be and he is hereby directed to transmit copies of this Resolution to the affected parties and agencies.

INTRODUCED BY:

Arnold Morgado, Jr. (BR)

Council Members

DATE OF INTRODUCTION:

JUL 25 1989
Honolulu, Hawaii

CITY COUNCIL
CITY AND COUNTY OF HONOLULU
HONOLULU, HAWAII

I hereby certify that the foregoing RESOLUTION was adopted by the COUNCIL OF THE CITY AND COUNTY OF HONOLULU on the date and by the vote indicated to the right.

ATTEST:

Raymond K. Pua
RAYMOND K. PUA
CITY CLERK

Arnold Morgado, Jr.
ARNOLD MORGADO, JR.
CHAIR AND PRESIDING OFFICER

Dated AUG 9 1989

ADOPTED MEETING HELD			
AUG 9		1989	
	AYE	NO	ABE
ABERCROMBIE			X
DeSOTO			
DOO			
FELIX			
GILL			
KAHANU			
KIM			
MANSHO			
MORGADO			
	8	0	1

Reference: D 634

Report No. HCD CR-449

Resolution No.
89-351

Appendix B:
City Council Resolution
00-198 CD1





RESOLUTION

AUTHORIZING EXEMPTIONS FROM CERTAIN REQUIREMENTS RELATING TO THE OHANA OLA O KAHUMANA, PHASE II, TRANSITIONAL HOUSING PROJECT AT WAIANAЕ, OAHU, TAX MAP KEYS: 8-6-6: por 1 and por 2.

WHEREAS, Alternative Structures International, dba Ohana Ola O Kahumana, also dba Kahumana, a Hawaii nonprofit corporation, proposes to develop a transitional housing project for the homeless on a portion of 12.382 acre lot located at 86-433 Kuwale Road, Waianae, Oahu (Tax Map Key: 8-6-6: por 1), which is owned by the City, and a portion of a lot at 86-660 Lualualei Homestead Road, Waianae, Oahu (Tax Map Key: 8-6-6: por 2), which is owned by Alternative Structures International, to be known as the Ohana Ola O Kahumana Transitional Housing Project (the "Project"); and

WHEREAS, the proposal consists of 34 units in 17 two-family detached dwellings, a meeting facility (with kitchen) for educational and life-skills training classes for residents and large group meetings, accessory offices, a day-care facility for resident children, and either two single-family dwellings or one two-family detached dwelling for future staff housing; and

WHEREAS, families are charged program fees and generally make these payments from welfare income; and

WHEREAS, the City Council is empowered to and authorized to approve the Project which may include exemptions from statutes, ordinances, charter provisions and rules of any government agency relating to planning, zoning, construction standards for subdivision, development and improvement of land and the construction of units thereon pursuant to Sections 46-15.1 and 201G-118 of the Hawaii Revised Statutes ("HRS"); and

WHEREAS, the City Council has reviewed the preliminary plans last dated September 5, 2000 and outline specifications last dated September 5, 2000 for the Project submitted to the Council by the Department of Planning and Permitting ("DPP"); and

WHEREAS, the Project is consistent with the housing and community development goals and objectives of the City; and



RESOLUTION

WHEREAS, the granting of the exemptions is necessary for the timely and successful implementation of the Project; and

WHEREAS, the exemptions meet minimum requirements of health and safety; now, therefore,

BE IT RESOLVED by the Council of the City and County of Honolulu that it approves the Project which approval includes exemptions from certain requirements for the Project as set forth in the Preliminary Plans and Specifications for the Project, as follows:

1. Exemption from Sections 21-3.30 and 21-3.50, Land Use Ordinance (LUO), to permit development of the project in an AG-1 Restricted Agricultural District, under A-1 Low Density Apartment District uses and development standards.
2. Exemption from Sections 21-3.80-1, 21-5.180, 21-5.450 and Table 21-3, LUO, to allow a day-care and meeting facility without a conditional use permit.
3. Exemption from Section 21-3.80-1 and Table 21-3, LUO, to allow accessory offices.
4. Exemption from Section 21-3.80-1 and Table 21-3.3, LUO, to allow a portion of the meeting facility to exceed the 30-foot maximum height (under the A-1 District) by 6 feet.
5. Exemption from Section 21-6.20 and Table 21-6.1, LUO, to allow the provision of 59 parking stalls for the 34 units, meeting facility, and day-care facility instead of 94 parking stalls.
6. Exemption from the State Land Use Agricultural District Boundary and Chapter 26, ROH, to allow the Project in an agricultural district. The parcel is less than 15 acres and, pursuant to Section 205-3.1, Hawaii Revised Statutes, falls under the jurisdiction of the City.



CITY COUNCIL
CITY AND COUNTY OF HONOLULU
HONOLULU, HAWAII

No. 00-198, CD1

RESOLUTION

7. Exemption from the Park Dedication requirements, Chapter 22, Article 7, ROH, to waive all requirements for dedication and in-lieu payment for park and playground purposes.
8. Exemption from Section 14-14.4, ROH, relating to permit fees, to waive payment of grading fees.
9. Exemption from Section 14-14.8, ROH, relating to bonds, to allow issuance of a grading permit prior to filing a bond with the City.
10. Exemption from Section 18-6.1, ROH, relating to plan review fees, to waive payment of plan review fees.
11. Exemption from Section 18-6.2, ROH, relating to building permit fees, to waive payment of building permit fees.

and

BE IT FURTHER RESOLVED that this Resolution shall be void unless construction of the Project commences no later than 24 months after the approval date of this Resolution; and

BE IT FURTHER RESOLVED that the exemptions granted for this Project are not transferrable to any other real property; and

BE IT FURTHER RESOLVED that the final plans and specifications for the Project shall be deemed approved if those plans and specifications do not substantially deviate from the preliminary plans and outline specifications submitted to the Council, provided modifications of the general design character of the building, as approved by the Department of Planning and Permitting, assure that it does not conflict with the prevailing neighborhood character; and



CITY COUNCIL
CITY AND COUNTY OF HONOLULU
HONOLULU, HAWAII

No. 00-198, CD1

RESOLUTION

BE IT FURTHER RESOLVED that no action may be prosecuted or maintained against the City and County of Honolulu, its officials or employees, on account of actions taken by them in reviewing or approving the plans and specifications or in granting these exemptions; and

BE IT FURTHER RESOLVED that the Director of Planning and Permitting is authorized to execute the agreement substantially in the form which is marked Exhibit A which is attached to this Resolution and made a part of it pursuant to the terms, conditions and provisions approved as to form and legality by the Corporation Counsel as being necessary, advisable, or desirable for the purposes of carrying out this Resolution; and

BE IT FURTHER RESOLVED that the Director of Planning and Permitting is hereby authorized to execute any incidental or related documents to carry out the transactions, above described, as long as said documents do not increase either directly or indirectly the financial obligations of the City.

RESOLUTION

BE IT FINALLY RESOLVED by the Council of the City and County of Honolulu that the Clerk be, and is hereby directed to transmit copies of this Resolution to Randall K. Fujiki, Director of Planning and Permitting and Alternative Structures International, Attention: Ms. Annie Walenta, 86-660 Lualualei Homestead Road, Waianae, Hawaii 96792.

INTRODUCED BY:

Jon Yoshimura (BR)

Councilmembers

DATE OF INTRODUCTION:

September 26, 2000

Honolulu, Hawaii

(OCS/100300/mq)

-5-

CITY COUNCIL
 CITY AND COUNTY OF HONOLULU
 HONOLULU, HAWAII

I hereby certify that the foregoing RESOLUTION was adopted by the COUNCIL OF THE CITY AND COUNTY OF HONOLULU on the date and by the vote indicated to the right.

ATTEST:

Genevieve G. Wong
 GENEVIEVE G. WONG
 City Clerk

Jon C. Yoshimura
 JON C. YOSHIMURA
 CHAIR AND PRESIDING OFFICER

Dated 10/18/00

ADOPTED MEETING HELD			
10/18/00			
	AYE	NO	A/E
BAINUM	X		
CACHOLA	X		
DeSOTO	X		
FELIX	X		
HOLMES			E
MANSHO	X		
MIRIKITANI	X		
OKINO	X		
YOSHIMURA	X		
TOTAL	8	0	1

Reference:

Report No. Z-399

Resolution No.

00-198
 CD1

Appendix C: Anticipated 201H Exemptions



Exemptions to Be Requested Under Hawaii Revised Statutes (HRS) Section 201H-38

The proposed project will add a “community facility” to Ohana Ola ‘O Kahumana transitional housing for homeless families. HRS Section 201H-1 defines “community facilities” as including “real and personal property; buildings, equipment, lands and grounds for recreational or social assemblies, or educational, health, or welfare purposes; and necessary or convenient utilities, when designed primarily for the benefit and use of the corporation or the occupants of the dwelling.”

In order to minimize development costs, Alternative Structures International (ASI, dba Kahumana) will seek exemptions and deferrals from fees and permits under HRS Section 201H-38 “Housing development; exemptions from statutes, ordinances, charter provisions, and rules.” It allows eligible 201H projects to seek exemptions from all statutes, ordinances, charter provisions, and rules of any government agency relating to planning, zoning, construction standards for subdivisions, development and improvement of land, and the construction of dwelling units thereon, provided they do not negatively affect the health and safety of the general public.

Kahumana will seek a City Council Resolution that will include the following exemptions:

1. Exemption from the State Land Use Agricultural District Boundary and Chapter 26, Revised Ordinances of Honolulu (ROH), to allow the project in an agricultural district. The parcel is less than 15 acres and, pursuant to Section 205-3.1, Hawaii Revised Statutes, falls under the jurisdiction of the City.
2. Exemption from Sections 21-3.30 and 21-3.50, Land Use Ordinance (LUO), to permit development of the project in an AG-1 Restricted Agricultural District.
3. Exemption from the Park Dedication requirements, Chapter 22, Article 7, ROH, to waive all requirements for dedication and in-lieu payment for park and playground purposes.
4. Exemption from Section 14-14.4, ROH, relating to permit fees, to waive payment of grading fees.
5. Exemption from Section 14-14.8, ROH, relating to bonds, to allow issuance of a grading permit prior to filing a bond with the City.
6. Exemption from Section 18-6.1, ROH, relating to plan review fees, to waive payment of plan review fees.
7. Exemption from Section 18-6.2, ROH, relating to building permit fees, to waive payment of building permit fees.
8. Deferral from Section 14-6.1 and 14-6.4, ROH, relating to water and wastewater, to request deferred payment of Board of Water Supply connection fees until issuance of Certificate of

Occupancy to facilitate Kahumana’s financial capability to proceed with the project through the construction period.

Summary of Requested Exemptions and Deferrals

Development Standard or Requirement	Relevant Section/ Requirement	Proposed Project Development Standard	Applicable Agency	Rationale or Request
State Land Use Law	Chapter 205, HRS	State Agricultural District	Land Use Commission	The proposed project will seek an exemption to Chapter 205, HRS to add a “community facility” to Ohana Ola `O Kahumana transitional housing for homeless families. The proposed project will be an integral part of the Ohana Ola transitional housing program, as it will provide Ohana Ola residents with vital job training that will be an essential stepping stone for families navigating their way from homelessness to self-sufficiency. By situating the new facility at Ohana Ola, residents in the transitional housing complex will be able to walk to the kitchen. This will make the program accessible to all housing residents, including those who cannot afford to own cars or pay for bus fare.
Agricultural District Boundary	State Land Use Districts, and ROH Chapter 26	Allow the Project in an Agricultural District	State Land Use Commission and Dept. of Planning & Permitting (DPP)	This project will add a community facility to the existing transitional housing on the property. The facility’s kitchen training program will help the housing residents gain vocational skills and job experience as they work toward financial independence.
Restricted	LUO	Allow the	DPP	This project is needed to

Agricultural District	Sec.21-3.30 & Sec. 21-3.50	Project in an AG-1 Restricted Agricultural District		provide long-term site control and a larger facility for the kitchen training program, which helps transitional housing residents secure permanent employment, prepares meals for underprivileged children, and incorporates produce from Kahumana's neighboring farms into the children's meals.
Park Dedication Requirement	ROH Chapter 22, Article 7	Exemption from this requirement	Dept. of Parks & Recreation	This project will not increase the number of residents on the property.
Grading Fees	ROH Sec. 14-14.4	Exemption from payment of Grading Fees	DPP	To minimize development costs, which will need to be paid by donations and grants raised by the non-profit.
Bonds	ROH Sec. 14-14.8	Allow issuance of a grading permit prior to filing a bond with the City	DPP	To facilitate the applicant's financial capability in proceeding with the project through the construction period.
Plan Review Fees	ROH Sec. 18-6.1	Exemption from payment of Plan Review Fees	DPP	To minimize development costs, which will need to be paid by donations and grants raised by the non-profit.
Building Permit Fees	ROH Sec. 18-6.2	Exemption from payment of Building Permit Fees	DPP	To minimize development costs, which will need to be paid by donations and grants raised by the non-profit.
Water Supply Connection Fee	ROH Sec. 14-6.1 & Sec. 14-6.4	Deferral of payment of Water Supply Connection Fee until issuance of Certificate of Occupancy	Board of Water Supply	To facilitate the applicant's financial capability in proceeding with the project through the construction period.

Appendix D: Archaeological Assessment



**ARCHAEOLOGICAL ASSESSMENT
OF A 1.43 ACRE SECTION OF UNDEVELOPED LAND
AND THE PROPOSED KAHUMANA COMMUNITY TRAINING KITCHEN,
WAIANAЕ AHUPUA`A, WAIANAЕ DISTRICT,
ISLAND OF OAHU, TMK: (1) 8-6-006:001**

Prepared by:

Emily Johnston-O'Neill, B.A.,

And

Robert Spear, Ph.D.

Draft

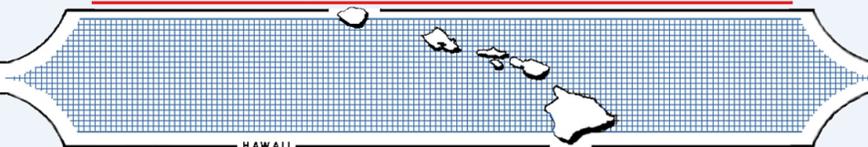
Prepared for:

Alternative Structures International, dba Kahumana

86-660 Lualualei Homestead Road

Waianae, HI 96792

SCIENTIFIC CONSULTANT SERVICES Inc.



1347 Kapiolani Blvd., Suite 408

Honolulu Hawai'i 96814

ABSTRACT

At the request of Alternative Structures International, dba Kahumana, Scientific Consultant Services, Inc. conducted Archaeological Inventory Survey-level investigations of a 1.43 acre section of undeveloped land and proposed Kahumana Community Training Kitchen in Waianae Ahupua`a, Waianae District, Island of O`ahu [TMK: (1) 8-6-006:001]. The purpose of the study was to determine the presence/absence of archaeological site in the project area. No new sites were identified during the project and thus, this report is being written as an Archaeological Assessment. No further archaeological work is recommended for the project area.

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INTRODUCTION

At the request of Alternative Structures International, dba Kahumana, Scientific Consultant Services, Inc. (SCS) conducted Archaeological Inventory Survey-level investigation of undeveloped land and proposed Kahumana Community Training Kitchen in Waianae, Island of O`ahu [TMK: (1) 8-6-006:001]. The project area lands are owned by Alternative Structures International, dba Kahumana. Given that no historic properties were identified during the current project, it is written herein as an Archaeological Assessment (AA).

The AA was conducted due to the potential for the presence of pre-Contact and/or Historic-era sites. During research the land parcel (1.43 acres) was subject to excavation of ten test trenches measuring 5 meters wide and approximately 1.2 meters deep.

PROJECT BACKGROUND AND ENVIRONMENTAL SETTING

The project area is composed of 1.43 acres of undeveloped land including a proposed Kahumana Community Training Kitchen located north of the Ohana Ola housing complex and Kahumana Organic Farm & Cafe, and directly east of the Ohana Ola leach field of approximately 50x50 feet. Kuwale Road bounds the project area at the east. Running along the southern boundary of the project area is an existing private ditch used for irrigation. As part of the project a foot bridge will be constructed over the ditch for access from the Ohana Ola to the proposed training kitchen. The surface level of the project area has been used for several decades as a trash site for items not picked up by a dump truck, such as tires and furniture.

PROJECT AREA SOILS

According to Foote et al. (1972, Sheet 36) the project area consists of Lualualei (LvA, LvB), a stony clay present at both 0-2% slope and 2-6% slope is a clay sediment on O`ahu that is adjacent to drainageways (for example if possible) with “enough stones to hinder machine cultivation.” This soil type is common for sugarcane agriculture and pastures. The Lualualei series consists of well-drained soils. (Foote et al. pg. 84, 85)

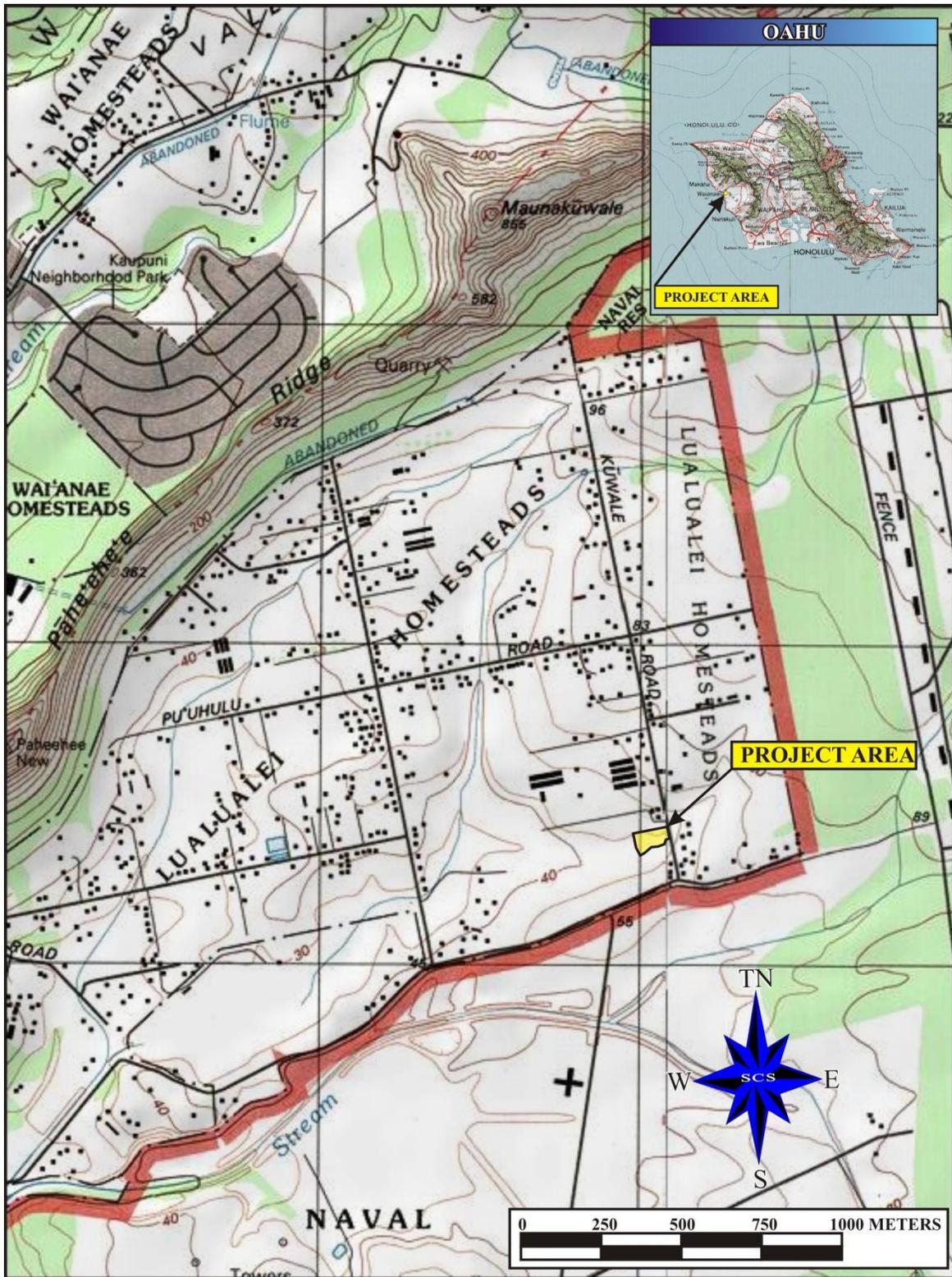
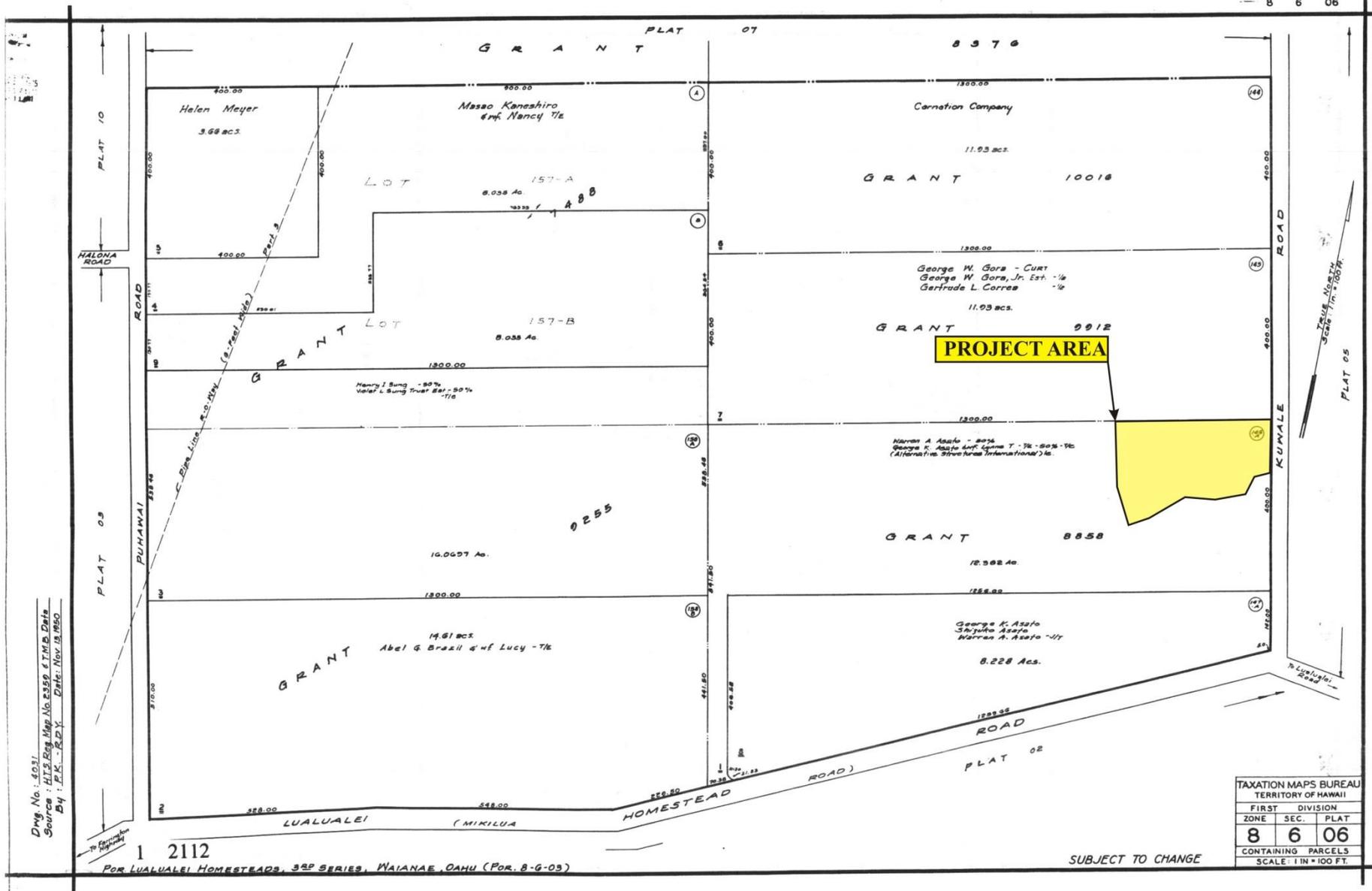


Figure 1: USGS Quadrangle Map Showing Project Area Location



Dwg. No. : 4031
 Source : GIS Reg. Map No. E359 & TIME Defs
 By : P.K. - R.D.Y. Date: Nov. 19 1980

1 2112
 FOR LUALUALEI HOMESTEADS, 3RD SERIES, WAIANAЕ, OAHU (FOR. 8-6-03)

SUBJECT TO CHANGE

TAXATION MAPS BUREAU		
TERRITORY OF HAWAII		
FIRST DIVISION		
ZONE	SEC.	PLAT
8	6	06
CONTAINING PARCELS		
SCALE: 1 IN. = 100 FT.		

Figure 2: Portion of Tax Map Key [1] 8-6-06 Showing Project Area Location



Figure 3: Aerial Map Showing Project Area Location

PROJECT AREA CLIMATE

The mean annual rainfall for the Wai`anae area is 600mm, and is comparatively one of the driest locations on the island (Giambelluca et al., 1986). The month with the highest mean rainfall for Wai`anae is December with 100mm and months with the lowest mean rainfall for Wai`anae are June and July with only 10mm (Giambelluca et al., 1986)

PROJECT AREA VEGETATION

The surface of the parcel of land in this project was covered in tall grass and *kiawe*, *Prosopis pallida* trees. It is possible that this area once was used for agricultural practices such as sugarcane plantation, but has been unused for many decades.

TRADITIONAL AND HISTORICAL BACKGROUND

The District of Wai`anae, on the west coast of O`ahu, extends from Nanakuli Ahupua`a in the south to Ka`ena Point to the north. The district once included nine *ahupua`a* (traditional land divisions), including Lualualei. In ancient times, the District of Wai`anae was known for its multitude of fish and especially for deep-sea fishing done off of Ka`ena. Today, the Wai`anae Coast is still considered one of the best fishing grounds on O`ahu.

TRADITIONAL SETTING

The generally accepted paradigm of Hawaiian settlement is that the earliest settlements were located in the wet, windward regions. As population pressure increased or politics changed, populations began to branch out into leeward, less hospitable regions of Hawai`i, adapting their cultivation strategies as they moved into dryer climates (Cordy 2002). According to Kirch's (1985) Hawaiian Settlement Model, the Wai`anae area was settled during the Expansion Period (A.D. 1100–1650) during which time O`ahu's population was growing faster than any other period of Hawaiian prehistory. Prior to the Expansion Period, Wai`anae District, including Lualualei, was likely visited by travelers and its rich offshore fisheries may have attracted seasonal fishermen (*ibid.*).

Wai`anae likely gets its name from a large freshwater fishpond west of Wai`anae Stream. Mullet were grown in this pond, thus the name *wai* (water) *`anae* (mullet) (Handy and Handy 1972:463). The region is renowned for its fruitful deep sea fisheries, especially in the waters off

Ka`ena Point. Wai`anae's fisheries are noted in Hawaiian legend. Chief Kawelo distinguished himself as an able fisherman in these waters (*ibid.*; Sterling and Summers 1978). Handy and Handy (1972) also explain that it is here, at Ka`ena Point that the demigod Maui is said to have cast his line and attempted to pull Kaua`i toward O`ahu, creating a single island of the two. When he felt he had hooked Kaua`i firmly, he gave a mighty tug and pulled up an enormous boulder from the sea floor. This rock is known today as Pohaku o Kaua`i. The hook flew from its line and was lost in Pālolo Valley (Emerson in Sterling and Summers 1978).

Wai`anae District's landscape is daunting, but its earliest coastal settlements were prosperous. In an early Historic description of the area, Vancouver writes, "From the commencement of the high land to the westward of Opooroah (Puuloa) was...one barren rocky waste, nearly destitute of verdure, cultivation or inhabitants..." (in Sterling and Summers 1978:67-68). Vancouver's ship passed Wai`anae by, but if it had landed, these voyagers would have discovered that Wai`anae was not as desolate as it appeared from a distance. Upland crops, including taro (*kalo*), gourds (*ipu manalo*) and sweet potato (*uala*) were grown in the uplands of Wai`anae Valley, Mākaha Valley, and Lualualei Valley (Handy and Handy 1972). Wet taro cultivation occurred extensively on the low valley slopes and the upper flatlands of these valleys, where water was plentiful (Handy 1940). Today, evidence of terracing can still be seen in the upper reaches of these valleys, but historic sugarcane cultivation obscured terrace remnants in the Wai`anae Valley bottom. Fishing villages, particularly around Pōka`ī Bay produced the necessary dietary protein; however, the landscape in the lower valley was adverse to plant cultivation. Therefore, trade between the upper and lower valley was piqued in this inhospitable portion of western O`ahu.

Wai`anae District society was punctuated by a distinct need to trade and share resources. This reliance on trade defined the culture in Wai`anae, perhaps to a greater extent than in other regions of O`ahu. The people of Nānākuli, for example, are said to have pretended to be deaf and dumb to passers-by, as they had no fresh water to offer travelers (McGrath *et al.* 1973: 10). This, according to Pukui *et al.* (1974) is why this place is called Nānākuli, "looking at the knees." Resource availability, or lack thereof, undoubtedly had a great impact on Wai`anae society.

Wai`anae District has a special place in Hawaiian legend. Stories of kings and gods in this area abound. McGrath *et al.* describes the legend of Mt. Ka`ala, the highest mountain peak of O`ahu, and the most *mauka* point of Wai`anae Valley: "The most sacred spot on the coast was mount Kaala (*sic*), at the head of Makaha and Wai`anae (*sic*) Valleys.... Ancient kahunas spoke of Mount Kaala as being clothed in the golden cloak of Kane, the first deity of the Hawaiian

pantheon. Kaala was the guardian of the road to the west, the path of the sun, the resting place on the great road to death where spirits of the dead return to their homeland”, (1973: 11). On the opposite end of the Wai`anae Range, Ka`ena Point is the legendary “Soul’s Leap” where the souls of the dead departed the earth (Kamakau in Sterling and Summers 1978).

King Kamehameha I is said to have failed in his attempt to take over Kaua`i because he did not give homage to the Wai`anae gods. Kamakau states, “The fleet went (first) to Wai`anae and the war god (Kūkā`ilimoku) was carried ashore that evening” (in McGrath *et al.* 1973). McGrath continues, saying that Kamehameha rededicated two *heiaus* to his war god, giving no homage to the war god of Wai`anae. As a result, the Wai`anae gods sent a storm to stop Kamehameha’s war canoes from reaching Kaua`i, preventing Kamehameha from taking Kaua`i by force (*ibid*: 14).

One legend describes the origins of *niu* (coconut palm) in the Hawaiian Islands as well as the naming of Pōka`i Bay:

“In very ancient times, when the great Hawaiian chiefs and navigators sailed across the vast Pacific between Hawai`i and Kahiki, a legend arose about a voyaging chief named Pōka`i. It said that he brought and planted at Wai`anae the first coconut tree in Hawai`i, from which grew in time a famous grove, Ka Ulu Niu o Pōka`i. The grove stretched from the site of the present police station to that of the Sacred Hearts Church...the bay *makai* of the grove, formerly known as Mā`alaea, eventually took the name of the legendary planter” (Clark 1977: 87).

The spiritual and cultural significance of the region is evident based on the high number of *heiau* in Wai`anae District, both along the coast and inland. McAllister (1933) names nine *heiau* in Wai`anae Valley alone: Pu`up ahe`ehe`e (Site 152), Kuilioloa (Site 153), Keopuni (Site 155) Kahoali`i (Site 156), Malaihakoa (Site 157), Kikahi (Site 158), Kalamaluna (Site 159), Kane (Site 160), Kamaile (Site 161), and Punana`ula (Site 161). Some of these *heiau* have been destroyed, while some are partially or fully intact. Kuilioloa Heiau is particularly interesting, as this is the only known *heiau* on O`ahu to be surrounded by water on three sides. It rests on Kane`ilio Point at the eastern extremity of Pōka`i Bay.

Lualualei Valley was important during prehistoric times, as evidenced by the many named `ili across the valley landscape, these locales especially prosperous for growing seasonal crops in the back of the valley where water resources were more plentiful (Kelly in Haun *et al.* 1991:343). In mid-valley reaches, pili grass was acquired and used for housing thatch, while lower valley areas were successfully utilized for salt mining and marine resource acquisition

(*ibid.*). As noted below, a diversity of site types were present in the valley, the sites reflecting soil and water resources available (or not) in each zone.

There are two traditional meanings given to the name Lualualei. One meaning, “flexible wreath”, is attributed to a battle formation used by Mā`ilikūkahi against four invading armies in the battle of Kīpapa in the early 15th century (Sterling and Summers 1978:68). A second and perhaps more recent meaning, offered by John Papa `Ī`ī (1959), is “beloved one spared”. This meaning relates to a story of a relative who was suspected of wearing the king’s *malo* (loincloth). The punishment was death by fire. `Ī`ī writes:

Near the end of that year, it was suspected that the son of Papa, named Kalakua, had worn the loin cloth of the king. Kalakua fetched and carried the king’s possessions, such as his kahili, mat, or spittoon wherever he went in the court or any place.... In going together constantly the loin cloths they wore had similar pattern. When they returned to the king’s house, Kalakua was taken at once and kept in solitude.

At the same time the king, chiefs and members of the court left Honolulu and sailed by canoe to Wai`anae. The heir of the kingdom went overland with Papa and others...and spent the night at Kumelewai in Ewa...

The coming of this retinue was announced in Wai`anae and it was told that the family, parents and children included, would be set on fire for the wrong committed by Kalakua.... Only one committed the deed but the whole family was held guilty.

The company, somewhat in the nature of prisoners spent a night at Lualualei. There was a fish pond there on the plain and that was there the night was spent.After several days had passed, the proclamation from the king was given by Kula`inamoku, that there was no death and that Kalakua did not wear the king’s loin cloth. Thus was the family of Lulukū spared a cruel death. For that reason, a child born in the family later named Lualualei. (`Ī`ī 1959:23).

Mary Pukui believed the first meaning, “flexible wreath” to be the more appropriate one for Lualualei (Sterling and Summers 1978:63). According to Kelley (1991:317), the fish pond on the plain is Puehu fish pond, which is actually located just over the border in Wai`anae. The fish pond no longer exists today and was probably destroyed during the sugar plantation era. Perhaps a third association to the name Lualualei is an older reference to one of Māui’s sister, who went by the same name.

Numerous Hawaiian legends, in addition to archaeological evidence, reveal the Wai`anae coast and *mauka* (towards the mountains) interior to be an important center of Hawaiian history. It is here, in Wai`anae, that the famous exploits of Māuiakalana (Māui) are said to have originated. Traditional accounts of Lualualei focus on the mischievous adventures of the demi-

god Māui. It was here that Māui learned the secret of making fire for mankind and perfected his fishing skills. Other famous accounts tell of the place where Māui's adzes were made, of the magic fishhook, Mānaiakalani and the snare for catching the sun, and of his kite-flying expedition. Pu`u Heleakalā is the ridge that separates Nānākuli from Lualualei. It was at Pu`u Heleakalā where Hina, Māui's mother, lived in a cave and made her *kappa* (bark cloth) (Sterling and Summers 1978:62).

Samuel Kamakau tells us that Maui's genealogy can be traced from the 'Ulu line thru Nana`ie:

Wawena lived with Hina-mahuia, and Akalana, a male, was born; Akalana lived with Hina-kawea, and Maui-mua, Maui-weana, Maui-ki`iki`i, and Maui-akalana, all males, were born.

Ulehawa and Kaolae, on the south side of Wai`anae, O`ahu, was their birthplace. There may be seen the things left by Maui-akalana and other famous things: the tapa-beating cave of Hina, the fishhook called Manai-a-kalani, the snare for catching the sun, and the places where Maui's adzes were made and where he did his deeds. However, Maui-akalana went to Kahiki after birth of his children in Hawai`i. (Kamakau 1991:135)

It was from atop Pōhākea summit in Wai`anae that Hi`iaka (the patron goddess of hula and Pele's younger sister) saw the fire and smoke clouds of her beloved `ōhi`a lehua groves on Hawai`i burned by Pele in a jealous rage. Pele, convinced that Hi`iaka had betrayed her trust and stolen her lover Lohi`au, sent a flood of lava through Hi`iaka's hula-dancing forest, entombing her dear friend Hōpoe in lava in the process. Hi`iaka, determined to avenge Pele's act of volcanic wrath, put temptation before Lohi`au in the form of the young woman Wahine-oma`o. From her perch on Pōhākea, she watched the two sail off together in a canoe and sang a *mele* (song, chant) that also mentions the "plains of Lualualei".

POST-CONTACT HISTORY

By the time of Contact, Wai`anae Valley was the political and social center of the moku (district) of Wai`anae. However, Lualualei Valley was also occupied, as was Mākaha Valley to the north. Like Lualualei Valley, settlements were concentrated in the lower slopes of Wai`anae Valley, where some water was available for wet taro cultivation and adjacent to Pōka`i Bay, where access to the ocean and the rich marine resources were gained.

Slightly earlier, this region became the center for sweeping political changes in the late pre-Contact and early Historic Periods. Pu`u Kawiwi, at the rear of Wai`anae Valley, was the scene of the last stand of Maui Chief Kahekili against the O`ahu warriors. In this last battle of 1784, Kahekili overthrew the O`ahu chiefs, becoming ruling chief of the island. Ten years later, after Kahekili's death, a power struggle ensued between his son and his brother (Kuykendall

1938). Wai`anae warriors sided with Kaeo, and they lost the deciding battle at `Aiea. A Wai`anae kahuna (priest) prophesied the coming of a “big fish” who “would eat all the little fish.” The following year, Kamehameha invaded O`ahu.

Following Kamehameha’s succession as ruling chief, “the despoiled people in large numbers fled to Wai`anae District and settled there. This part of O`ahu being hot, arid, isolated, with little water, was not coveted by the invaders” (Mouritz in Sterling and Summers 1978). The status Wai`anae once carried as a ruling center was now gone.

Kamehameha I monopolized the natural resources of his islands, often using them in great quantity for his own personal interests. Kuykendall (1938) tells the story in which Kamehameha learned the value of conservation during a deal with a Boston ship in 1817. He purchased the *Columbia* in exchange for two ship-loads of sandalwood. In an effort to pay for the deal, Kamehameha ordered the chiefs of several *moku*, including Wai`anae, to cut sandalwood. Soon the island chain was starving because the people were neglecting their taro patches. Kamehameha, seeing his mistake, then ordered his people to farm (Kamakau in Kuykendall 1938). Thereafter, Kamehameha managed the island’s resources more carefully.

Christian missionaries were quick to establish parishes throughout O`ahu following their arrival in 1820. However, it wasn’t until the 1840s that these missionaries began licensing natives to preach, and even longer before native ministers were ordained. David Malo and Blind Bartemeous (Pua`aiki) were the first ordained Hawaiian ministers. Ordained in 1850, Stephen Waimalu became the first Hawaiian minister of Wai`anae District (Kuykendall 1938).

Sugar cultivation began in 1878 with a small operation owned by Hermann Widemann and Julius Richardson. Two years later, George and Albert Wilcox purchased and chartered the Wai`anae Sugar Company (Condè and Best 1973). Sugar in Wai`anae, like other operations throughout O`ahu, was limited by a lack of arable land and available water resources. This adversity was punctuated in the Wai`anae, Lualualei, and Mākaha Valleys, where water tunnels were eventually constructed to provide irrigation to the plantations. Despite this challenge, Wai`anae Sugar Company was among the most efficient sugar plantations in Hawai`i. At its peak, the plantation produced 13.79 tons of sugar per acre in 1935 (Dorrance and Morgan 2000: 43-44). High yields did not make up for a lack of growing room. The plantation was closed in 1946.

During the Māhele, traditional land tenure was abrogated in favor of western ownership principals. The Hawaiian Monarchy gave portions of land to natives who could prove that they actively cultivated land segments. These land awards were given in the form of Land Commission Awards (LCAs). LCAs and Land Grants (lands that were made available for purchase) abound in Wai`anae District.

METHODOLOGY

Archaeological fieldwork was conducted on 4/26/2016 by SCS Archaeologist Emily Johnston-O’Neill, B.A., and Alex Hazlett, Ph.D., under the direct supervision of Robert Spear, Ph.D., Principal Investigator. Test trenches were spread fairly evenly and equidistant over the project area to create an average estimate for archaeological findings for the area as a whole. Test trenches were 5 meters long, approximately 60 centimeters wide, and 1.2 meters deep. Trenching was performed mechanically with a backhoe by Kahumana staff while being supervised by SCS archaeologists. SCS archaeologists documented completed excavation test trenches, taking photographs and recording stratigraphy. Soil stratigraphy was documented by profile illustrations drawn on metric graph paper and United States Department of Agriculture (USDA) Munsell soil color charts. Mapping was accomplished by means of metric tape measure and compass bearings obtained in the magnetic north declination. A handheld Global Positioning System was used to plot feature locations, within approximate three meter accuracy.

LABORATORY METHODOLOGY AND CURATION

Given the lack of findings during the project, laboratory work focused on organizing and cataloging all project area photographs, drafting maps, and reporting. All field notes and digital photographs are being curated at the SCS laboratory in Honolulu.

FIELDWORK RESULTS

Archaeological Inventory Survey-level investigation of 1.43 acres of undeveloped land and the proposed Kahumana Community Training Kitchen in Waianae, Island of O`ahu [TMK: (1) 8-6-006:001], did not lead to the identification of any significant historic properties. No Traditional or historic-period cultural deposits, artifacts, or midden were identified during the project. Figures 4 through 23 provide overviews of the project area and profiles of the test trenches excavated.

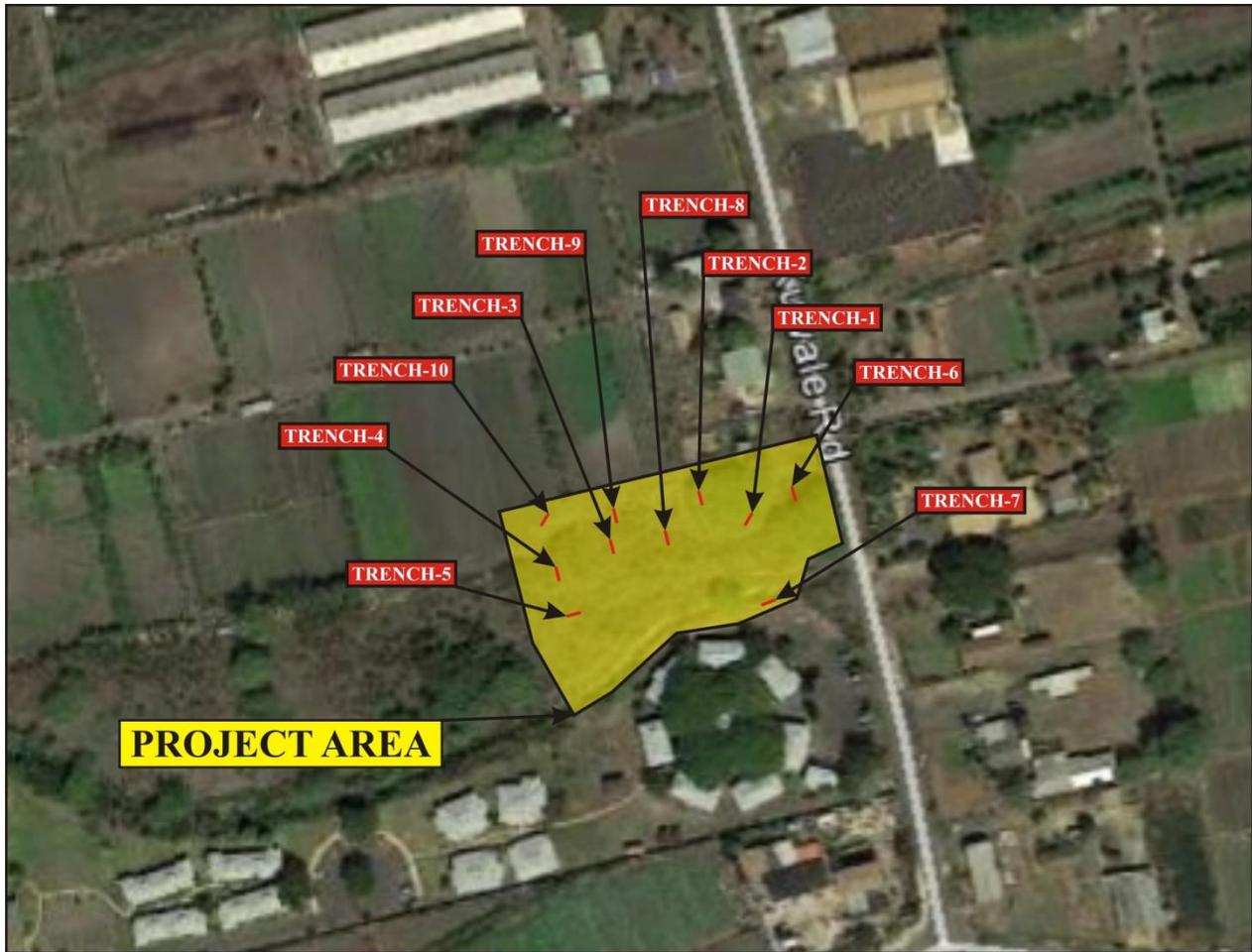


Figure 4: Project Area Map with Test Trench Locations

ST-1

This trench was excavated at the east end of the project area, and to the west of ST-6 on a north-east/south-west axis. The trench measured 5.0m long, 0.7m wide, and was excavated to a maximum depth of 1.2mbs (meters below surface). Two stratums were identified in the Trench (Figure 6). The GPS location of the trench was 588050 e; 2371422 n (UTM +/- 3m accuracy), of which the point was taken from the north-east of the trench. No cultural layer or cultural materials were exposed during excavation.

Layer I (0-60cmbs): very dark greyish brown (10YR 3/2), silty clay, blocky shape, very coarse of 2-5cm size, moderate grade, slightly hard, slightly plastic, top 10cm 10% 0.5-2cm wide roots, gradual, slightly wavy boundary

Layer II (60-120cmbs): grayish brown (10 YR 5/2), silt loam, prismatic shape, medium size of 1-2cm, weak grade, loose, slightly plastic, 60-70% of volume comprised of waterworn basalt 2-30cm in diameter, unknown lower boundary (base of excavation)



Figure 5: North-West Wall Profile of Trench 1

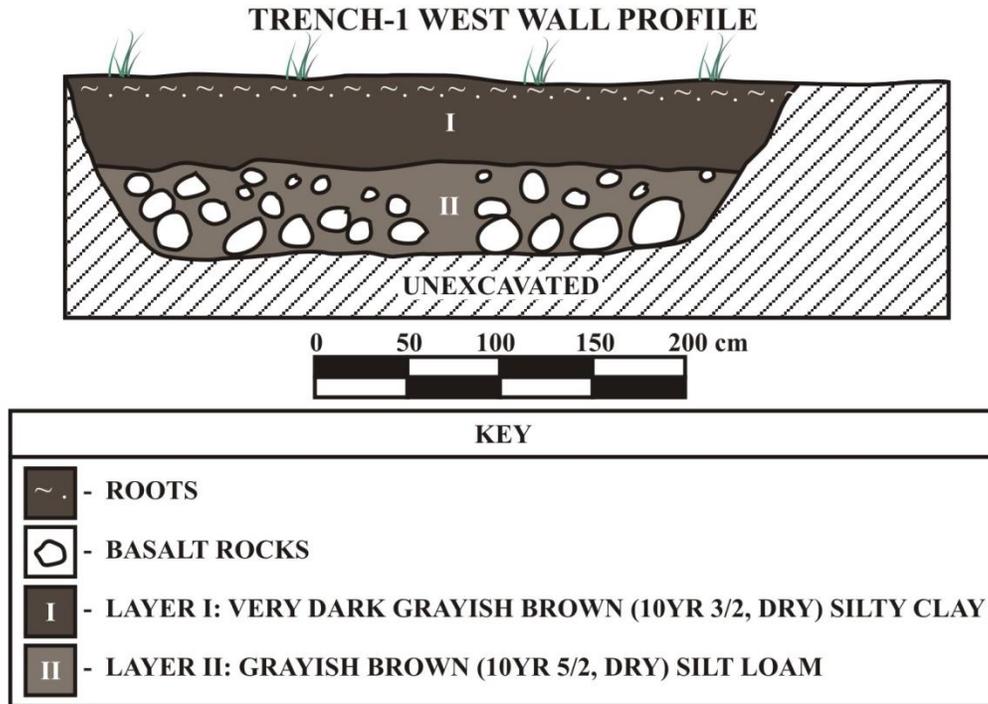


Figure 6: West Wall Profile Trench 1

ST-2

This trench was excavated at the east end of the project area, and to the west of ST-1 on a north/south axis. The trench measured 5.0m long, 0.7m wide, and was excavated to a maximum depth of 1.3mbs. Two stratums were identified in the Trench (Figure 8). The GPS location of the trench was 588032 e; 2371423 n (UTM +/- 3m accuracy), of which the point was taken from the north of the trench. No cultural layer or cultural materials were exposed during excavation.

Layer I (0-85cmbs): very dark greyish brown (10YR 3/2), silty clay, blocky shape, very coarse of 2-5cm size, moderate grade, slightly hard, slightly plastic, top 10cm 10% 0.5-2cm wide roots, gradual, slightly wavy boundary

Layer II (85-130cmbs): grayish brown (10 YR 5/2), silt loam, prismatic shape, medium size of 1-2cm, weak grade, loose, slightly plastic, 60-70% of volume comprised of waterworn basalt 2-30cm in diameter, unknown lower boundary (base of excavation)



Figure 7: West Wall Profile of Trench 2

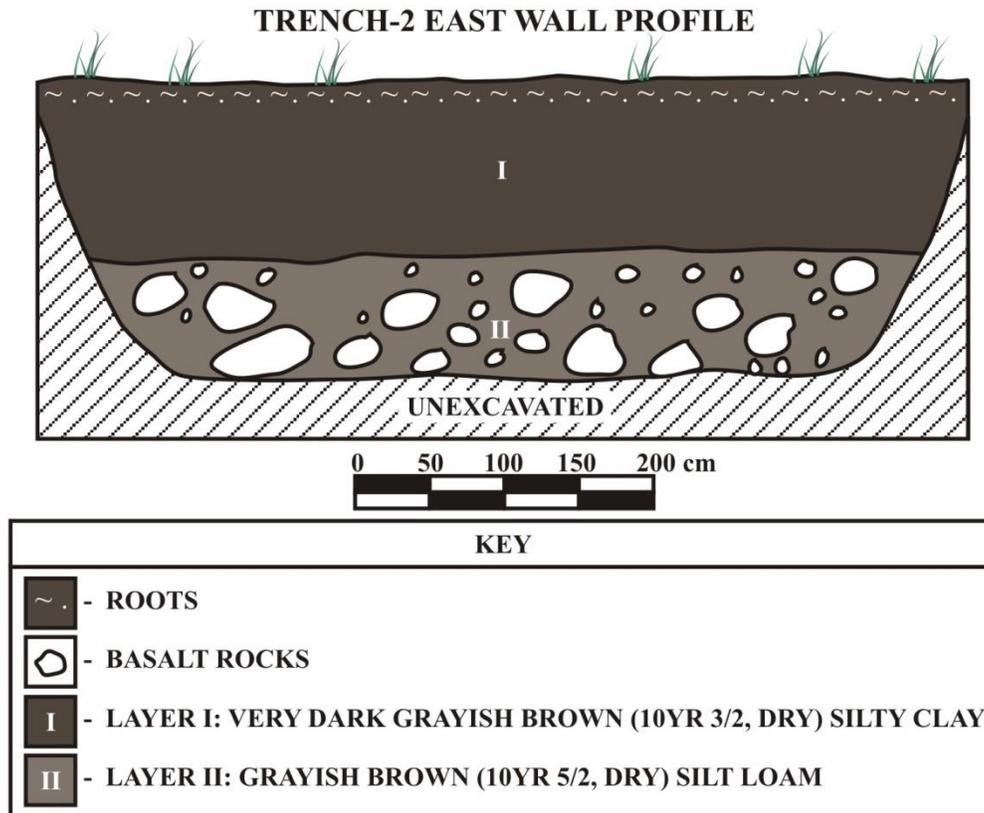


Figure 8: East Wall Profile of Trench 2

ST-3

This trench was excavated at the west end of the project area, to the east of ST-4, and to the south of ST-9 on a north/south axis. The trench measured 5.0m long, 0.6m wide, and was excavated to a maximum depth of 1.0mbs. Two stratum were identified in the Trench (Figure 10). The GPS location of the trench was 588000 e; 2371401 n (UTM +/- 3m accuracy), of which the point was taken from the north of the trench. No cultural layer or cultural materials were exposed during excavation.

Layer I (0-58cmbs): very dark greyish brown (10YR 3/2), silty clay, blocky shape, very coarse of 2-5cm size, moderate grade, slightly hard, slightly plastic, top 10cm 10% 0.5-2cm wide roots, gradual, slightly wavy boundary

Layer II (58-100cmbs): grayish brown (10 YR 5/2), silt loam, prismatic shape, medium size of 1-2cm, weak grade, loose, slightly plastic, 60-70% of volume comprised of waterworn basalt 2-30cm in diameter, unknown lower boundary (base of excavation)



Figure 9: East Wall Profile of Trench 3

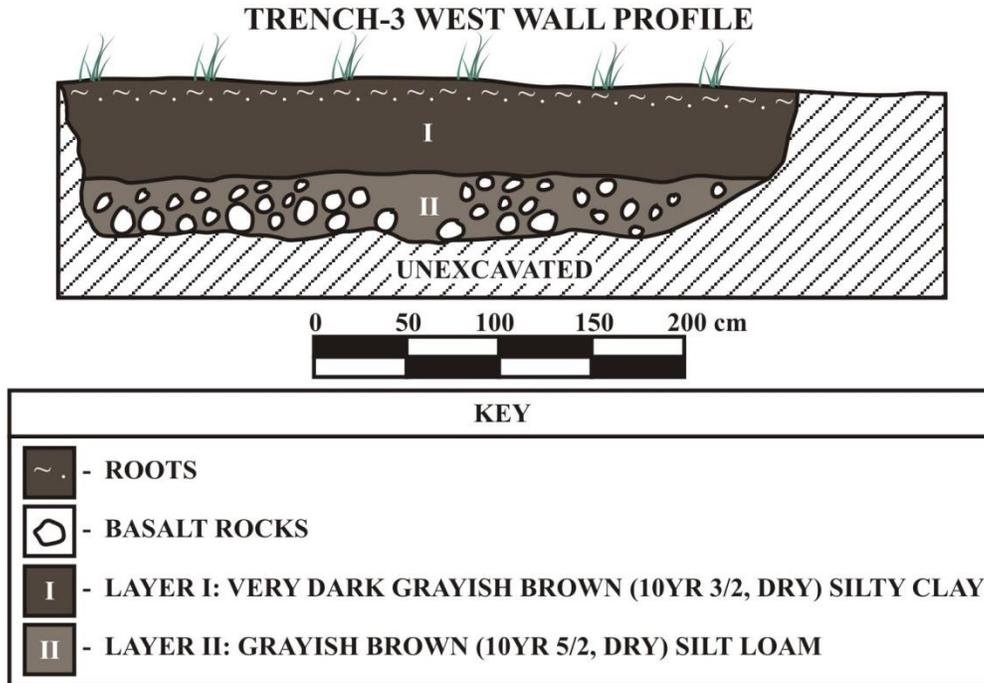


Figure 10: West Wall Profile of Trench 3

ST-4

This trench was excavated at the west end of the project area, on a north/south axis. The trench measured 5.0m long, 0.65m wide, and was excavated to a maximum depth of 1.1mbs. Two stratums were identified in the Trench (Figure 12). The GPS location of the trench was 587982 e; 2371391 n (UTM +/- 3m accuracy), of which the point was taken from the north of the trench. No cultural layer or cultural materials were exposed during excavation.

Layer I (0-65cmbs): very dark greyish brown (10YR 3/2), silty clay, blocky shape, very coarse of 2-5cm size, moderate grade, slightly hard, slightly plastic, top 10cm 10% 0.5-2cm wide roots, gradual, slightly wavy boundary

Layer II (65-110cmbs): grayish brown (10 YR 5/2), silt loam, prismatic shape, medium size of 1-2cm, weak grade, loose, slightly plastic, 60-70% of volume comprised of waterworn basalt 2-30cm in diameter, unknown lower boundary (base of excavation)



Figure 11: West Wall Profile of Trench 4

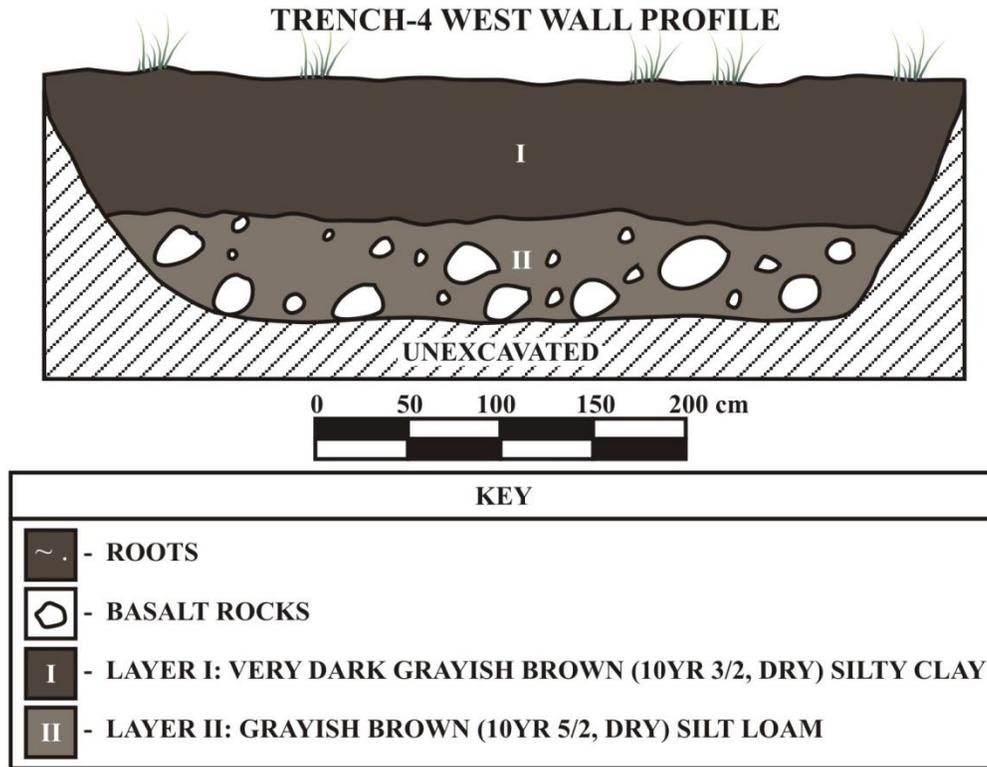


Figure 12: West Wall Profile of Trench 4

ST-5

This trench was excavated at the west end of the project area, and to the south of ST-4 on an east/west axis. The trench measured 5.0m long, 0.5m wide, and was excavated to a maximum depth of 1.15mbs. Two stratums were identified in the Trench (Figure 14). The GPS location of the trench was 587995 e; 2371380 n (UTM +/- 3m accuracy), of which the point was taken from the west of the trench. No cultural layer or cultural materials were exposed during excavation.

Layer I (0-50cmbs): very dark greyish brown (10YR 3/2), silty clay, blocky shape, very coarse of 2-5cm size, moderate grade, slightly hard, slightly plastic, top 10cm 10% 0.5-2cm wide roots, gradual, slightly wavy boundary

Layer II (50-115cmbs): grayish brown (10 YR 5/2), silt loam, prismatic shape, medium size of 1-2cm, weak grade, loose, slightly plastic, 60-70% of volume comprised of waterworn basalt 2-30cm in diameter, unknown lower boundary (base of excavation)



Figure 13: North Wall Profile of Trench 5

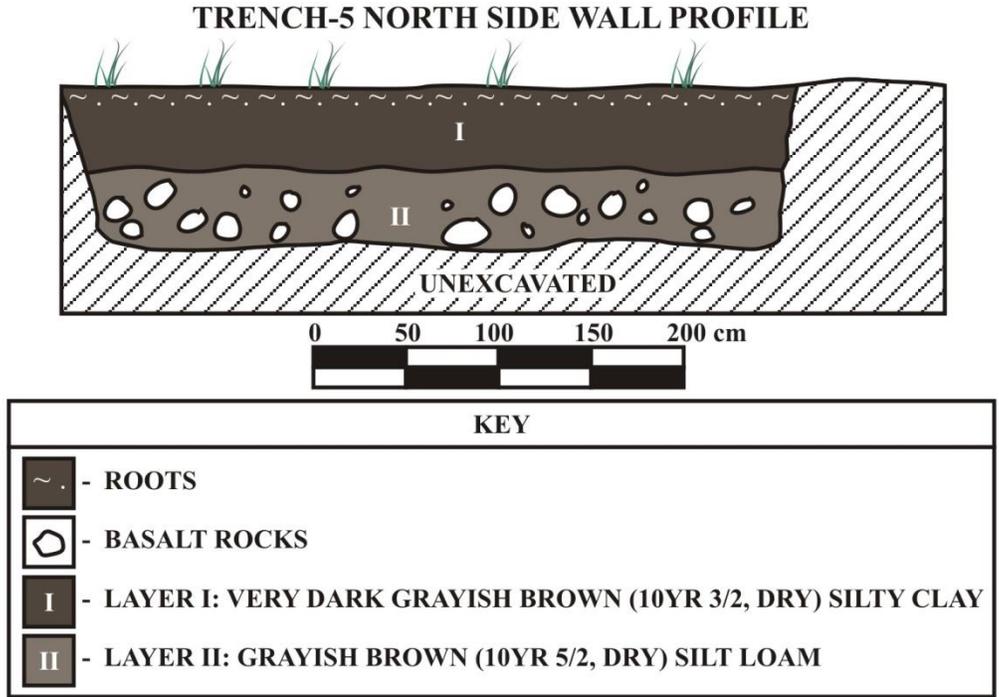


Figure 14: North Wall Profile of Trench 5

ST-6

This trench was excavated at the east end of the project area, on a north/south axis. The trench measured 5.0m long, 0.7m wide, and was excavated to a maximum depth of 1.2mbs. Two stratums were identified in the Trench (Figure 16). The GPS location of the trench was 588066 e; 2371417 n (UTM +/- 3m accuracy), of which the point was taken from the north of the trench. No cultural layer or cultural materials were exposed during excavation.

Layer I (0-60cmbs): very dark greyish brown (10YR 3/2), silty clay, blocky shape, very coarse of 2-5cm size, moderate grade, slightly hard, slightly plastic, top 10cm 10% 0.5-2cm wide roots, gradual, slightly wavy boundary

Layer II (60-120cmbs): grayish brown (10 YR 5/2), silt loam, prismatic shape, medium size of 1-2cm, weak grade, loose, slightly plastic, 60-70% of volume comprised of waterworn basalt 2-30cm in diameter, unknown lower boundary (base of excavation)



Figure 15: East Wall Profile of Trench 6

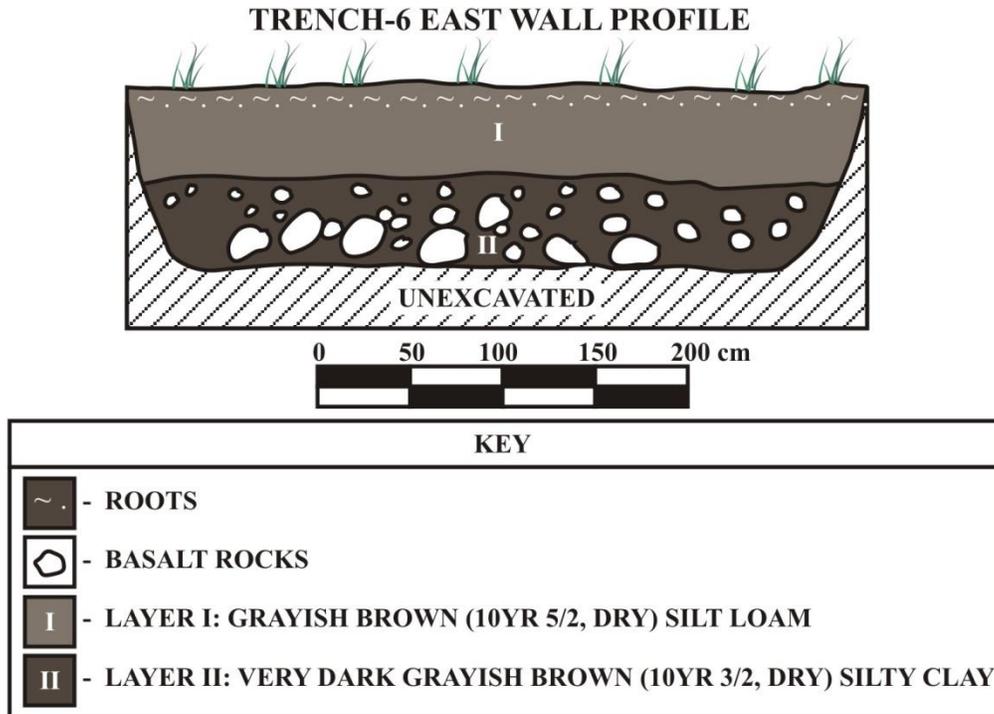


Figure 16: East Wall Profile of Trench 6

ST-7

This trench was excavated at the south/east end of the project area, directly south of the existing private ditch on an east/west axis. The trench measured 5.0m long, 0.7m wide, and was excavated to a maximum depth of 1.25mbs. One stratum was identified in the Trench (Figure 17). The GPS location of the trench was 588065 e; 2371386 n (UTM +/- 3m accuracy), of which the point was taken from the west of the trench. No cultural layer or cultural materials were exposed during excavation.

Layer I (0-125cmbs): dark greyish brown (10YR 4/2), silty clay, blocky shape, very coarse of 2-5cm size, weak grade, slightly hard, slightly plastic, top 10cm 10% 0.5-2cm wide roots, 60-70% of volume comprised of waterworn basalt 2-35cm in diameter, unknown lower boundary (base of excavation)

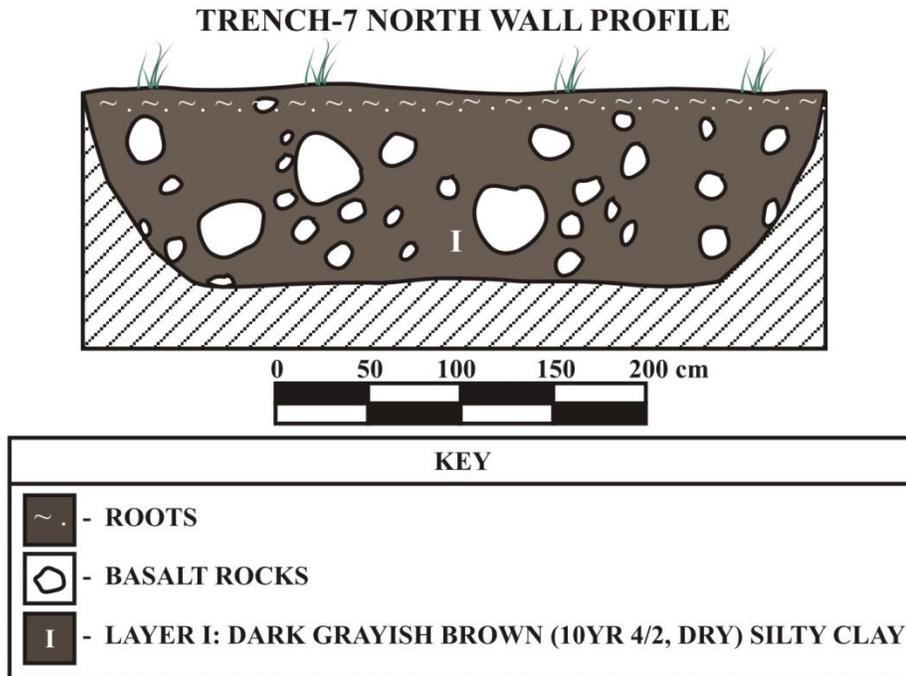


Figure 17: North Wall Profile of Trench 7

ST-8

This trench was excavated at the east end of the project area, to the west of ST-2 and to the south-east of ST-9 on a north/south axis. The trench measured 5.0m long, 0.65m wide, and was excavated to a maximum depth of 1.25mbs. Two stratums were identified in the Trench (Figure 19). The GPS location of the trench was 588025 e; 2371422 n (UTM +/- 3m accuracy), of which the point was taken from the north of the trench. No cultural layer or cultural materials were exposed during excavation.

Layer I (0-82cmbs): very dark greyish brown (10YR 3/2), silty clay, blocky shape, very coarse of 2-5cm size, moderate grade, slightly hard, slightly plastic, top 10cm 10% 0.5-2cm wide roots, gradual, slightly wavy boundary

Layer II (82-125cmbs): grayish brown (10 YR 5/2), silt loam, prismatic shape, medium size of 1-2cm, weak grade, loose, slightly plastic, 60-70% of volume comprised of waterworn basalt 2-30cm in diameter, unknown lower boundary (base of excavation)



Figure 18: East Wall Profile of Trench 8

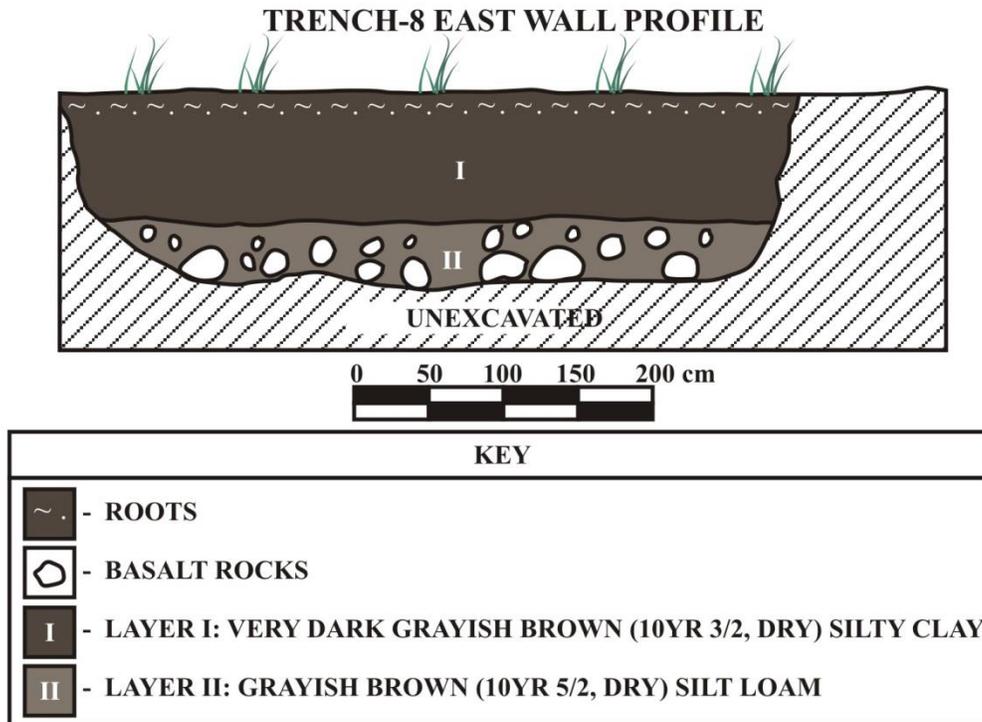


Figure 19: East Wall Profile of Trench 8

ST-9

This trench was excavated at the west end of the project area, and to the east of ST-10 on a north/south axis. The trench measured 5.0m long, 0.6m wide, and was excavated to a maximum depth of 1.10mbs. Two stratum were identified in the Trench (Figure 21). The GPS location of the trench was 588010 e; 2371410 n (UTM +/- 3m accuracy), of which the point was taken from the north of the trench. No cultural layer or cultural materials were exposed during excavation.

Layer I (0-40cmbs): very dark greyish brown (10YR 3/2), silty clay, blocky shape, very coarse of 2-5cm size, moderate grade, slightly hard, slightly plastic, top 10cm 10% 0.5-2cm wide roots, gradual, slightly wavy boundary

Layer II (40-110cmbs): grayish brown (10 YR 5/2), silt loam, prismatic shape, medium size of 1-2cm, weak grade, loose, slightly plastic, 60-70% of volume comprised of waterworn basalt 2-30cm in diameter, unknown lower boundary (base of excavation)



Figure 20: West Wall Profile of Trench 9

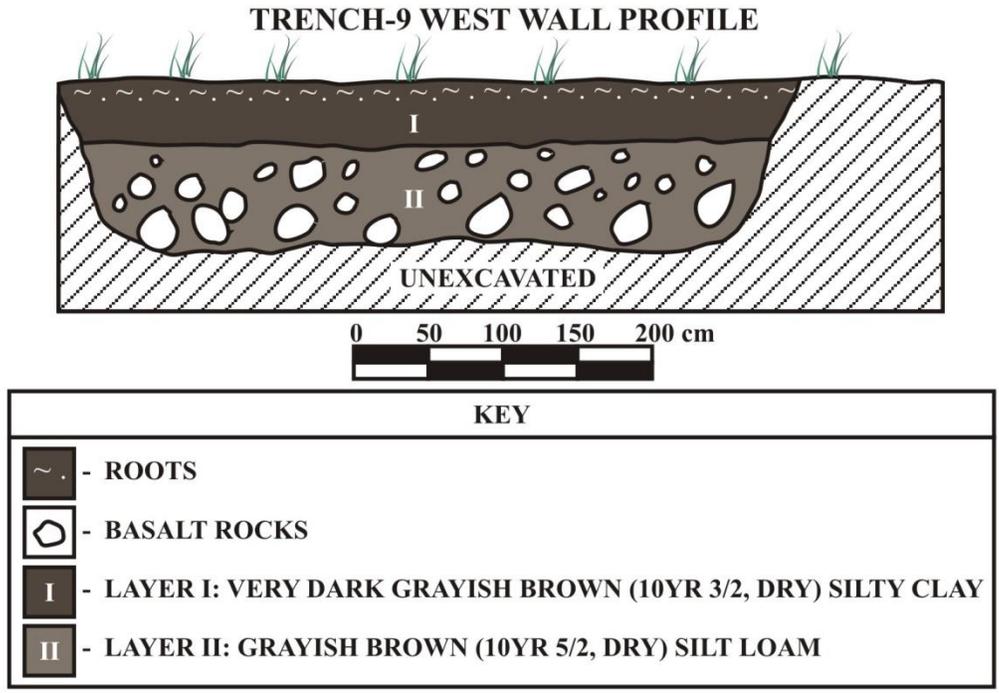


Figure 21: West Wall Profile of Trench 9

ST-10

This trench was excavated at the east end of the project area, and to the west of ST-9 on a north-east/south-west axis. The trench measured 5.0m long, 0.65m wide, and was excavated to a maximum depth of 1.3mbs. Two stratums were identified in the Trench (Figure 23). The GPS location of the trench was 587983 e; 237139 n (UTM +/- 3m accuracy), of which the point was taken from the north-east of the trench. No cultural layer or cultural materials were exposed during excavation.

Layer I (0-68cmbs): very dark greyish brown (10YR 3/2), silty clay, blocky shape, very coarse of 2-5cm size, moderate grade, slightly hard, slightly plastic, top 10cm 10% 0.5-2cm wide roots, gradual, slightly wavy boundary

Layer II (68-105cmbs): grayish brown (10 YR 5/2), silt loam, prismatic shape, medium size of 1-2cm, weak grade, loose, slightly plastic, 60-70% of volume comprised of waterworn basalt 2-30cm in diameter, unknown lower boundary (base of excavation)



Figure 22: West Wall Profile of Trench 10

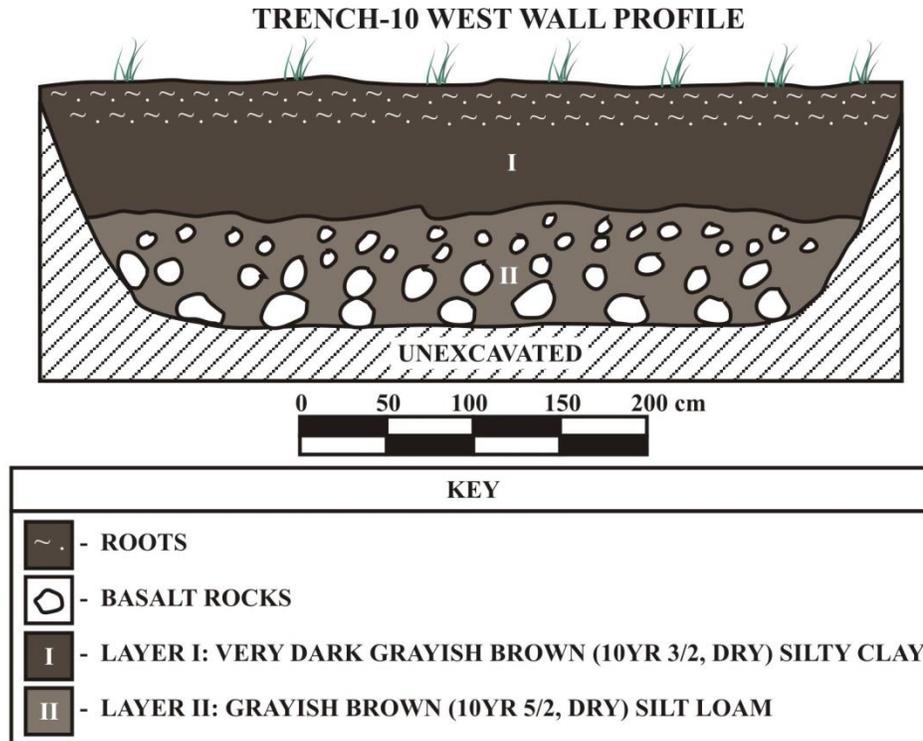


Figure 23: West Wall Profile of Trench 10

DISCUSSION AND RECOMMENDATIONS

Archaeological Inventory Survey-level investigations were conducted within the 1.43 acres and the proposed Kahumana Community Training Kitchen. No historic properties were identified during the study. During subsurface test trenching only sterile soil was exposed. While on occasion historic properties are indeed identified on lands that were formerly utilized in an agricultural capacity, the current project area contained no such properties.

Given the results of the current survey, and the low potential for any significant sites in the project area, no further archaeological work is recommended.

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Thurman, D., and H.H. Hammatt

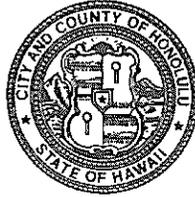
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Appendix E: Historic and Cultural Consultation Materials



DEPARTMENT OF COMMUNITY SERVICES
CITY AND COUNTY OF HONOLULU

715 SOUTH KING STREET, SUITE 311 • HONOLULU, HAWAII 96813 • AREA CODE 808 • PHONE: 768-7762 • FAX: 768-7792



KIRK CALDWELL
MAYOR

GARY K. NAKATA
DIRECTOR

BARBARA YAMASHITA
DEPUTY DIRECTOR

September 14, 2016

Dr. Alan Downer, Administrator
State of Hawaii
Department of Land and Natural Resources
State Historic Preservation Division
Kakuhihewa Building
601 Kamokila Boulevard, Suite 555
Honolulu, Hawaii 96707

Dear Dr. Downer:

**SUBJECT: National Historic Preservation Act, Section 106 and HRS 6E
Consultation for the Department of Community Services Kahumana
Training Kitchen, Oahu, Hawaii; SHPD LOG #2016.01359**

The Department of Community Services (DCS) locally administers Community Development Block Grant (CDBG) funds from the U.S. Department of Housing and Urban Development (HUD). A potential subrecipient of these funds, Alternative Structures Inc. (Kahumana) proposes to construct a Community Training Kitchen at Ohana Ola 'O Kahumana, situated on a portion of the TMK parcel 8-6-006:001 on the island of Oahu, Waianae District of Honolulu County.

Pursuant to Section 106 of the National Historic Preservation Act of 1966, as amended (NHPA) (36 CFR Part 800), and Section 6E-8 of the Hawai'i Revised Statutes, DCS would like to conclude consultation with the State of Hawai'i Historic Preservation Office (SHPD) on this project.

Kahumana and their consultants initiated pre-consultation activities, including a meeting with SHPD staff in 2015. DCS formally began the Section 106 consultation process on March 31, 2016, and Kahumana has carried out SHPD's recommended steps to inventory and assess resources. An Archaeological Assessment (AA) that identifies historic properties, assesses their significance, and makes recommendations for their documentation or preservation, has been prepared by Scientific Consultant Services. The AA has been submitted to your office (SHPD LOG #2016.01359). Enclosed with this letter is an application for Historic Preservation Review and attachments which document the process.

Based on the conclusions made by the project archaeologist in their AA and their recommendation that no further archaeological work need be conducted, DCS has determined that no historic properties will be affected by undertaking of this project pursuant to 36 CFR Part 800.

In compliance with the requirements of these funding sources and Section 106 of the National Historic Preservation Act of 1966, I am requesting that your office indicate concurrence with our determination **that no historic properties will be affected by undertaking of this project.**

Please submit written comment within 30 days to:

Mr. Stephen Karel
City and County of Honolulu
Department of Community Services
715 South King Street, Suite 311
Honolulu, Hawaii 96813

If we do not receive a response within 30 days from the date of this letter, we shall assume that your agency concurs with our determination.

Should you require any further information regarding this project, please contact Kahumana's planning consultant, PBR HAWAII & Associates, Inc., attention Catie Cullison at ccullison@pbrhawaii.com, or (808) 521-5631.

Sincerely,



Gary K. Nakata
Director

GKN:sgk

Enclosures

cc: PBR HAWAII & Associates, Inc. (w/o attach)

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	TMK #: () - - - : _____		
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	Response Date ____/____/____		Log In Date ____/____/____
Sent Date ____/____/____	Log Out Date ____/____/____	REV 4/15	



State of Hawaii
Department of Land and Natural Resources
State Historic Preservation Division
 Kakuhihewa Building, 601 Kamokila Blvd., Suite 555, Kapolei, HI 96707
 Ph: (808) 692-8015 Fax: (808) 692-8020
DLNR.Intake.SHPD@hawaii.gov

APPLICATION FOR HISTORIC PRESERVATION REVIEW

Please complete one copy of this form for each project for which review is requested and attach it to all information submitted to this office for review. This application is required for both Chapter 6E and Section 106 review processes. Complete and submit one form for each project/building permit required to be reviewed for Chapter 6E and Section 106 review. Applications must be accurate and complete for review to begin. Incomplete or inaccurate applications will be sent back to the applicant without comment. Send only the information and attachments requested on this application.

I. APPLICATION INFORMATION

NEW SUBMITTAL
 (if this is a new submittal please complete Section II)

MORE INFORMATION RELATING TO LOG#: 2016 . 01359; in response to DOC#:
 (if you have checked this box and noted the previous LOG IN # assigned by this office you do not need to continue unless the required information below has changed)

II. PROPERTY INFORMATION and AREA OF POTENTIAL EFFECTS

Project Name: Community Training Kitchen at Ohana Ola 'O Kahumana

Project Address/Location: Wai'anae, 'Oahu

City/Town/Place Name: Wai'anae **County:** Honolulu County

TMK # (1) 8 - 6 - 006 : 001

Area of Potential Effects:
 (Every project has an Area of Potential Effect (APE). The APE includes the entire area within which historic properties could be affected by the project. This includes all areas of construction, demolition, and ground disturbance (direct effects) and the broader surrounding area that might experience visual or other effects from the project (indirect effects))

The Area of Potential Effect (APE) is the approximately one acre project site. See Attachment I for a Regional Location Map and a map showing the APE. The APE size and location was discussed with SHPD prior to initiation of site investigations (see meeting notes included with Attachment IV).

Acreeage of APE: 1 acre

APE Map:

Attachment I: (submit separately or include at the end of this document)
 SHPD requires map(s) locating the project and outlining the Area of Potential Effect. Include a map locating the project in the community. The map must clearly show street and road names surrounding the project area as well as the location of all portions of the project. Appropriate maps include tax maps, Sanborn Insurance maps, GIS or satellite maps, and/or USGS quadrangle maps.

FOR SHPD USE ONLY:	LOG IN #: 20 _____	DATE STAMP	
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Sent Date ____/____/____	Log Out Date ____/____/____	REV 4/15	

III. LAND USE

Previous Land Use/Disturbances:
 (Include general description of the land disturbance when the building was originally constructed and any subsequent land disturbance caused by additions or construction of out-buildings)

No buildings are known to have existed previously in the APE. Prior use included agriculture, but the APE has been unused for many decades.

Current Land Use/Conditions:
 (Include a general description of the current land use and the current condition of the property)

The current use of the land adjacent to the APE include a housing site for a transitional housing program. The land is classified as AG-2, restricted agriculture, and no building or structure is currently occupying the 1 acre portion of the parcel where the proposed project will be constructed.

Does the landowner know of any archaeological resources found on the property?
 (If so, then please describe.)

No, please refer to the AA previously submitted (SHPD LOG #2016 . 01359).

IV. IDENTIFICATION OF HISTORIC PROPERTIES

Part A.

Does the project area or area of potential effects include buildings, structures, or designed landscape features (such as parks or cemeteries) that area 45 years of age or older?

- YES** (please complete the rest of this section)
- NO** (please skip this section and move on to the next)

Part B. Determination of Eligibility:

- The property is **listed** on the State or National Register of Historic Places. Please provide the property's Historic Name or Name of the Historic District the property Contributes to: [Click here to enter text.](#)
- The property is **eligible** for listing on the State or National Register of Historic Places
- The property is **not eligible** for listing on the State or National Register of Historic Places

Inventory of Resources:
 (Please include a list of each building/structure on the site and what the date of construction is for each building/structure)

N/A

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V. PROJECT WORK DESCRIPTION

Project Type (check all that applies):

Repair, Rehabilitation, or Renovation of Structure(s) Addition to Existing Structure(s)
 Site Excavation/Ground Disturbing Activity New Construction
 Utilities and Infrastructure Other: [Click here to enter text.](#)

*If site excavation/ground disturbing activity is to occur, please explain the proposed ground disturbing activity including width, length, and depth of activity within the project work description

Part A. Project Work Description (and project drawings if available)

Attachment II: (submit separately or include at the end of this document)

SHPD requires a detailed written description of the project/scope of work (and project drawings if available). Attach a full description of the nature and extent of the work to be undertaken as part of this project. Plans, specifications, Environmental Impact Statements (EIS), Environmental Assessments (EA), etc., **cannot** be substituted for the written description. Please attach a full written project work description outlining the scope of work to be undertaken through this project. **If site excavation/ground disturbing activity is to occur, please explain the proposed ground disturbing activity including width, length, and depth of activity within the project work description**

Part B. Photographs

Attachment III: (submit separately or include at the end of this document)

SHPD requires photo documentation of the project area and the APE. Photographs may be black and white prints, color prints, or color laser/photo copies; standard (black and white) photocopies are NOT acceptable. If the project involves rehabilitation, include photographs of the building(s) involved. Label each exterior view to a site map and label all interior views. If the project involves new construction, include photographs of any buildings (fifty years old or older) that are located on the project property or on adjoining property.

Please see Attachment III, Site Photos for more information.

- NORTH ELEVATION
- SOUTH ELEVATION
- EAST ELEVATION
- WEST ELEVATION
- PHOTO KEY

Is there any interior work involved within the scope of work for the proposed project?

- YES NO

If there is interior work involved within the scope of work please provide interior photographs of the area(s) where proposed work is to occur.

- INTERIOR PHOTOGRAPHS
- INTERIOR PHOTOGRAPH KEY

VI. DETERMINATION OF EFFECT

FOR SHPD USE ONLY: Received Date ____/____/____ Response Date ____/____/____ Sent Date ____/____/____	LOG IN #: 20 ____ TMK #: () ____ - ____ - ____ : ____ Date Due ____/____/____ Log In Date ____/____/____ Log Out Date ____/____/____	DATE STAMP REV 4/15
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Part A. Determination of Effect

- There are no historic properties within the APE, therefore no **historic properties** will be **effected**.
- There are historic properties within the APE, but the project will have **no adverse effect** on historic properties.
- There are historic properties within the APE and the project will have an **adverse effect** on historic properties.

VII. CONSULTATION

Part A. Consultation with Interested Parties/Public Notification

(The SHPD is only one consulting party under Section 106 (36 CFR 800.2). Other Participants entitled to comment on the Section 106 process include Native Hawaiian Organizations, interested parties, and the public. For more information about consulting parties and satisfying the public notification element of Section 106 consultation please refer to the instructions for this form.)

Consulting Parties included within this Section 106 Consultation:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Office of Hawaiian Affairs (OHA)
<input type="checkbox"/> Hawaii Island Burial Council (HIBC)
<input type="checkbox"/> Kauai Island Burial Council (KIBC)
<input checked="" type="checkbox"/> Oahu Island Burial Council (OIBC)
<input type="checkbox"/> Historic Hawaii Foundation (HHF) | <input type="checkbox"/> Public Notice: (which publication/when) Click here to enter text.
<input type="checkbox"/> Maui/Lanai Islands Burial Council (MLIBC)
<input type="checkbox"/> Molokai Island Burial Council (MIBC)
<input checked="" type="checkbox"/> Other Consulting Parties (including Native Hawaiian Organizations, Civic Clubs, etc.) See Attachment IV, record of consultation |
|---|--|

VIII. CONTACT INFORMATION

Contact information may vary between the Section 106 and Chapter 6E consultation processes. If this application is being submitted in request for **both** Chapter 6E and Section 106 review, please indicate **all parties that will need to be consulted** in the fields reserved below. If this application is being submitted for **only** Section 106; or only Chapter 6E please **only fill out the required contact information for either consultation process below**. Any additional contacts that do not fit within the fields below must be included at the back of the form on a typed 8.5x11 sheet of paper, labeled Attachment VIII: Additional contacts.

Contact Information

Federal Agency: HUD (Responsible Entity for HUD-Community Development Block Grant)

Contact Name:	Title:		
Address:	City:	State:	Zip:
Phone:	Fax:	Email:	

State/City/County Agency (if applicable): Department of Community Services

Contact Name: Steve Karel	Title:		
Address: 715 South King Street, Suite 311	City: Honolulu	State: HI	Zip: 96813
Phone: (808) 768-7753	Fax: (808) 768-7792	Email: skarel@honolulu.gov	

Non-Government Project Proponent/Consultant: Alternative Structures International (dba Kahumana)

Contact Name: Tom McDonald	Title: Executive Director		
Address: 86-660 Lualualei Homestead Road	City: Wai'anae	State: HI	Zip: 96792

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Phone: (808) 696-2655

Fax: N/A

Email: kahumana.tom@gmail.com

Non-Government Project Proponent/Consultant: PBR HAWAII & Associates, Inc.

Contact Name: Catie Cullison

Title: Senior Associate

Address: 1001 Bishop Street, Suite 650

City: Honolulu

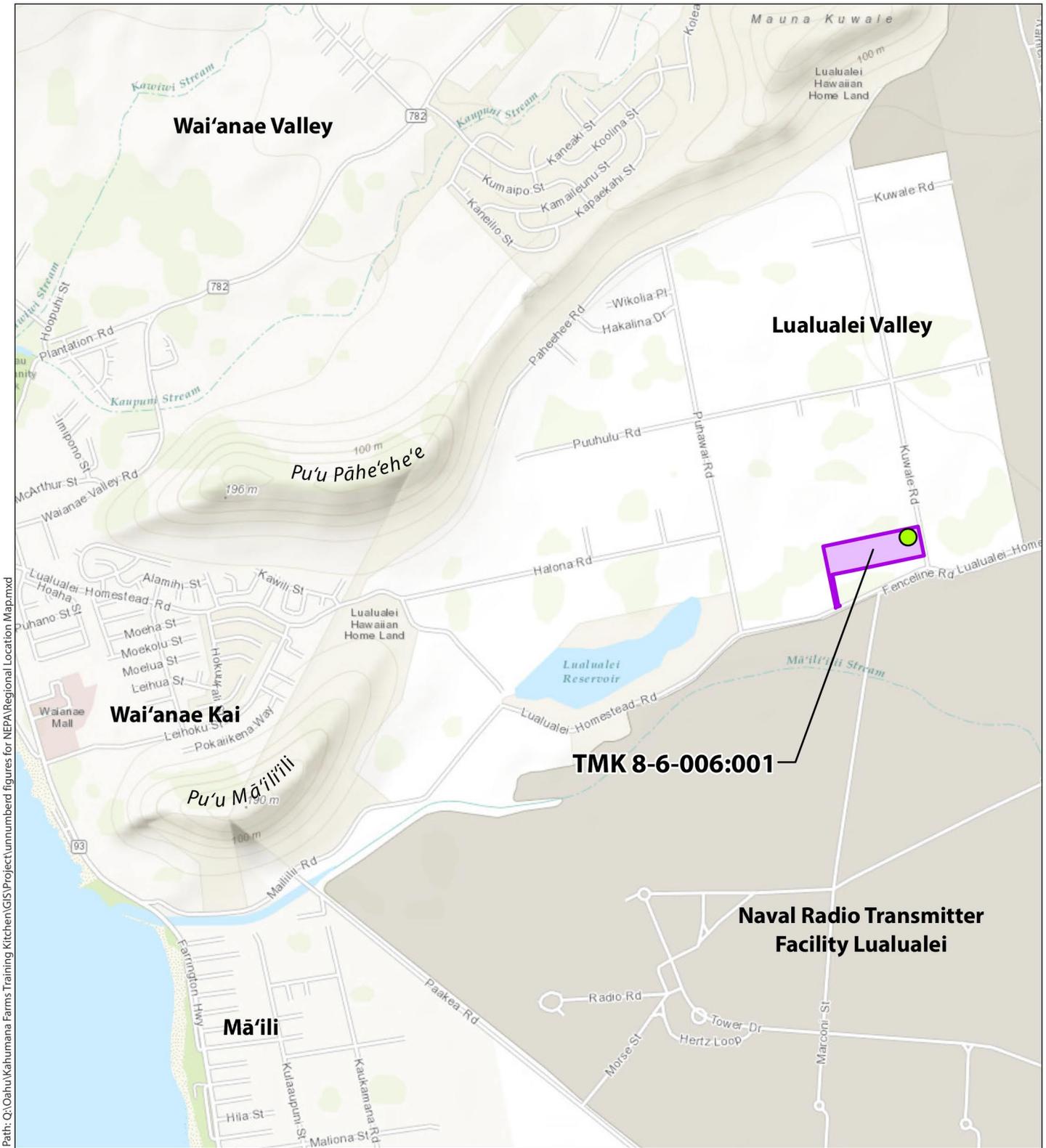
State: HI Zip: 96813

Phone: (808) 521-5631

Fax: (808) 523-1402

Email: ccullison@pbrhawaii.com

**Community Training Kitchen at Ohana Ola 'O Kahumana
Application for Historic Preservation Review
Attachment I, APE Location Maps**

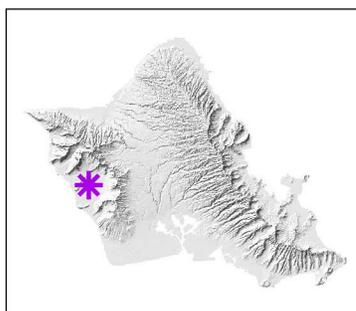


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DATE: 8/4/2016

LEGEND

-  Project Site
-  Ohana Ola 'O Kahumana Community



Regional Location Map

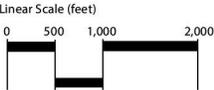
Kahumana Community Training Kitchen

Alternative Structures International Island of O'ahu

North



Linear Scale (feet)




Source: ESRI Online Basemaps.
 Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.



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DATE: 8/4/2016

LEGEND

-  Ohana Ola 'O Kahumana Community
-  APE (Project Site)
-  Tax Map Key Parcels

Aerial Photograph & APE

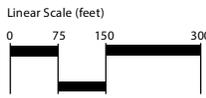
Kahumana Community Training Kitchen

Alternative Structures International Island of O'ahu

North



Linear Scale (feet)




Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community
 Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.

**Community Training Kitchen at Ohana Ola 'O Kahumana
Application for Historic Preservation Review
Attachment II, Project Description**

**Community Training Kitchen at Ohana Ola ‘O Kahumana
Application for Historic Preservation Review
Attachment II, Project Description**

Project Description

The proposed action is construction of a Kitchen facility that will occupy approximately one acre and will include a 2,800-to-3,000 sq. ft. building, an individual wastewater system, a parking/loading area for about twelve vehicles, and an entrance off Kuwale Road. The estimated cost for this project is \$2.4 million.

This project is being proposed by Alternative Structures International, dba Kahumana. Kahumana is a 501(c)(3) nonprofit organization founded on O‘ahu in 1974. Its mission is to co-create a healthy, inclusive and productive farm-based community with homeless families, people with disabilities, and youth. Kahumana achieves this mission through an integrated mix of social services, social ventures, and training venues (learn more at www.kahumana.org). This section provides background information and a general description of the proposed Community Training Kitchen (Kitchen) at Ohana Ola ‘O Kahumana, a transitional housing program for families with children.

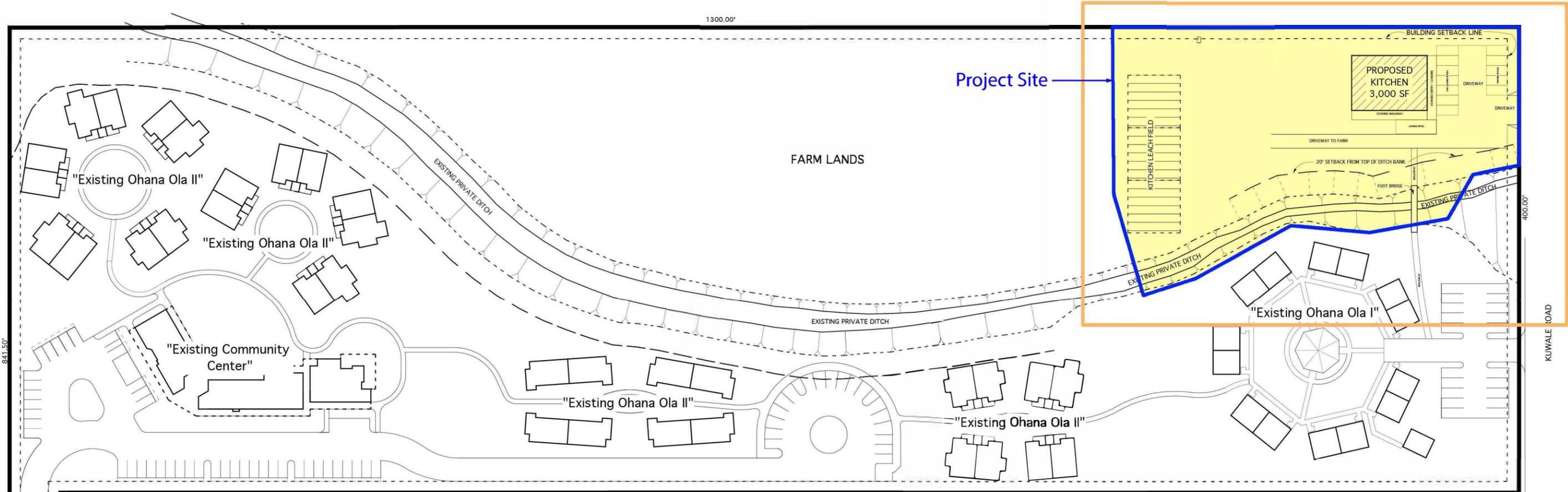
The Ohana Ola facilities include six one-bedroom units, 36 two-bedroom units, and six three-bedroom units. All units include a full kitchen and bathroom. Ohana Ola was developed in two phases, both of which involved City Council Resolutions exempting the projects from certain planning, zoning, and development standards. Resolution 89-351 for Phase I was adopted on August 9, 1989 (Appendix A), CD1 for Phase II was adopted on October 18, 2000 (Appendix B). The entire housing complex occupies a little less than half of the 12.4 acre property, leaving approximately 6.5 acres undeveloped.

The goals of this project are to retain and expand Kahumana’s kitchen training program by building a larger facility and locating it where Kahumana will have long-term site control.

The objectives are to create 20 part-time (19 hours/week), temporary trainee positions, and for trainees to transition to jobs in the larger community in three to six months. Thus, for every 12-month period, the program is expected to serve 50-to-60 individuals. The primary source for filling these trainee positions will be adults at Ohana Ola.

Secondary objectives include:

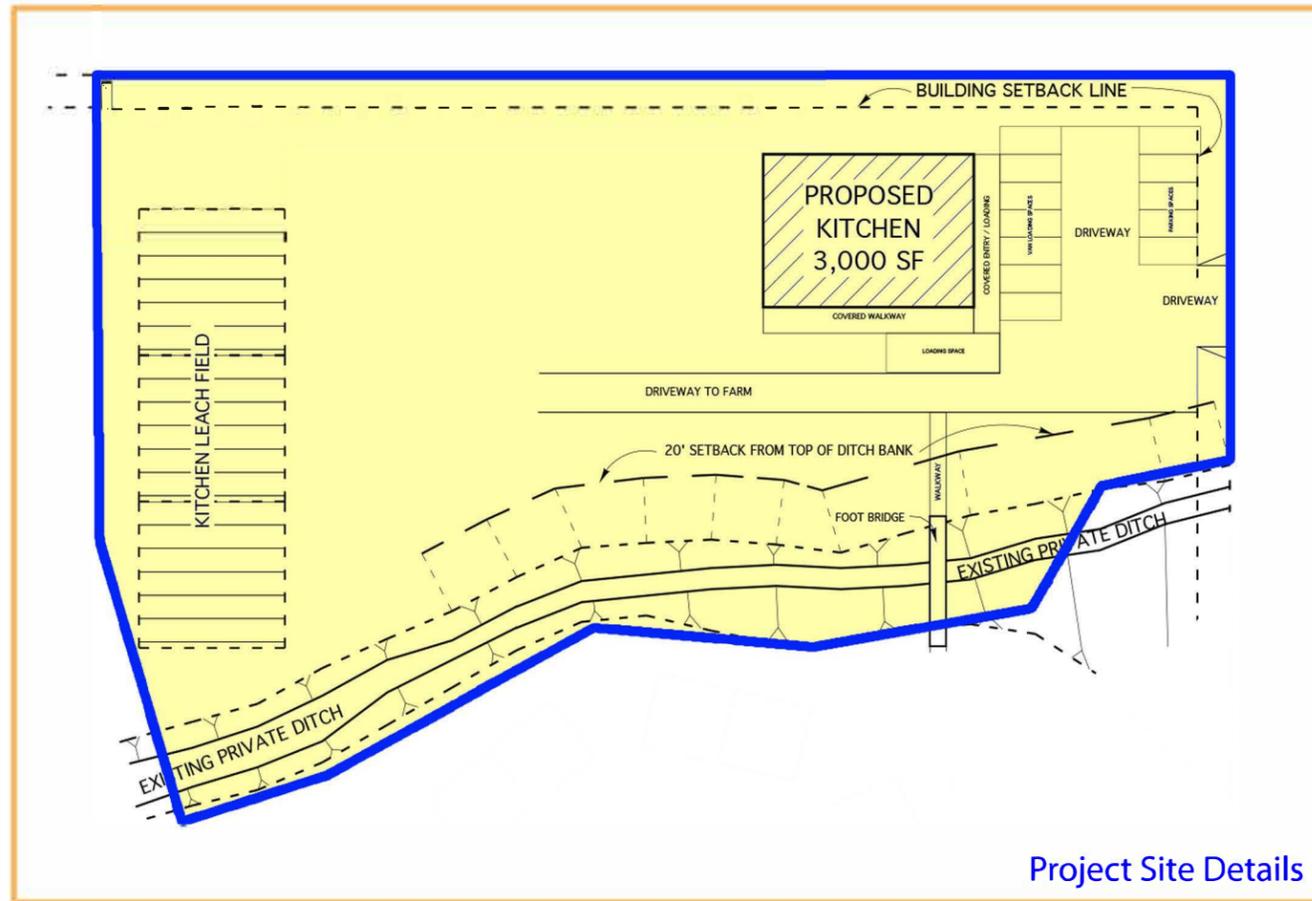
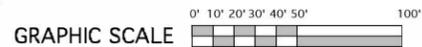
- Uninterrupted continuation of the school lunch program, which feeds 1,100 underprivileged children every day.
- Growth of the school lunch program, to respond to increasing demand.
- Utilization of produce grown at Kahumana Farms to the extent possible to strengthen connections with and stewardship of the ‘āina in the farm-to-table process.



Ohana Ola 'O Kahumana
Community

CODE INFORMATION

TAX MAP KEY: 8 - 6 - 006 : 001
 LOCATION: 86-433 Kuwale Road, Waianae, Hawaii 96792
 ZONING: AG-1
 OCCUPANCY: RESIDENTIAL
 TYPE OF CONSTRUCTION: V-B



Project Site Details

JOHN VITO GRANITO
 ARCHITECT & ASSOCIATES
 47-635 UAKEA PLACE
 KANEHOE, HAWAII 96744 PHONE: 239-7318

Conceptual Site Plan
Kahumana Community Training Kitchen

**Community Training Kitchen at Ohana Ola 'O Kahumana
Application for Historic Preservation Review
Attachment III, Site Photos**



1. View from Kuwale Road of drainage ditch to the west/makai (Ohana Ola 'O Kahumana housing and parking lot on the left)



2. View from Kuwale Road of drainage ditch to the west/makai



3. Northward view up Kuwale Road (toward Pu'u Pāhe'ehe'e), with project site on the left



4. Approximate location of proposed access driveway, currently overgrown with vegetation



5. View of northeast corner of project site



6. View from Ohana Ola I overlooking drainage ditch to the northwest



Key Map

Site Photographs

Kahumana Farms Training Kitchen

ISLAND OF O'AHU

DATE: 05/12/2016



**Community Training Kitchen at Ohana Ola 'O Kahumana
Application for Historic Preservation Review
Attachment IV, Record of Consultation**

Dr. Alan Downer, Administrator
March 31, 2016
Page 2

preparation for underprivileged children, the proposed development is expected to include a 7,000 - 9,000 square foot kitchen facility that is anticipated to house a central kitchen for a vocational training and meal preparation program, community incubator kitchen facilities, associated parking and loading areas, and a new driveway access on Kuwale Road.

Area of Potential Effect (APE):

The Area of Potential Effect (APE) is the portion of the parcel where construction of the kitchen, parking area, and wastewater disposal will occur. Construction staging will take place within this footprint. The APE was shared with Dr. Susan Lebo of your staff on January 22, 2016. Please see enclosed map and meeting notes.

Identified Historic Properties:

The City and County of Honolulu is not aware of any historic properties within the APE, however, as discussed with Dr. Lebo on January 22, 2016, an Archaeological Inventory Survey (AIS) will be conducted to further investigate the site.

Anticipated Determination:

Upon completion of the AIS, an application for historic preservation review will be made on the appropriate State Historic Preservation Division (SHPD) form for Chapter 6E and Section 106.

If you have any additional comments at this time, please provide them to Kahumana's planning consultant within 30 days:

PBR Hawaii & Associates, Inc.
Attention: Catie Cullison
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484

Thank you for your assistance. If you have any questions, please contact Mr. Stephen Karel, of the Community Based Development Division at 768-7753.

Sincerely,

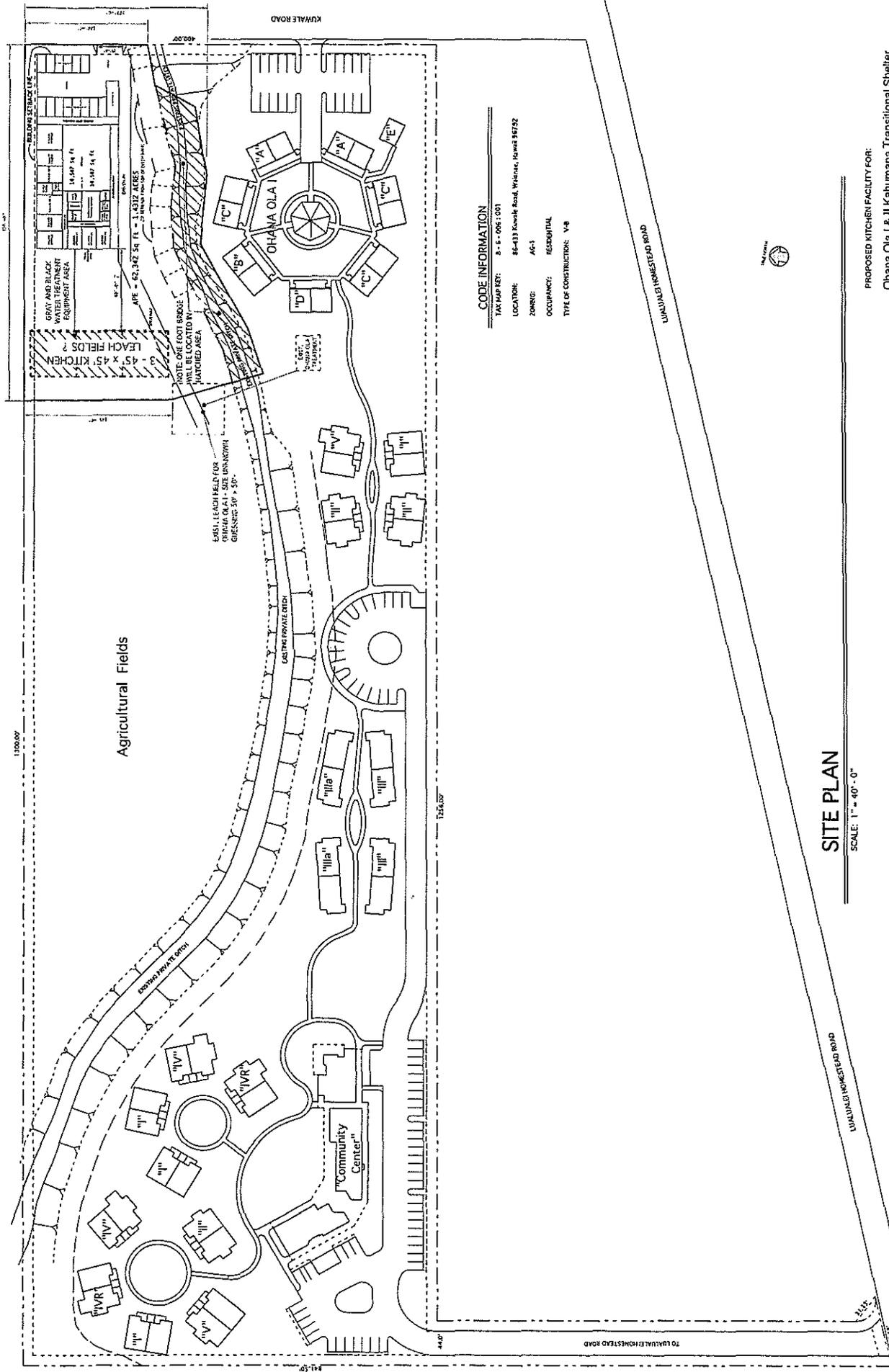


Gary K. Nakata
Director

GKN:sgk

Enclosures: APE Map
January 22, 2016 meeting notes

cc: Catie Cullison, PBR Hawaii & Associates, Inc.



CODE INFORMATION

TAX MAP KEY: E-6-006:001
 LOCATION: 86-433 Kuwale Road, Waianae, Hawaii 96792
 ZONING: AG-1
 OCCUPANCY: RESIDENTIAL
 TYPE OF CONSTRUCTION: V-B

SITE PLAN
 SCALE: 1" = 40' - 0"

PROPOSED KITCHEN FACILITY FOR:
 Ohana Ola I & II Kahumana Transitional Shelter
 Alternative Structures International
 86-433 Kuwale Road, Waianae, Hawaii 96792



PBR HAWAII

& ASSOCIATES, INC.

MEETING NOTES

PRINCIPALS

THOMAS S. WITTEN, ASLA
President

R. STAN DUNCAN, ASLA
Executive Vice-President

RUSSELL Y. I. CHUNG, FASLA, LEED^{AP} BD-C
Executive Vice-President

VINCENT SHIGEKUNI
Vice-President

GRANT T. MURAKAMI, AICP, LEED^{AP} BD-C
Vice-President

W. FRANK BRANDT, FASLA
Chairman Emeritus

ASSOCIATES

TOM SCHNELL, AICP
Senior Associate

RAYMOND T. HIGA, ASLA
Senior Associate

KIMI MIKAMI YUEN, LEED^{AP} BD-C
Senior Associate

SCOTT ALIKA ABRIGO, LEED^{AP} BD-C
Managing Director - Kapolei

ROY TAKEMOTO
Managing Director - Hilo

SCOTT MURAKAMI, ASLA, LEED^{AP}
Associate

DACHENG DONG, LEED^{AP}
Associate

MARC SHIMATSU, ASLA
Associate

MICHAEL SHIBATA, AICP
Associate

CATIE CULLISON, AICP
Associate

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1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-1484
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Fax: (808) 523-1402
E-mail: sysadm@pbrhawaii.com

KAPOLEI OFFICE
1001 Kamokila Boulevard
Kapolei Building, Suite 313
Kapolei, Hawaii 96707-2005
Tel: (808) 521-5631
Fax: (808) 535-3163

HILO OFFICE
1719 Haleloke Street
Hilo, Hawaii 96720-1553
Tel/Co: (808) 315-6878

DATE: January 22, 2016

ATTENDEES: Dr. Susan Lebo, SHPD
John Granito, Architect
Catie Cullison, PBR HAWAII

PREPARED BY: Catie Cullison

DISTRIBUTION: Attendees
Alternative Structures, Inc. dba Kahumana

SUBJECT: Kahumana Training Kitchen & Archaeology

The purpose of the meeting was to share the proposed Area of Potential Effect (APE) with SHPD staff and request their recommendations in moving forward with archaeological investigations and combining the state and federal review processes relating to historic resources (state "6E" and federal "Sec. 106"). Direction is sought prior to engaging with an archaeological consultant.

John provided a general overview of the services Alternative Structures Inc. (dba Kahumana) provide and a more detailed description of the proposed project's purpose, its program and anticipated uses.

Direction from Dr. Lebo is as follows:

- The APE as described looks sufficient. When documenting APE in the process, be sure to note that it includes the entire area of disturbance (construction, staging, and maneuvering). Also, in documenting APE, show it relative to TMK parcel lines and L.C.A.'s.
- While agricultural lands generally don't have a high probability for archaeological finds, some subsurface testing should be done. Possibly 4-5 trenches.
- The consulting archaeologist should meet with her and share their strategy (couple page write up) for testing.
- Ensure that the Section 106 consultation is clearly noted to SHPD and to Native Hawaiian Organizations. Letter documenting the federal delegation for conducting Section 106 consultation should be included.
- It is SHPD's preference for the Final AIS to be included in the HRS 343 Draft EA, however, knowing that isn't always possible, include the draft along with documentation of on-going work with SHPD.

Catie summarized the steps in the review as it relates to potential historic resources:

- Document this meeting
- Hire archaeologist; have archaeologist share testing strategy with SHPD
- Consolidate the 6E and Section 106 Consultation
- Archaeologist performs testing and evaluates effects (if resources present); provides report to SHPD for review
- Culminate with SHPD combined 6E/Sec. 106 form submittal to SHPD

O:\Job32\3252.01 Kahumana Community Training Kitchen\Meetings\2016-01-22 SHPD.docx

printed on recycled paper

DEPARTMENT OF COMMUNITY SERVICES
CITY AND COUNTY OF HONOLULU

715 SOUTH KING STREET, SUITE 311 • HONOLULU, HAWAII 96813 • AREA CODE 808 • PHONE: 768-7762 • FAX: 768-7792

KIRK CALDWELL
MAYOR



GARY K. NAKATA
DIRECTOR

BARBARA YAMASHITA
DEPUTY DIRECTOR

April 6, 2016

Dear: Native Hawaiian Organization Participant:

SUBJECT: Initiation of Consultation Pursuant to National Historic Preservation Act Section 106 and Section 6E-8 Hawai'i Revised Statutes for a Community Training Kitchen at Ohana Ola 'O Kahumana
86-433 Kuwale Road, Wai'anae, O'ahu, TMK: 8-6-006:001

The City and County of Honolulu (City) invites you to contribute feedback on the undertaking described below, pursuant to Section 106 of National Historic Preservation Act (NHPA) and State of Hawai'i historic preservation law (Hawai'i Revised Statutes, Chapter 6E-8). The undertaking is proposed by Alternative Structures International, doing business as Kahumana. The City is initiating this consultation because federal funds, for which the City is the responsible entity, may be sought by Kahumana to fund a portion of the undertaking.

The purpose of Section 106 is to take into account the effect that federal agency actions (including use of federal funds) may have on historic properties within the area of potential effect. The purpose of Chapter 6E-8 is to conserve and develop the historic and cultural property within the State for the public good.

You are receiving this letter because either you are a Native Hawaiian Organization (NHO) currently listed with the Office of Native Hawaiian Relations, or because you are a non-listed NHO but may wish to be involved based on your area of interest.

Project Description:

Name of Project: Community Training Kitchen at Ohana Ola 'O Kahumana

Location: 86-433 Kuwale Road

Island: O'ahu

District: Wai'anae

Tax Map Key: 8-6-006:001

Proposed Undertaking:

The project location is TMK: 8-6-006:001, an approximately 12.5 acre parcel of land that is currently developed with transitional housing, is operated by Alternative Structures International called Ohana Ola 'O Kahumana. The kitchen is needed to maintain and expand Kahumana's vocational training program for homeless, extremely low-income, and developmentally disabled residents, while maintaining and increasing Kahumana's meal preparation for underprivileged children. The proposed development is expected to include a 7,000 - 9,000 square foot kitchen facility that is anticipated to house a central kitchen for a vocational training and meal preparation program, community incubator kitchen facilities, associated parking and loading areas, and a new driveway access on Kuwale Road.

Area of Potential Effect (APE):

The APE is the portion of the parcel where construction of the kitchen, parking area, and wastewater disposal will occur. Construction staging will take place within this footprint. Please see enclosed map.

Identified Historic Properties:

The City is not aware of any historic properties within the APE; however, an archeological inventory survey will be conducted to further investigate the site. Based on your knowledge, your NHO is encouraged to comment on historic or potential historic properties, historic or potential historic districts, this projects area of potential effect, and the nature of these potential effects. You are encouraged to identify other NHOs that may have an interest in participating in the section 106 and/or 6E, Human Resource System (HRS) consultation process.

Two Environmental Assessments (EA) are in the process of being prepared pursuant to the National Environmental Policy Act (NEPA) and pursuant to Section 343 HRS. If you would like to review either the NEPA EA or the Section 343, HRS ES, when available, please request a copy by phone, letter, or email to any of the contacts listed below.

Your comments must be received or postmarked 30 days from the date of this letter, and must be accompanied with a full name and mailing address. Please reference "Community Training Kitchen at Ohana Ola 'O Kahumana" in your subject heading. Please provide comments to the following planning consultant:

PBR Hawai'i & Associates, Inc.
Attention: Catie Cullison, Planner
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813
Phone: (808) 521-5631
Fax: (808) 523-1402
ccullison@pbrhawaii.com

Thank you for participating in the environmental review process.

Sincerely,

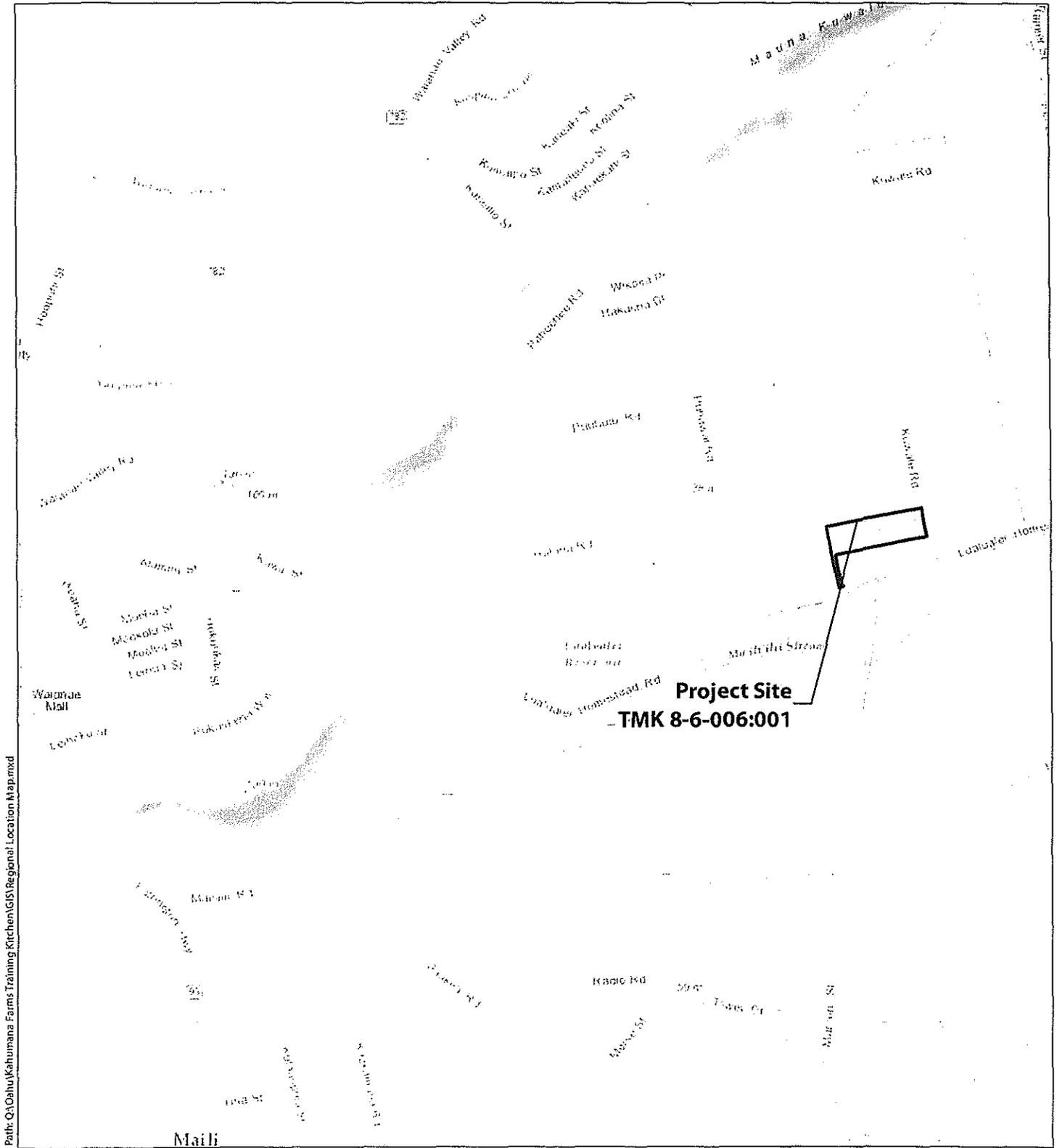


Gary K. Nakata
Director

GKN:sgk

Attachment

cc: PBR Hawai'i & Associates, Inc.
Department of Land and Natural Resources,
State Historic Preservation Division

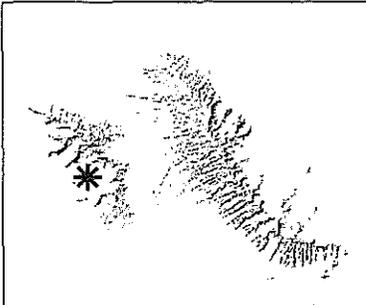


Path: C:\Oahu\Kahumana Farms Training Kitchen\GIS\Regional Location Map.mxd

DATE: 2/8/2016

Legend

 Project Site



**FIGURE 1:
Regional Location Map**

**Kahumana
Community Training Kitchen**

Alternative Structures International Island of Oahu

North

Linear Scale (feet)

0 500 1,000 2,000

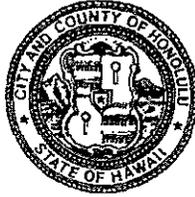



Source: ESRI Online Basemaps.
Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.

DEPARTMENT OF COMMUNITY SERVICES
CITY AND COUNTY OF HONOLULU

715 SOUTH KING STREET, SUITE 311 • HONOLULU, HAWAII 96813 • AREA CODE 808 • PHONE: 768-7762 • FAX: 768-7792

KIRK CALDWELL
MAYOR



GARY K. NAKATA
DIRECTOR

BARBARA YAMASHITA
DEPUTY DIRECTOR

April 6, 2016

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Project Description:

Name of Project: Community Training Kitchen at Ohana Ola 'O Kahumana

Location: 86-433 Kuwale Road

Island: O'ahu

District: Wai'anae

Tax Map Key: 8-6-006:001

Proposed Undertaking:

The project location is TMK: 8-6-006:001, an approximately 12.5 acre parcel of land that is currently developed with transitional housing, is operated by Alternative Structures International called Ohana Ola 'O Kahumana. The kitchen is needed to maintain and expand Kahumana's vocational training program for homeless, extremely low-income, and developmentally disabled residents, while maintaining and increasing Kahumana's meal preparation for underprivileged children. The proposed development is expected to include a 7,000 - 9,000 square foot kitchen facility that is anticipated to house a central kitchen for a vocational training and meal preparation program, community incubator kitchen facilities, associated parking and loading areas, and a new driveway access on Kuwale Road.

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Two Environmental Assessments (EA) are in the process of being prepared pursuant to the National Environmental Policy Act (NEPA) and pursuant to Section 343 HRS. If you would like to review either the NEPA EA or the Section 343, HRS ES, when available, please request a copy by phone, letter, or email to any of the contacts listed below.

Your comments must be received or postmarked 30 days from the date of this letter, and must be accompanied with a full name and mailing address. Please reference "Community Training Kitchen at Ohana Ola 'O Kahumana" in your subject heading. Please provide comments to the following planning consultant:

PBR Hawai'i & Associates, Inc.
Attention: Catie Cullison, Planner
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813
Phone: (808) 521-5631
Fax: (808) 523-1402
ccullison@pbrhawaii.com

Thank you for participating in the environmental review process.

Sincerely,

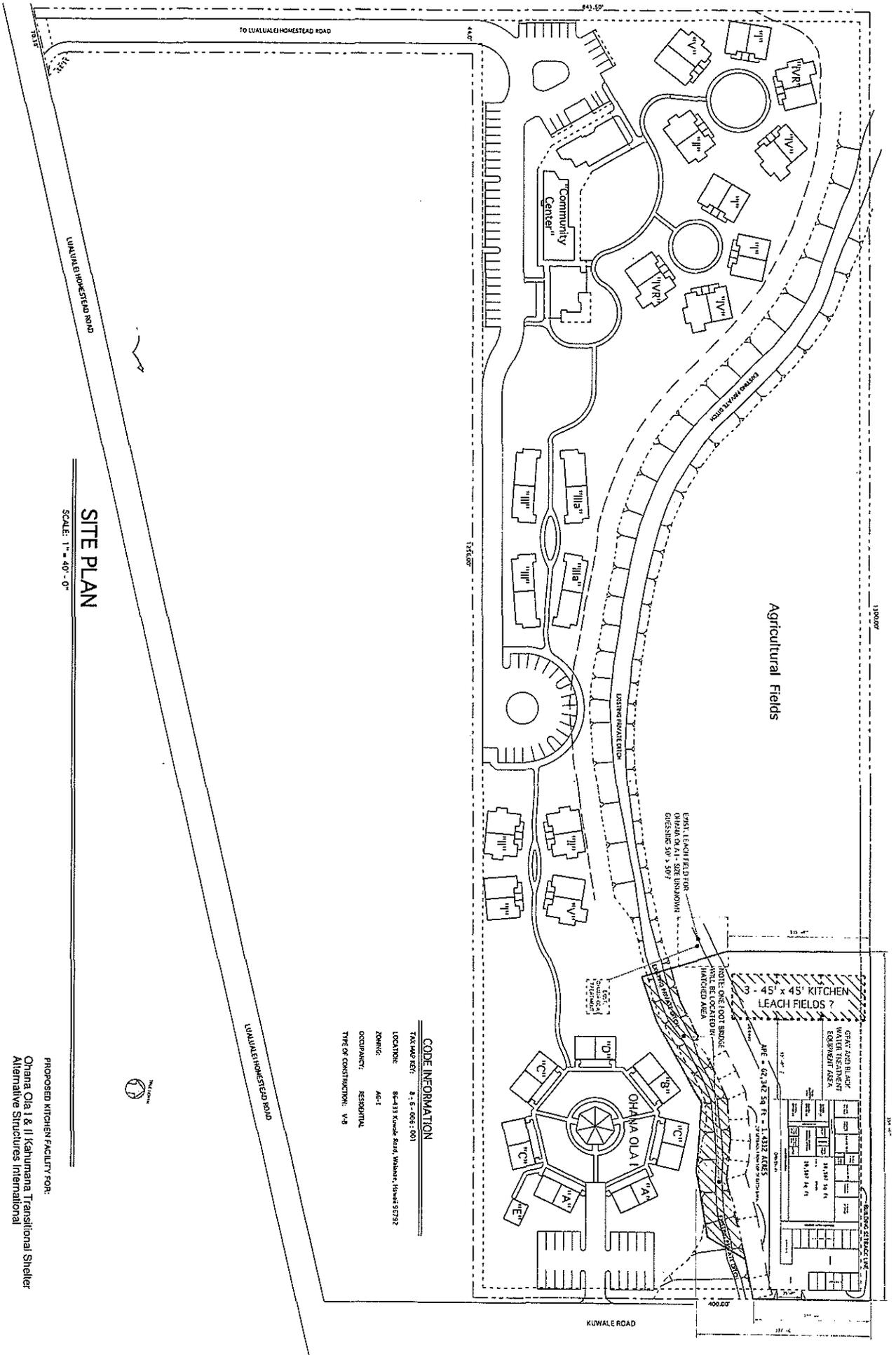


Gary K. Nakata
Director

GKN:sgk

Attachment

cc: PBR Hawai'i & Associates, Inc.
Department of Land and Natural Resources,
State Historic Preservation Division



Agricultural Fields

45' x 45' KITCHEN
LEACH FIELDS?

EAST LEACH FIELD FOR
OHANA OLA I - SEE SKETCH ON
CROSSING 30 x 30'

NOTE: ONE FOOT BRIDGE
OVER LEACH FIELDS -
UNIMPAVED AREA

CODE INFORMATION

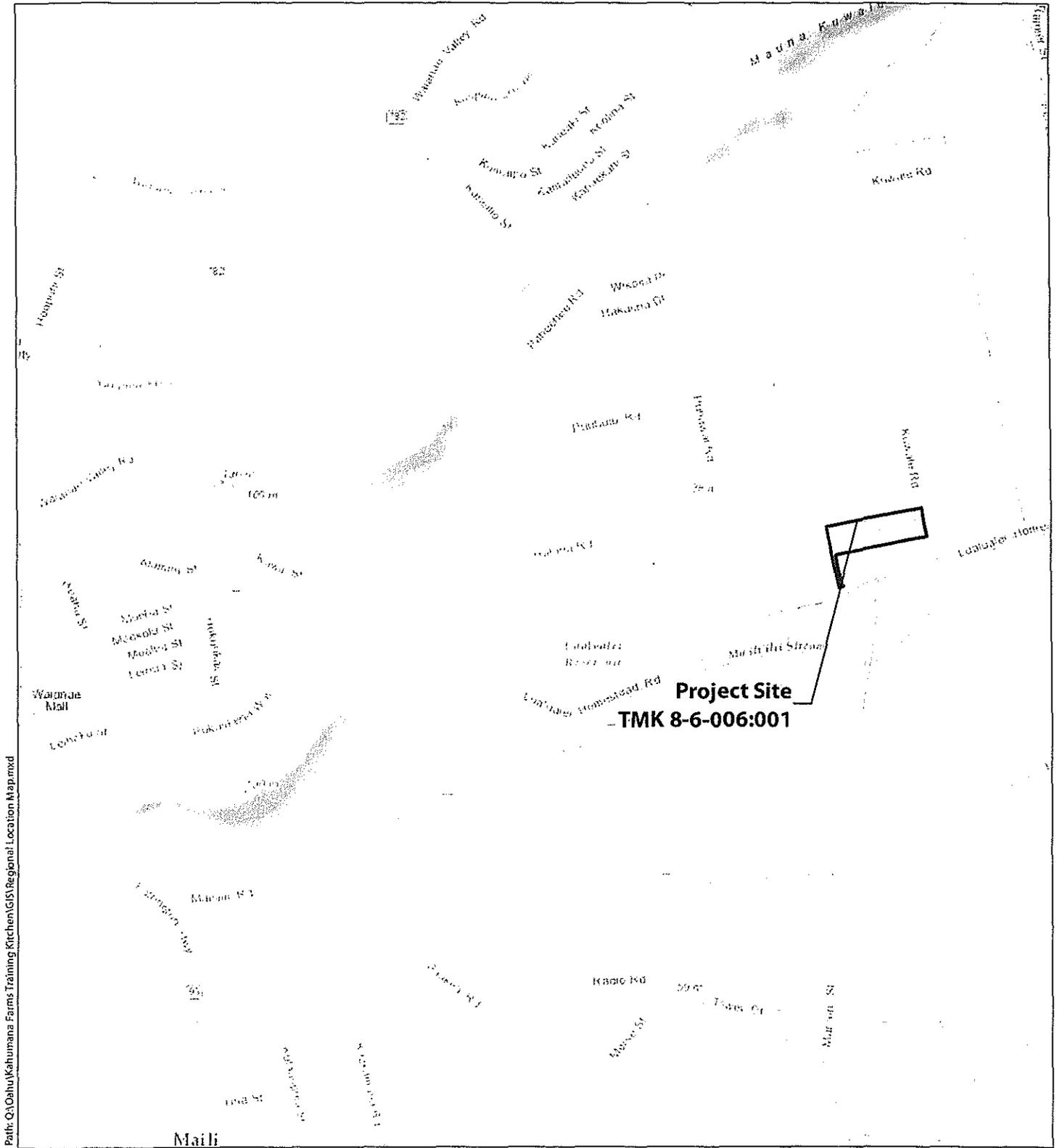
TAX MAP KEY:	2 - 6 - 002 - 001
LOCATION:	86-413 Kuwale Road, Waianae, Island 5732
ZONING:	AO-1
OCCUPANT:	RESIDENTIAL
TYPE OF CONSTRUCTION:	V-B

SITE PLAN

SCALE: 1" = 40' - 0"

PROPOSED KITCHEN FACILITY FOR:

Ohana Ola I & II Kaunamana Transitional Shelter
Alternative Structures International
86-423 Kuwale Road, Waianae, Hawaii 96792



Path: C:\Oahu\Kahumana Farms Training Kitchen\GIS\Regional Location Map.mxd

DATE: 2/8/2016

Legend

 Project Site



**FIGURE 1:
Regional Location Map**

**Kahumana
Community Training Kitchen**

Alternative Structures International
North

Linear Scale (feet)
0 500 1,000 2,000




Source: ESRI Online Basemaps.
Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.

Appendix F: Pre-Assessment Consultation Comment Letters and Responses



BOARD OF WATER SUPPLY

CITY AND COUNTY OF HONOLULU
630 SOUTH BERETANIA STREET
HONOLULU, HI 96843



March 21, 2016

KIRK CALDWELL, MAYOR

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ADAM C. WONG, Vice Chair
DAVID C. HULIHEE
KAPUA SPROAT
BRYAN P. ANDAYA

ROSS S. SASAMURA, Ex-Officio
FORD N. FUCHIGAMI, Ex-Officio

ERNEST Y. W. LAU, P.E.
Manager and Chief Engineer

ELLEN E. KITAMURA, P.E.
Deputy Manager and Chief Engineer

Ms. Catie Cullison, AICP
PBR HAWAII & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

Subject: Your Letter Dated February 18, 2016 on the Revised Pre-assessment for a
Community Training Kitchen at Ohana Ola O Kahumana - Tax Map Key: 8-6-006: 001

Thank you for your letter regarding the proposed community training kitchen facility.

The existing water system is adequate to accommodate the proposed kitchen facility. However, please be advised that this information is based upon current data, and therefore, the Board of Water Supply reserves the right to change any position or information stated herein up until the final approval of the building permit application. The final decision on the availability of water will be confirmed when the building permit application is submitted for approval.

When water is made available, the applicant will be required to pay our Water System Facilities Charges for resource development, transmission and daily storage.

The on-site fire protection requirements should be coordinated with the Fire Prevention Bureau of the Honolulu Fire Department.

If you have any questions, please contact Robert Chun, Project Review Branch of our Water Resources Division at 748-5443.

Very truly yours,

ERNEST Y. W. LAU, P.E.
Manager and Chief Engineer



PBR HAWAII

& ASSOCIATES, INC.

PRINCIPALS

THOMAS S. WITTEN, FASLA
Chairman

R. STAN DUNCAN, ASLA
President

RUSSELL Y. J. CHUNG, FASLA, LEED®AP BD+C
Executive Vice-President

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Vice-President

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Vice-President

TOM SCHNELL, AICP
Principal

KIMI MIKAMI YUEN, LEED®AP BD+C
Principal

W. FRANK BRANDT, FASLA
Chairman Emeritus

July 27, 2016

Mr. Ernest Y. W. Lau, P.E.
Manager and Chief Engineer
City and County of Honolulu
Board of Water Supply
630 South King Street
Honolulu, Hawai'i 96843

Attn: Mr. Robert Chun, Project Review Branch, Water Resources Division

SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A COMMUNITY TRAINING KITCHEN AT OHANA OLA O KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK 8-6-006:001

Dear Mr. Lau:

ASSOCIATES

RAYMOND T. HIGA, ASLA
Senior Associate

CATIE CULLISON, AICP
Senior Associate

ROY TAKEMOTO
Managing Director - Hilo

SCOTT MURAKAMI, ASLA, LEED®AP
Associate

DACHENG DONG, LEED®AP
Associate

MARC SHIMATSU, ASLA
Associate

Thank you for your letters dated March 9, 2016, and March 21, 2016, regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we acknowledge your comments about the subject project and provide the following responses that will be incorporated into the Draft Environmental Assessment (EA):

- We acknowledge your comment that the existing water system is adequate to accommodate the proposed kitchen facility. We understand that this information is based on current data and that the Board of Water Supply (BWS) reserves the right to change any position or information stated until the final approval of the building permit application. We further understand that the final decision by the BWS on the availability of water will be confirmed when the building permit application is submitted for approval.
- We also acknowledge that, when water is made available, the applicant will be required to pay the BWS Water System Facilities Charges for resource development, transmission, and daily storage.
- Finally, we acknowledge that on-site fire protection requirements should be coordinated with the Fire Prevention Bureau of the Honolulu Fire Department.

We appreciate your participation in the environmental review process. Your letter will be included in the Draft EA.

Sincerely,

PBR HAWAII

Catie Cullison
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services
Tom McDonald, Alternative Structures, Inc.

HONOLULU OFFICE
1001 Bishop Street, Suite 650
Honolulu, Hawai'i 96813-3484
Tel: (808) 521-5631
Fax: (808) 523-1402
E-mail: sysadmin@pbrhawaii.com

HILO OFFICE
1719 Haleloke Street
Hilo, Hawai'i 96720-1553
Tel/Cel: (808) 315-6878

printed on recycled paper

DEPARTMENT OF DESIGN AND CONSTRUCTION
CITY AND COUNTY OF HONOLULU

650 SOUTH KING STREET, 11TH FLOOR
HONOLULU, HAWAII 96813
Phone: (808) 768-8480 • Fax: (808) 768-4567
Web site: www.honolulu.gov

KIRK CALDWELL
MAYOR

ROBERT J. KRONING, P.E.
DIRECTOR

MARK YONAMINE, P.E.
DEPUTY DIRECTOR



March 2, 2016

PBR Hawaii & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813

Attn: Catie Cullison

Dear Ms. Cullison:

Subject: Pre- Assessment Consultation for a Community Training Kitchen at Ohana Ola O Kahumana, 86-600 Lualualei Homestead Rd., Waianae, Oahu TMK 8-6-001:001

The Department of Design and Construction does not have comments to offer at this time.

Thank you for the opportunity to review. Should there be any questions, please contact me at 768-8480.

Sincerely,

A handwritten signature in black ink, appearing to read "Robert J. Kroning".

Robert J. Kroning, P.E.
Director

RJK: ms (642450)



PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

PRINCIPALS

THOMAS S. WITTEN, FASLA
Chairman

R. STAN DUNCAN, ASLA
President

RUSSELL Y. J. CHUNG, FASLA, LEED®AP BD+C
Executive Vice-President

VINCENT SHIGEKUNI
Vice-President

GRANT T. MURAKAMI, AICP, LEED®AP BD+C
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ROY TAKEMOTO
Managing Director - Hilo

SCOTT MURAKAMI, ASLA, LEED®AP
Associate

DACHENG DONG, LEED®AP
Associate

MARC SHIMATSU, ASLA
Associate

Mr. Robert J. Kroning, P.E., Director
City and County of Honolulu
Department of Design and Construction
650 South King Street, 11th Floor
Honolulu, Hawai'i 96813

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A
COMMUNITY TRAINING KITCHEN AT OHANA OLA O
KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK
8-6-006:001**

Dear Mr. Kroning:

Thank you for your letter dated March 2, 2016, regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your participation in the environmental review process, and your input that your Department has no comments to offer at this time. Your letter will be included in the Draft Environmental Assessment (EA).

Sincerely,

PBR HAWAII

Catie Cullison
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services
Tom McDonald, Alternative Structures, Inc.

HONOLULU OFFICE

1001 Bishop Street, Suite 650
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E-mail: sysadmin@pbrhawaii.com

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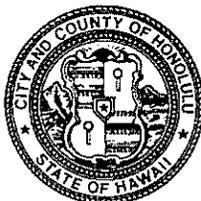
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DEPARTMENT OF FACILITY MAINTENANCE
CITY AND COUNTY OF HONOLULU

1000 Ulu'ohia Street, Suite 215, Kapolei, Hawaii 96707
Phone: (808) 768-3343 • Fax: (808) 768-3381
Website: www.honolulu.gov

KIRK CALDWELL
MAYOR



ROSS S. SASAMURA, P.E.
DIRECTOR AND CHIEF ENGINEER

EDUARDO P. MANGLALLAN
DEPUTY DIRECTOR

IN REPLY REFER TO:
DRM 16-197

March 7, 2016

Ms. Catie Cullison, AICP
Planner
PBR Hawaii & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

SUBJECT: Pre-Assessment Consultation for a Community
Training Kitchen at Ohana Ola O Kahumana, 86-600
Lualualei Homestead Rd., Wai'anae, O'ahu, TMK 8-6-001:001

Thank you for the opportunity to review and provide our input regarding your letter dated February 8, 2016, on the above-subject project.

Our comments are as follows:

- Once construction phase commences, install approved Best Management Practices fronting all drainage facilities on Lualualei Homestead Road and Kuwale Road.
- During construction and upon completion of the project, any damages/deficiencies to Lualualei Homestead Road and Kuwale Road right-of-way shall be corrected to City standards and accepted by the City.

If you have any questions, please contact Mr. Kyle Oyasato of the Division of Road Maintenance at 768-3697.

Sincerely,

A handwritten signature in black ink, appearing to read "Ross S. Sasamura".

Ross S. Sasamura, P.E.
Director and Chief Engineer



PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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Mr. Ross S. Sasamura, P.E.
Director and Chief Engineer
City and County of Honolulu
Department of Facility Maintenance
1000 Ulu'ohia Street, Suite 215
Kapolei, Hawai'i 96707

ATTN: Mr. Kyle Oyasato, Division of Road Maintenance

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A
COMMUNITY TRAINING KITCHEN AT OHANA OLA O
KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK
8-6-006:001**

Dear Mr. Sasamura:

Thank you for your letter dated March 7, 2016, regarding the subject project. The Draft Environmental Assessment (EA) will address comments from your Department as follows:

1. Once construction phase commences, approved Best Management Practices fronting all drainage facilities on Lualualei Homestead Road and Kuwale Road will be installed.
2. During construction and upon completion of the project, any damages or deficiencies to Lualualei Homestead Road and Kuwale Road right-of-way will be corrected to City standards and accepted by the City.

As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your participation in the environmental review process. Your letter will be included in the Draft EA.

Sincerely,

PBR HAWAII

Catie Cullison
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services
Tom McDonald, Alternative Structures, Inc.

HONOLULU OFFICE
1001 Bishop Street, Suite 650
Honolulu, Hawai'i 96813-3484
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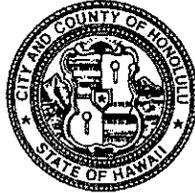
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DEPARTMENT OF PLANNING AND PERMITTING
CITY AND COUNTY OF HONOLULU

650 SOUTH KING STREET, 7TH FLOOR • HONOLULU, HAWAII 96813
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KIRK CALDWELL
MAYOR



GEORGE I. ATTA, FAICP
DIRECTOR

ARTHUR D. CHALLACOMBE
DEPUTY DIRECTOR

2016/ELOG-343(ASK)
2016/ELOG-421

March 8, 2016

Ms. Catie Cullison, AICP
PBR Hawaii and Associates, Inc.
1001 Bishop Street
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

SUBJECT: Pre-Assessment Consultation for a Community Training Kitchen
Ohana Ola O Kahumana Transitional Housing
86-433 Kuwale Road - Waianae
Tax Map Key 6-6-8: 1

This responds to your letter dated February 18, 2016, requesting input related to potential impacts of the Project identified above. We offer the following comments related to preparation of environmental disclosure documents.

The 12.5 acre site is in the AG-1 Restricted Agricultural District and the State Agricultural Land Use District. Development on the property is subject to Chapter 21, Revised Ordinances of Honolulu (ROH) related to zoning and Chapter 205, Hawaii Revised Statutes (HRS). The proposed community training kitchen is not consistent with the requirements of these regulations.

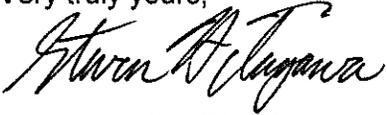
Existing development on the property, including transitional housing and a meeting facility, is subject to the provisions of two Honolulu City Council Resolutions, No. 89-351 and No. 00-198 CD1. These improvements were authorized pursuant to the provisions of Chapter 201E (now 201H), HRS, granting exemptions from various planning, zoning, and development requirements, including Chapter 21, ROH and State Land Use requirement for a Special Use Permit (SUP) pursuant to Chapter 205, HRS.

The proposed development which includes a 7,000-9,000 square foot kitchen facility for vocational training and meal preparation, a smaller instructional kitchen, and community incubator kitchen facility for use by low-income or underemployed residents, associated parking and loading, and new driveway access was not previously described as part of the 201H Project. Therefore, a new City Council Resolution is necessary.

Ms. Catie Cullison
March 8, 2016
Page 2

Should you have any further questions on this matter, please contact Ardis Shaw-Kim of our Regulations and Permits Branch at 768-8021 or ashaw@honolulu.gov.

Very truly yours,


George I. Atta
George I. Atta, FAICP
Director



PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

PRINCIPALS

THOMAS S. WITTEN, FASLA
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CATIE CULLISON, AICP
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ROY TAKEMOTO
Managing Director - Hilo

SCOTT MURAKAMI, ASLA, LEED®AP
Associate

DACHENG DONG, LEED®AP
Associate

MARC SHIMATSU, ASLA
Associate

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Mr. George I. Atta, FAICP
Director
City and County of Honolulu
Department of Planning and Permitting
650 South King Street, 7th Floor
Honolulu, Hawai'i 96813

Attn: Ms. Ardis Shaw-Kim, Regulations and Permits Branch

SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A COMMUNITY TRAINING KITCHEN AT OHANA OLA O KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK 8-6-006:001

Dear Mr. Atta:

Thank you for your letter dated March 8, 2016 [Reference No. 2016/ELOG-343(ASK); 2016/ELOG-421], regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we acknowledge your comments about the subject project and provide the following responses that will be incorporated into the Draft Environmental Assessment (EA):

- We also acknowledge that existing development on the property, including transitional housing and a meeting facility, is subject to the provisions of two Honolulu City Council Resolutions, No. 89-351 and No. 00-198 CD1, and that these improvements were authorized pursuant to the provisions of Chapter 201E (now 201H), HRS, granting exemptions from various planning, zoning, and development requirements, including Chapter 21, ROH and State Land Use requirement for a Special Use Permit (SUP) pursuant to Chapter 205, HRS. A new 201H application for the community facility will be submitted to your department upon completion of the Environmental Assessment.
- In our initial letter dated February 18, 2016, we had stated that the proposed development would include a 7,000-9,000 square foot kitchen facility for vocational training and meal preparation, a smaller instructional kitchen, and community incubator kitchen facility for use by low-income or underemployed residents, associated parking and loading, and new driveway access. However, the scope of the project has since been reduced, such that the incubator kitchen and training kitchen have been eliminated, and the square footage has been reduced to 2,800-3,000 square feet. This puts the project in line with the definitions provided by 201H for "community facilities".

We appreciate your participation in the environmental review process. Your letter will be included in the Draft EA.

Sincerely,

PBR HAWAII

Catie Cullison
Senior Associate

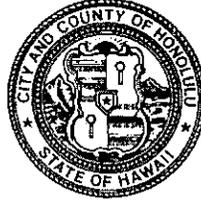
Cc: Steve Karel, Honolulu Department of Community Services
Tom McDonald, Alternative Structures, Inc.

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DEPARTMENT OF PARKS & RECREATION
CITY AND COUNTY OF HONOLULU

1000 Uluohia Street, Suite 309, Kapolei, Hawaii 96707
Phone: (808) 768-3003 • Fax: (808) 768-3053
Website: www.honolulu.gov

KIRK CALDWELL
MAYOR



MICHELE K. NEKOTA
DIRECTOR

JEANNE C. ISHIKAWA
DEPUTY DIRECTOR

March 4, 2016

Ms. Catie Cullison, AICP
PBR Hawaii & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

SUBJECT: Pre-Assessment Consultation for a Community Training Kitchen
at Ohana Ola O Kahumana
86-600 Lualualei Homestead Road, Waianae, Oahu
TMK: 8-6-006:001

Thank you for the opportunity to review and comment at the Pre-Assessment Consultation stage of the proposed Community Training Kitchen at Ohana O Kahumana.

The Department of Parks and Recreation has no comment as the proposed project will have no impact on any of our programs or facilities. You may remove us as a consulted party to the balance of the EIS process.

Should you have any questions, please contact John Reid, Planner at 768-3017.

Sincerely,

A handwritten signature in black ink, appearing to read "Michele K. Nekota".

Michele K. Nekota
Director

MKN:jr
(642518)



PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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Associate

DACHENG DONG, LEED®AP
Associate

MARC SHIMATSU, ASLA
Associate

Ms. Michele K. Nekota, Director
City and County of Honolulu
Department of Parks & Recreation
1000 Uluohia Street, Suite 309
Kapolei, Hawai'i 96707

ATTN: Mr. John Reid, Planner

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A
COMMUNITY TRAINING KITCHEN AT OHANA OLA O
KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK
8-6-006:001**

Dear Ms. Nekota:

Thank you for your letters dated March 1 and March 4, 2016, regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your participation in the environmental review process, and your input that your Department has no comment and does not anticipate any significant impact on your programs and facilities. Your letter will be included in the Draft Environmental Assessment (EA), and as requested, your Department will be removed as a consulted party for the balance of the EA process.

Sincerely,

PBR HAWAII

Catie Cullison
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services
Tom McDonald, Alternative Structures, Inc.

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DEPARTMENT OF TRANSPORTATION SERVICES
CITY AND COUNTY OF HONOLULU

650 SOUTH KING STREET, 3RD FLOOR
HONOLULU, HAWAII 96813
Phone: (808) 768-8305 • Fax: (808) 768-4730 • Internet: www.honolulu.gov

KIRK CALDWELL
MAYOR



MICHAEL D. FORMBY
DIRECTOR

MARK N. GARRITY, AICP
DEPUTY DIRECTOR

TP2/16-643389R

March 7, 2016

Ms. Catie Cullison, AICP
Planner
PBR Hawaii & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

SUBJECT: Pre-Assessment Consultation Draft Environmental Assessment (DEA), Community Training Kitchen at Ohana Ola O Kahumana, Waianae, Oahu, Hawaii

In response to your revised letter dated February 18, 2016, we have the following comments:

1. The DEA should discuss how the proposed use (commercial kitchen) is consistent with the underlying zoning (AG-1 Restricted Agricultural).
2. The DEA should discuss any short-term traffic impacts the project may have on any surrounding City roadways and measures to mitigate these impacts by applying complete streets principles.
3. All access driveways to the project site should be designed with the highest pedestrian and bicycle safety measures.
4. On-site bike racks and secure bike storage for the residents, employees and visitors should be included.
5. All parking needs for the proposed facility (residents, employees and visitors) should be handled on-site.
6. All loading and unloading needs, including service delivery vehicles should be handled on-site, rather than on City roadways. In addition, the project should be designed to accommodate TheHandi-Van paratransit vehicles

on-site, which require a minimum 31-foot turning radius and a 10-foot, 6-inch height clearance.

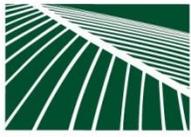
7. Any damage to the existing roadway area caused by the project should be restored to its original condition or better.
8. The area Neighborhood Board, as well as the area residents, businesses, emergency personnel (fire, ambulance and police), Oahu Transit Services, Inc. (TheBus), etc., should be kept apprised of the details of the proposed project and the impacts that the project may have on the adjoining local street area network.
9. Construction notes should include the following note regarding transit services:

"This project may affect bus routes, bus stop, and paratransit operations, therefore, the Contractor shall notify the Department of Transportation Services, Public Transit Division at 768-8396 and Oahu Transit Services, Inc. (bus operations: 848-4578 or 852-6016 and paratransit operations: 454-5041 or 454-5020) of the scope of work, location, proposed closure of any street, traffic lane, sidewalk, or bus stop and duration of project **at least two weeks prior to construction.**"
10. Construction materials and equipment should be transferred to and from the project site during off-peak traffic hours (8:30 a.m. to 3:30 p.m.) to minimize any possible disruption to traffic on the local streets.
11. A street usage permit from the City's Department of Transportation Services should be obtained for any construction-related work that may require the temporary closure of any traffic lane on a City street.

Thank you for the opportunity to review this matter. Should you have any questions, please contact Renee Yamasaki of my staff at 768-8383.

Very truly yours,


Michael D. Formby
Director



July 27, 2016

PRINCIPALS

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Chairman

R. STAN DUNCAN, ASLA
President

RUSSELL Y. J. CHUNG, FASLA, LEED®AP BD+C
Executive Vice-President

VINCENT SHIGEKUNI
Vice-President

GRANT T. MURAKAMI, AICP, LEED®AP BD+C
Vice-President

TOM SCHNELL, AICP
Principal

KIMI MIKAMI YUEN, LEED®AP BD+C
Principal

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Chairman Emeritus

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Senior Associate

CATIE CULLISON, AICP
Senior Associate

ROY TAKEMOTO
Managing Director - Hilo

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Associate

DACHENG DONG, LEED®AP
Associate

MARC SHIMATSU, ASLA
Associate

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Mr. Michael D. Formby, Director
City and County of Honolulu
Department of Transportation Services
650 South King Street, 3rd Floor
Honolulu, Hawai'i 96813

ATTN: Ms. Renee Yamasaki

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A
COMMUNITY TRAINING KITCHEN AT OHANA OLA O
KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK
8-6-006:001**

Dear Mr. Formby:

Thank you for your letter dated March 7, 2016, regarding the subject project. The Draft Environmental Assessment (EA) will address comments from your Department as follows:

1. The Draft EA will discuss how the proposed use (commercial kitchen) is consistent with the underlying zoning (AG-1 Restricted Agricultural).
2. The Draft EA will discuss any short-term traffic impacts the project may have on any surrounding City roadways and measures to mitigate these impacts by applying complete streets principles. Please note that the primary traffic minimization measure will be to incorporate pedestrian walkways internal to the site, minimizing the need for residents of Ohana Ola to walk on Kuwale Road which has no sidewalks.
3. All access driveways to the project site will be designed with the highest pedestrian and bicycle safety measures.
4. On-site bike racks and secure bike storage for the residents, employees, and visitors will be included.
5. All parking needs for the proposed facility (residents, employees, and visitors) will be handled on-site.
6. All loading and unloading needs will be handled on-site, rather than on City roadways. The project will also be designed to accommodate TheHandi-Van paratransit vehicles on-site, which require a minimum 31-foot turning radius and a 10-foot, 6-inch height clearance.
7. Any damage to the existing roadway area caused by the project will be restored to its original condition or better.

July 27, 2016

Mr. Michael D. Formby, Director

SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A COMMUNITY TRAINING KITCHEN AT OHANA OLA O KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK 8-6-006:001

Page 2 of 2

8. The Wai'anae Neighborhood Board, as well as the area residents, businesses, emergency personnel, Oahu Transit Services, Inc. (TheBus), etc., will be kept apprised of the details of the proposed project and the impacts that the project may have on the adjoining local street area network.
9. Construction notes will include the following note regarding transit services:

"This project may affect bus routes, bus stop, and paratransit operations, therefore, the Contractor shall notify the Department of Transportation Services, Public Transit Division at 768-8396 and Oahu Transit Services, Inc. (bus operations: 848-4578 or 852-6016 and paratransit operations: 454-5041 or 454-5020) of the scope of work, location, proposed closure of any street, traffic lane, sidewalk, or bus stop and duration of project **at least two weeks prior to construction.**"
10. Construction materials and equipment will be transferred to and from the project site during off-peak traffic hours (8:30 a.m. to 3:30 p.m.) to minimize any possible disruption to traffic on the local streets.
11. A street usage permit from the City's Department of Transportation Services will be obtained for any construction-related work that may require the temporary closure of any traffic lane on a City street.

As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your participation in the environmental review process. Your letter will be included in the Draft EA.

Sincerely,

PBR HAWAII



Catie Cullison
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services
Tom McDonald, Alternative Structures, Inc.

HONOLULU FIRE DEPARTMENT
CITY AND COUNTY OF HONOLULU

636 South Street
Honolulu, Hawaii 96813-5007
Phone: 808-723-7139 Fax: 808-723-7111 Internet: www.honolulu.gov/hfd

KIRK CALDWELL
MAYOR



MANUEL P. NEVES
FIRE CHIEF

LIONEL CAMARA JR.
DEPUTY FIRE CHIEF

February 29, 2016

Ms. Catie Cullison, AICP
PBR HAWAII & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

Subject: Preassessment Consultation for a Community Training Kitchen at Ohana
Ola O Kahumana
86-433 Kuwale Road
Tax Map Key: 8-6-006: 001

In response to your letter dated February 18, 2016, regarding the above-mentioned subject, the Honolulu Fire Department will apply Chapter 50 Commercial Cooking Equipment of the Fire Code of the City and County of Honolulu and other pertinent chapters of the Fire Code during the plan review.

Should you have questions, please contact Battalion Chief Terry Seelig of our Fire Prevention Bureau at 723-7151 or tseelig@honolulu.gov.

Sincerely,


SOCRATES D. BRATAKOS
Assistant Chief

SDB/SY:bh



PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

PRINCIPALS

THOMAS S. WITTEN, FASLA
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TOM SCHNELL, AICP
Principal

KIMI MIKAMI YUEN, LEED®AP BD+C
Principal

W. FRANK BRANDT, FASLA
Chairman Emeritus

Mr. Socrates D. Bratakos
Assistant Chief
City and County of Honolulu
Honolulu Fire Department
636 South Street
Honolulu, Hawai'i 96813

ATTN: Battalion Chief Terry Seelig, Fire Prevention Bureau

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A
COMMUNITY TRAINING KITCHEN AT OHANA OLA O
KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK
8-6-006:001**

Dear Mr. Bratakos:

Thank you for your letter dated February 29, 2016, regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your participation in the environmental review process, and your input that your Department will apply Chapter 50 Commercial Cooking Equipment of the Fire Code of the City and County of Honolulu and other pertinent chapters of the Fire Code during the plan review. Your letter will be included in the Draft Environmental Assessment (EA).

Sincerely,

PBR HAWAII

Catie Cullison
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services
Tom McDonald, Alternative Structures, Inc.

HONOLULU OFFICE

1001 Bishop Street, Suite 650
Honolulu, Hawai'i 96813-3484
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E-mail: sysadmin@pbrhawaii.com

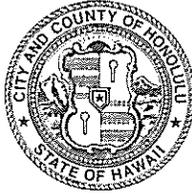
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POLICE DEPARTMENT
CITY AND COUNTY OF HONOLULU

801 SOUTH BERETANIA STREET · HONOLULU, HAWAII 96813
TELEPHONE: (808) 529-3111 · INTERNET: www.honolulupd.org



KIRK CALDWELL
MAYOR

LOUIS M. KEALOHA
CHIEF

MARIE A. McCAULEY
CARY OKIMOTO
DEPUTY CHIEFS

OUR REFERENCE MT-DK

March 1, 2016

Ms. Catie Cullison
PBR HAWAII & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3483

Dear Ms. Cullison:

This is in response to your letter of February 18, 2016, requesting comments on the Revised Pre-Assessment Consultation for a community training kitchen at Ohana Ola O Kahumana in Waianae.

Based on the information provided, this project should have no significant impact on the services or operations of the Honolulu Police Department at this time.

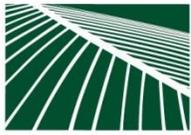
If there are any questions, please call Major Kurt Kendro District 8 (Kapolei) at 723-8403.

Thank you for the opportunity to review this project.

Sincerely,

LOUIS M. KEALOHA
Chief of Police

By 
MARK TSUYEMURA
Management Analyst VI
Office of the Chief



PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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Principal

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Mr. Louis M. Kealoha
Chief of Police
City and County of Honolulu
Police Department
801 South Beretania Street
Honolulu, Hawai'i 96813

ATTN: Major Kurt Kendro, District 8 (Kapolei)

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A
COMMUNITY TRAINING KITCHEN AT OHANA OLA O
KAHUMANA, 86-433 KUWALE RD., WAI'ANAЕ, O'AHU, TMK
8-6-006:001**

Dear Chief Kealoha:

Thank you for your letter dated February 17, 2016 (reference MT-DK), regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your participation in the environmental review process, and your input that your Department does not anticipate any significant impact on the services or operations of the Honolulu Police Department at this time. Your letter will be included in the Draft Environmental Assessment (EA).

Sincerely,

PBR HAWAII

Catie Cullison
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services
Tom McDonald, Alternative Structures, Inc.

HONOLULU OFFICE

1001 Bishop Street, Suite 650
Honolulu, Hawai'i 96813-3484
Tel: (808) 521-5631
Fax: (808) 523-1402
E-mail: sysadmin@pbrhawaii.com

HILO OFFICE

1719 Haleloke Street
Hilo, Hawai'i 96720-1553
Tel/Cel: (808) 315-6878

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From: [Liu, Rouen](#)
To: [Catie Cullison](#)
Subject: FW: Community Training Kitchen at Ohana Ola O Kahumanu - Draft EA pre assessment consultation
Date: Friday, February 26, 2016 3:17:49 PM

Dear Ms. Cullison,

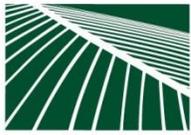
Thank you for the opportunity to comment on the subject project. Hawaiian Electric Company has no objection to the project. Should HECO have existing easements and facilities on the subject property, we will need continued access for maintenance of our facilities.

We appreciate your efforts to keep us apprised of the subject project in the planning process. As the proposed training kitchen project comes to fruition, please continue to keep us informed. Further along in the design, we will be better able to evaluate the effects on our system facilities.

If you have any questions, please call me at 1-808-543-7245.

Sincerely,
Rouen Q. W. Liu
Permits Engineer
Hawaiian Electric Company, Inc.
Tel: (808) 543-7245
Email: Rouen.liu@hawaiianelectric.com

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& ASSOCIATES, INC.

July 27, 2016

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CATIE CULLISON, AICP
Senior Associate

ROY TAKEMOTO
Managing Director - Hilo

SCOTT MURAKAMI, ASLA, LEED® AP
Associate

DACHENG DONG, LEED® AP
Associate

MARC SHIMATSU, ASLA
Associate

Rouen Q. W. Liu, Permits Engineer
Hawaiian Electric Company, Inc.
Engineering Department (Mail Stop: WA2-BA)
P.O. Box 2750
Honolulu, Hawai'i 96840

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A
COMMUNITY TRAINING KITCHEN AT OHANA OLA O
KAHUMANA, 86-433 KUWALE RD., WAI'ANAЕ, O'AHU, TMK
8-6-006:001**

Dear Rouen Liu:

Thank you for your e-mail dated February 26, 2016, regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your input that Hawaiian Electric Company, Inc. (HECO) has no objection to the subject project and that, should HECO have existing easements and facilities on the subject property, HECO will need continued access for maintenance of their facilities. We thank you for your participation in the environmental review process, and will continue to keep you informed of the subject project. Your letter will be included in the Draft Environmental Assessment (EA).

Sincerely,

PBR HAWAII

Catie Cullison
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services
Tom McDonald, Alternative Structures, Inc.

HONOLULU OFFICE
1001 Bishop Street, Suite 650
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DAVID Y. IGE
GOVERNOR



DOUGLAS MURDOCK
Comptroller

AUDREY HIDANO
Deputy Comptroller

STATE OF HAWAII
DEPARTMENT OF ACCOUNTING AND GENERAL SERVICES

P.O. BOX 119, HONOLULU, HAWAII 96810-0119

FEB 22 2016

(P)1031.6

Ms. Catie Cullison
PBR Hawaii & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

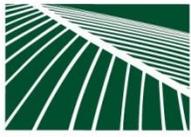
Subject: Pre-Assessment Consultation for
Community Training Kitchen at Ohana Ola O Kahumana
86-600 Lualualei Homestead Road, Waianae, Oahu
TMK: 8-6-001: 001

Thank you for the opportunity to comment on the subject project. We have no comments to offer at this time as the proposed project does not impact any of the Department of Accounting and General Services' projects or existing facilities.

If you have any questions, your staff may please contact Ms. Gayle Takasaki of the Public Works Division at 586-0584.

Sincerely,


fcp DOUGLAS MURDOCK
Comptroller



PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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Senior Associate

CATIE CULLISON, AICP
Senior Associate

ROY TAKEMOTO
Managing Director - Hilo

SCOTT MURAKAMI, ASLA, LEED®AP
Associate

DACHENG DONG, LEED®AP
Associate

MARC SHIMATSU, ASLA
Associate

Mr. Douglas Murdock, Comptroller
State of Hawai'i
Department of Accounting and General Services
P.O. Box 119
Honolulu, Hawai'i 96810-0119

ATTN: Ms. Gayle Takasaki, Public Works Division

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A
COMMUNITY TRAINING KITCHEN AT OHANA OLA O
KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK
8-6-006:001**

Dear Mr. Murdock:

Thank you for your letter dated February 22, 2016 (reference number (P)1031.6), regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your participation in the environmental review process, and your input that your Department has no comment to offer at this time as the proposed project does not impact any of your Department's projects or existing facilities. Your letter will be included in the Draft Environmental Assessment (EA).

Sincerely,

PBR HAWAII

Catie Cullison
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services
Tom McDonald, Alternative Structures, Inc.

HONOLULU OFFICE

1001 Bishop Street, Suite 650
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DAVID Y. IGE
GOVERNOR



CRAIG K. HIRAI
EXECUTIVE DIRECTOR

STATE OF HAWAII

DEPARTMENT OF BUSINESS, ECONOMIC DEVELOPMENT AND TOURISM
HAWAII HOUSING FINANCE AND DEVELOPMENT CORPORATION

677 QUEEN STREET, SUITE 300
Honolulu, Hawaii 96813
FAX: (808) 587-0600

IN REPLY REFER TO:

16:PEO/09

February 22, 2016

PBR Hawaii & Associates, Inc.
Attn: Catie Cullison, AICP
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

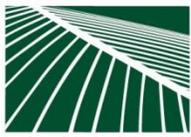
Re: Pre-Assessment Consultation for a Community Training Kitchen at Ohana Ola O
Kahumana, 86-600 Lualualei Homestead Road, Waianae, Oahu, TMK 8-6-001:001

Thank you for seeking our comments for the preparation of a draft Environmental Assessment for the proposed Community Training Kitchen at Ohana Ola O Kahumana, 86-600 Lualualei Homestead Road, Waianae, Oahu.

We have no housing-related comments to offer at this time.

Sincerely,

Craig K. Hirai
Executive Director



PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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ROY TAKEMOTO
Managing Director - Hilo

SCOTT MURAKAMI, ASLA, LEED®AP
Associate

DACHENG DONG, LEED®AP
Associate

MARC SHIMATSU, ASLA
Associate

Mr. Craig K. Hirai, Executive Director
State of Hawai'i
Department of Business, Economic Development and Tourism
Hawai'i Housing Finance and Development Corporation
677 Queen Street, Suite 300
Honolulu, Hawai'i 96813

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A
COMMUNITY TRAINING KITCHEN AT OHANA OLA O
KAHUMANA, 86-433 KUWALE RD., WAI'ANAЕ, O'AHU, TMK
8-6-006:001**

Dear Mr. Hirai:

Thank you for your letter dated February 22, 2016 (reference number 16:PEO/09), regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your participation in the environmental review process, and your input that your Department has no housing-related comments to offer at this time. Your letter will be included in the Draft Environmental Assessment (EA).

Sincerely,

PBR HAWAII

Catie Cullison
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services
Tom McDonald, Alternative Structures, Inc.

HONOLULU OFFICE

1001 Bishop Street, Suite 650
Honolulu, Hawai'i 96813-3484
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GOVERNOR



RACHAEL WONG, DrPH
DIRECTOR

PANKAJ BHANOT
DEPUTY DIRECTOR

STATE OF HAWAII
DEPARTMENT OF HUMAN SERVICES
Benefit, Employment & Support Services Division
820 Mililani Street, Suite 606
Honolulu, Hawaii 96813

March 23, 2016

Re: 16-0107

PBR Hawaii and Associates, Inc.
Attn: Catie Cullison
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

Subject: Revised Pre-Assessment Consultation for a Community Training Kitchen at
Ohana Ola O Kahumana, 86-433 Kuwale Road, Wai'anae, Oahu,
TMK 8-6-006:001

This is in response to your letter dated February 18, 2016 revising your original letter dated February 8, 2016 that requested the Department of Human Services (DHS) review and comment on any impact the proposed community training kitchen facility project could have on plans, projects, policies or programs the DHS may have. The only revisions in your letter were to the address which changed from Lualualei Homestead Road to Kuwale Road and the TMK number which changed from 8-6-001:001 to 8-6-006:001.

As the site map enclosed in your latest request is the same as the one included in your previous letter and had been reviewed along with the DHS child care licensing system and Google Maps, the DHS has no comment on the proposed project.

If you have any questions or need further information, please contact Ms. Jill Arizumi, Child Care Program Specialist, at (808) 586-5240.

Sincerely,

Scott Nakasone
Assistant Division Administrator

cc: Rachael Wong, DrPH, Director



PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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Scott Nakasone
Assistant Division Administrator
State of Hawai'i
Department of Human Services
Benefit, Employment & Support Services Division
820 Mililani Street, Suite 606
Honolulu, Hawai'i 96813

ATTN: Ms. Jill Arizumi, Child Care Program Specialist

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A
COMMUNITY TRAINING KITCHEN AT OHANA OLA O
KAHUMANA, 86-433 KUWALE RD., WAI'ANAЕ, O'AHU, TMK
8-6-006:001**

ASSOCIATES

RAYMOND T. HIGA, ASLA
Senior Associate

CATIE CULLISON, AICP
Senior Associate

ROY TAKEMOTO
Managing Director - Hilo

SCOTT MURAKAMI, ASLA, LEED®AP
Associate

DACHENG DONG, LEED®AP
Associate

MARC SHIMATSU, ASLA
Associate

Dear Mr. Hirai:

Thank you for your letters dated February 29, 2016 (reference number 16-0067), and March 23, 2016 (reference number 16-0107), regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your participation in the environmental review process, and your input that your Department has no comment to offer at this time. Your letter will be included in the Draft Environmental Assessment (EA).

Sincerely,

PBR HAWAII

Catie Cullison
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services
Tom McDonald, Alternative Structures, Inc.

HONOLULU OFFICE

1001 Bishop Street, Suite 650
Honolulu, Hawai'i 96813-3484
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Fax: (808) 523-1402
E-mail: sysadmin@pbrhawaii.com

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DAVID Y. IGE
GOVERNOR OF HAWAII



SUZANNE D. CASE
CHAIRPERSON
BOARD OF LAND AND NATURAL RESOURCES
COMMISSION ON WATER RESOURCE
MANAGEMENT

STATE OF HAWAII
DEPARTMENT OF LAND AND NATURAL RESOURCES
LAND DIVISION

POST OFFICE BOX 621
HONOLULU, HAWAII 96809

March 17, 2016

PBR Hawaii & Associates, Inc.
Attention: Ms. Catie Cullison
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484

via email: ccullison@pbrhawaii.com

Dear Ms. Cullison:

SUBJECT: Revised Pre-Assessment Consultant for the a Community Training Kitchen at Ohana Ola O Kahumana

Thank you for the opportunity to review and comment on the subject matter. The Department of Land and Natural Resources' (DLNR) Land Division distributed or made available a copy of your report pertaining to the subject matter to DLNR Divisions for their review and comments.

At this time, enclosed are comments from the (a) Engineering Division and (b) Land Division – Oahu District on the subject matter. Should you have any questions, please feel free to call Lydia Morikawa at 587-0410. Thank you.

Sincerely,

A handwritten signature in blue ink, appearing to read "Russell Y. Tsuji".

Russell Y. Tsuji
Land Administrator

Enclosure(s)
cc: Central Files



PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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Principal

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Chairman Emeritus

Mr. Russell Y. Tsuji
Land Administrator
State of Hawai'i
Department of Land and Natural Resources
Land Division
P.O. Box 621
Honolulu, Hawai'i 96809

Attn: Lydia Morikawa

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A
COMMUNITY TRAINING KITCHEN AT OHANA OLA O
KAHUMANA, 86-433 KUWALE RD., WAI'ANAЕ, O'AHU, TMK
8-6-006:001**

Dear Mr. Tsuji:

Thank you for your letter dated March 17, 2016, regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we provide the following responses to the comments from the Department of Land and Natural Resources (DLNR) Divisions listed below:

1. **Engineering Division.** We acknowledge the Engineering Division's comments that the project site, according to the Flood Insurance Rate Map (FIRM), is located in Zone D, and that the project must comply with the rules and regulations of the National Flood Insurance Program (NFIP) presented in Title 44 of the Code of Federal Regulations (44CFR), whenever development within a Special Flood Hazard Area is undertaken. This information will be noted in the Draft Environmental Assessment (EA).
2. **Land Division – O'ahu District.** We acknowledge that the Land Division – O'ahu District has no comments.

We value your participation in the environmental review process. Your letter will be included in the Draft EA. We will send you a copy of the Draft EA when it is available.

Sincerely,

PBR HAWAII

Catie Cullison
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services
Tom McDonald, Alternative Structures, Inc.

HONOLULU OFFICE

1001 Bishop Street, Suite 650
Honolulu, Hawai'i 96813-3484
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STATE OF HAWAII
DEPARTMENT OF LAND AND NATURAL RESOURCES
COMMISSION ON WATER RESOURCE MANAGEMENT
P.O. BOX 621
HONOLULU, HAWAII 96809

March 14, 2016

REF: RFD.4341.3

TO: Catie Cullison, AICP
PBR Hawaii & Associates, Inc.

FROM: Jeffrey T. Pearson, P.E., Deputy Director 
Commission on Water Resource Management

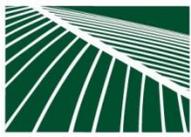
SUBJECT: Revised Pre-Assessment Consultation for a Community Training Kitchen at Ohana Ola O
Kahumana, 86-433 Kuwale Rd., Waianae, Oahu

FILE NO.: RFD.4341.3
TMK NO.: 8-6-006:001

Thank you for the opportunity to review the subject document. The Commission on Water Resource Management (CWRM) is the agency responsible for administering the State Water Code (Code). Under the Code, all waters of the State are held in trust for the benefit of the citizens of the State, therefore all water use is subject to legally protected water rights. CWRM strongly promotes the efficient use of Hawaii's water resources through conservation measures and appropriate resource management. For more information, please refer to the State Water Code, Chapter 174C, Hawaii Revised Statutes, and Hawaii Administrative Rules, Chapters 13-167 to 13-171. These documents are available via the Internet at <http://dlnr.hawaii.gov/cwrm>.

Our comments related to water resources are checked off below.

1. We recommend coordination with the county to incorporate this project into the county's Water Use and Development Plan. Please contact the respective Planning Department and/or Department of Water Supply for further information.
2. We recommend coordination with the Engineering Division of the State Department of Land and Natural Resources to incorporate this project into the State Water Projects Plan.
3. We recommend coordination with the Hawaii Department of Agriculture (HDOA) to incorporate the reclassification of agricultural zoned land and the redistribution of agricultural resources into the State's Agricultural Water Use and Development Plan (AWUDP). Please contact the HDOA for more information.
4. We recommend that water efficient fixtures be installed and water efficient practices implemented throughout the development to reduce the increased demand on the area's freshwater resources. Reducing the water usage of a home or building may earn credit towards Leadership in Energy and Environmental Design (LEED) certification. More information on LEED certification is available at <http://www.usgbc.org/leed>. A listing of fixtures certified by the EAP as having high water efficiency can be found at <http://www.epa.gov/watersense>.
5. We recommend the use of best management practices (BMP) for stormwater management to minimize the impact of the project to the existing area's hydrology while maintaining on-site infiltration and preventing polluted runoff from storm events. Stormwater management BMPs may earn credit toward LEED certification. More information on stormwater BMPs can be found at <http://hawaii.gov/dbedt/czm/initiative/lid.php>.
6. We recommend the use of alternative water sources, wherever practicable.
7. We recommend participating in the Hawaii Green Business Program, that assists and recognizes businesses that strive to operate in an environmentally and socially responsible manner. The program description can be found online at <http://energy.hawaii.gov/green-business-program>.
8. We recommend adopting landscape irrigation conservation best management practices endorsed by the Landscape Industry Council of Hawaii. These practices can be found online at



PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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TOM SCHNELL, AICP
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KIMI MIKAMI YUEN, LEED® AP BD+C
Principal

W. FRANK BRANDT, FASLA
Chairman Emeritus

Mr. Jeffrey T. Pearson, P.E., Deputy Director
State of Hawai'i
Department of Land and Natural Resources
Commission on Water Resource Management
P.O. Box 621
Honolulu, Hawai'i 96809

Attn: Ms. Lenore Ohye

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A
COMMUNITY TRAINING KITCHEN AT OHANA OLA O
KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK
8-6-006:001**

Dear Mr. Pearson:

ASSOCIATES

RAYMOND T. HIGA, ASLA
Senior Associate

CATIE CULLISON, AICP
Senior Associate

ROY TAKEMOTO
Managing Director - Hilo

SCOTT MURAKAMI, ASLA, LEED® AP
Associate

DACHENG DONG, LEED® AP
Associate

MARC SHIMATSU, ASLA
Associate

Thank you for your letter dated March 14, 2016 (reference number RFD.4341.3), regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your input, and provide the following responses to your comments.

We acknowledge your recommendations to: 1) install water efficient fixtures and implement water efficient practices throughout the development to reduce the increased demand on the area's freshwater resources; and 2) consider using water-efficient commercial equipment which can help to save both water and energy, as well as associated costs. The Draft Environmental Assessment (EA) will include discussions that address these points.

We value your participation in the environmental review process. Your letter will be included in the Draft EA. We will send you a copy of the Draft EA when it is available.

Sincerely,

PBR HAWAII

Catie Cullison
Senior Associate

HONOLULU OFFICE
1001 Bishop Street, Suite 650
Honolulu, Hawai'i 96813-3484
Tel: (808) 521-5631
Fax: (808) 523-1402
E-mail: sysadmin@pbrhawaii.com

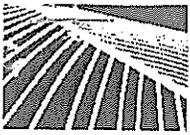
Cc: Steve Karel, Honolulu Department of Community Services
Tom McDonald, Alternative Structures, Inc.

HILO OFFICE
1719 Haleloke Street
Hilo, Hawai'i 96720-1553
Tel/Cel: (808) 315-6878

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- http://www.hawaiiiscape.com/wp-content/uploads/2013/04/LICH_Irrigation_Conservation_BMPs.pdf.
- 9. There may be the potential for ground or surface water degradation/contamination and recommend that approvals for this project be conditioned upon a review by the State Department of Health and the developer's acceptance of any resulting requirements related to water quality.
 - 10. The proposed water supply source for the project is located in a designated water management area, and a Water Use Permit is required prior to use of water. The Water Use Permit may be conditioned on the requirement to use dual line water supply systems for new industrial and commercial developments.
 - 11. A Well Construction Permit(s) is (are) are required before the commencement of any well construction work.
 - 12. A Pump Installation Permit(s) is (are) required before ground water is developed as a source of supply for the project.
 - 13. There is (are) well(s) located on or adjacent to this project. If wells are not planned to be used and will be affected by any new construction, they must be properly abandoned and sealed. A permit for well abandonment must be obtained.
 - 14. Ground-water withdrawals from this project may affect streamflows, which may require an instream flow standard amendment.
 - 15. A Stream Channel Alteration Permit(s) is (are) required before any alteration can be made to the bed and/or banks of a steam channel.
 - 16. A Stream Diversion Works Permit(s) is (are) required before any stream diversion works is constructed or altered.
 - 17. A Petition to Amend the Interim Instream Flow Standard is required for any new or expanded diversion(s) of surface water.
 - 18. The planned source of water for this project has not been identified in this report. Therefore, we cannot determine what permits or petitions are required from our office, or whether there are potential impacts to water resources.
- OTHER: Please consider using water-efficient commercial equipment which can help to save both water and energy, as well as associated costs. Please visit the U.S. Environmental Protection Agency's WaterSense website for commercial kitchens:
<http://www3.epa.gov/watersense/commercial/bmps.html#tabs-kitchens>
- Energy Star products may also save water. Please visit their site at:
https://www.energystar.gov/products/commercial_food_service_equipment

If you have any questions, please contact Lenore Ohye of the Commission staff at 587-0216.



PBR HAWAII
& ASSOCIATES, INC.

RECEIVED
COMMISSION ON WATER
RESOURCE MANAGEMENT

2016 FEB 22 PM 1:25

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Chairman

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President

RUSSELL Y. CHUNG, FASLA, LEED[®] AP BD+C
Executive Vice-President

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TOM SCHNELL, AICP
Principal

W. FRANK BRANDT, FASLA
Chairman Emeritus

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Senior Associate

KIMI MIKAMI YUEN, LEED[®] AP BD+C
Senior Associate

ROY TAKEMOTO
Managing Director - Hilo

SCOTT MURAKAMI, ASLA, LEED[®] AP
Associate

DACHENG DONG, LEED[®] AP
Associate

MARC SHIMATSU, ASLA
Associate

CATIE CULLISON, AICP
Associate

February 18, 2016

Mr. Jeffrey Pearson Deputy Director
State of Hawaii CWRM
Kalanimoku Building
1151 Punchbowl Street
Honolulu, HI 96809

SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A COMMUNITY TRAINING KITCHEN AT OHANA OLA O KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK 8-6-006:001

Dear Mr. Pearson,

Alternative Structures International, doing business as Kahumana, is proposing to develop a community training kitchen facility on City and County of Honolulu-owned property located at 86-433 Kuwale Rd., Wai'anae, O'ahu (see enclosed location map).

The kitchen is proposed on TMK 8-6-006:001, an approximately 12.5 acre parcel of land that is currently developed with transitional housing operated by Alternative Structures International called Ohana Ola O Kahumana. The kitchen is needed to maintain and expand Kahumana's vocational training program for homeless, extremely low-income, and developmentally disabled residents, while maintaining and increasing Kahumana's meal preparation for underprivileged children. The proposed development is expected to include a 7,000-9,000 square foot kitchen facility that is anticipated to house a central kitchen for vocational training and meal preparation program, a smaller instructional kitchen, and community incubator kitchen facilities for use by low-income or underemployed residents working to develop food-based micro-enterprises, associated parking and loading areas, and a new driveway access on Kuwale Road. Federal funds may be sought to fund a portion of the kitchen facility.

The project's use of County lands and the potential use of federal funds triggers State Environmental Impact Statement law (Chapter 343, HRS) and environmental documentation consistent with the National Environmental Policy Act (NEPA). On behalf of Kahumana, PBR HAWAII will be preparing environmental documentation for the proposed improvements.

We seek your input as to whether the proposed community kitchen may have an impact on any of your existing or proposed projects, plans, policies, or programs that we should consider when preparing the EA. Please send us any comments by **March 19, 2016**. You may mail your comments to:

HONOLULU OFFICE
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484
Tel: (808) 521-5631
Fax: (808) 523-1402
E-mail: sysadmin@pbr-hawaii.com

PBR HAWAII & Associates, Inc.
Attn: Catie Cullison
1001 Bishop Street, Suite 650
Honolulu, HI 96813-3484

HILO OFFICE
1719 Haleleke Street
Hilo, Hawaii 96720-1553
Tel/Cel: (808) 315-6878

Sincerely,
PBR HAWAII

Catie Cullison, AICP
Planner
Encl.

FILE ID:	RFD. 43463
DOC ID:	13830

DAVID Y. IGE
GOVERNOR OF HAWAII



SUZANNE D. CASE
CHAIRPERSON
BOARD OF LAND AND NATURAL RESOURCES
COMMISSION ON WATER RESOURCE MANAGEMENT



STATE OF HAWAII
DEPARTMENT OF LAND AND NATURAL RESOURCES
LAND DIVISION

POST OFFICE BOX 621
HONOLULU, HAWAII 96809

February 23, 2016

MEMORANDUM

16 FEB 25 AM 10:34 ENGINEERING

TO: *FR*

DLNR Agencies:

- Div. of Aquatic Resources
- Div. of Boating & Ocean Recreation
- Engineering Division**
- Div. of Forestry & Wildlife
- Div. of State Parks
- Commission on Water Resource Management
- Office of Conservation & Coastal Lands
- Land Division – Oahu District
- Historic Preservation

FROM: *TD*

Russell Y. Tsuji, Land Administrator
REVISIED Pre-assessment consultation for a community training kitchen at Ohana Ola O Kahumana, 86-433 Kuwale Road

LOCATION: Lualualei Homesteads, Waianae, Oahu; TMK: (1) 8-6-006:001
APPLICANT: Alternative Structures International

RECEIVED
LAND DIVISION
2016 MAR -2 PM 12:00
DEPT. OF LAND & NATURAL RESOURCES
STATE OF HAWAII

Transmitted for your review and comment is information on the above-referenced project. We would appreciate your comments on this project. Please submit any comments by March 7, 2016.

If no response is received by this date, we will assume your agency has no comments. If you have any questions about this request, please contact Lydia Morikawa at 587-0410. Thank you.

- We have no objections.
- We have no comments.
- Comments are attached.

Signed:

Print name: Carty S. Chang, Chief Engineer

Date: 3/1/16

cc: Central Files

**DEPARTMENT OF LAND AND NATURAL RESOURCES
ENGINEERING DIVISION**

LD/ Russell Y. Tsuji

Ref.: **REVISED** Pre-assessment consultation for a community training kitchen at Ohana Ola O
Kahumana, 86-433 Kuwale Road
Oahu.018

COMMENTS

- () We confirm that the project site, according to the Flood Insurance Rate Map (FIRM), is located in Flood Zone ____.
- (X) **According to the Flood Insurance Rate Map (FIRM), the project site is located in Zones D. The National Flood Insurance Program regulates developments within Zones D. Applicable regulations are indicated in bold letters below.**
- () The correct Flood Zone Designation for the project site according to the Flood Insurance Rate Map (FIRM) is ____.
- (X) **The project must comply with the rules and regulations of the National Flood Insurance Program (NFIP) presented in Title 44 of the Code of Federal Regulations (44CFR), whenever development within a Special Flood Hazard Area is undertaken. If there are any questions, please contact the State NFIP Coordinator, Ms. Carol Tyau-Beam, of the Department of Land and Natural Resources, Engineering Division at (808) 587-0267.**

Be advised that 44CFR indicates the minimum standards set forth by the NFIP. Your Community's local flood ordinance may prove to be more restrictive and thus take precedence over the minimum NFIP standards. If there are questions regarding the local flood ordinances, please contact the applicable County NFIP Coordinators below:

- (X) **Mr. Mario Siu Li at (808) 768-8098 of the City and County of Honolulu, Department of Planning and Permitting.**
- () Mr. Carter Romero (Acting) at (808) 961-8943 of the County of Hawaii, Department of Public Works.
- () Mr. Carolyn Cortez at (808) 270-7253 of the County of Maui, Department of Planning.
- () Mr. Stanford Iwamoto at (808) 241-4846 of the County of Kauai, Department of Public Works.
- () The applicant should include project water demands and infrastructure required to meet water demands. Please note that the implementation of any State-sponsored projects requiring water service from the Honolulu Board of Water Supply system must first obtain water allocation credits from the Engineering Division before it can receive a building permit and/or water meter.
- () The applicant should provide the water demands and calculations to the Engineering Division so it can be included in the State Water Projects Plan Update.
- () Additional Comments: _____

- () Other: _____

Should you have any questions, please call Mr. Rodney Shiraishi of the Planning Branch at 587-0258.

Signed: _____
CARTY S. CHANG, CHIEF ENGINEER

Date: 3/11/14



Flood Hazard Assessment Report

www.hawaiiifip.org

Ohana Ola O Kahumana

Property Information

COUNTY: HONOLULU _____
 TMK NO: (1) 8-6-006:001 _____
 WATERSHED: MAILILI _____
 PARCEL ADDRESS: 86-704 LUALUALEI HMSTD RD _____
 WAIANAE, HI 96792 _____

Notes:

Flood Hazard Information

FIRM INDEX DATE: NOVEMBER 05, 2014
 LETTER OF MAP CHANGE(S): NONE
 FEMA FIRM PANEL - EFFECTIVE DATE: 15003C0185G - JANUARY 19, 2011
 15003C0205F - PANEL NOT PRINTED

THIS PROPERTY IS WITHIN A TSUNAMI EVACUATION ZONE: NO
 FOR MORE INFO, VISIT: <http://www.scd.hawaii.gov/>

THIS PROPERTY IS WITHIN A DAM EVACUATION ZONE: NO
 FOR MORE INFO, VISIT: <http://dlnreng.hawaii.gov/dam/>



Disclaimer: The Hawaii Department of Land and Natural Resources (DLNR) assumes no responsibility arising from the use, accuracy, completeness, and timeliness of any information contained in this report. Viewers/Users are responsible for verifying the accuracy of the information and agree to indemnify the DLNR, its officers, and employees from any liability which may arise from its use of its data or information.

If this map has been identified as 'PRELIMINARY', please note that it is being provided for informational purposes and is not to be used for flood insurance rating. Contact your county floodplain manager for flood zone determinations to be used for compliance with local floodplain management regulations.

FLOOD HAZARD ASSESSMENT TOOL LAYER LEGEND

(Note: legend does not correspond with NFHL)

SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD - The 1% annual chance flood (100-year), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. SFHAs include Zone A, AE, AH, AO, V, and VE. The Base Flood Elevation (BFE) is the water surface elevation of the 1% annual chance flood. Mandatory flood insurance purchase applies in these zones:

	Zone A: No BFE determined.
	Zone AE: BFE determined.
	Zone AH: Flood depths of 1 to 3 feet (usually areas of ponding); BFE determined.
	Zone AO: Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined.
	Zone V: Coastal flood zone with velocity hazard (wave action); no BFE determined.
	Zone VE: Coastal flood zone with velocity hazard (wave action); BFE determined.
	Zone AEF: Floodway areas in Zone AE. The floodway is the channel of stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without increasing the BFE.

NON-SPECIAL FLOOD HAZARD AREA - An area in a low-to-moderate risk flood zone. No mandatory flood insurance purchase requirements apply, but coverage is available in participating communities.

	Zone XS (X shaded): Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.
	Zone X: Areas determined to be outside the 0.2% annual chance floodplain.

OTHER FLOOD AREAS

	Zone D: Unstudied areas where flood hazards are undetermined, but flooding is possible. No mandatory flood insurance purchase apply, but coverage is available in participating communities.
--	---

DAVID Y. IGE
GOVERNOR OF HAWAII



SUZANNE D. CASE
CHAIRPERSON
BOARD OF LAND AND NATURAL RESOURCES
COMMISSION ON WATER RESOURCE MANAGEMENT



STATE OF HAWAII
DEPARTMENT OF LAND AND NATURAL RESOURCES
LAND DIVISION

POST OFFICE BOX 621
HONOLULU, HAWAII 96809

February 23, 2016

MEMORANDUM

FROM: *TO:*

DLNR Agencies:

- Div. of Aquatic Resources
- Div. of Boating & Ocean Recreation
- Engineering Division
- Div. of Forestry & Wildlife
- Div. of State Parks
- Commission on Water Resource Management
- Office of Conservation & Coastal Lands
- Land Division – Oahu District
- Historic Preservation

DEPT. OF LAND &
NATURAL RESOURCES
STATE OF HAWAII

2016 MAR - 7 AM 7:38

RECEIVED
LAND DIVISION

TO: FROM:

SUBJECT:

Russell Y. Tsuji, Land Administrator
REVISED Pre-assessment consultation for a community training kitchen at
Ohana Ola O Kahumana, 86-433 Kuwale Road

LOCATION: Lualualei Homesteads, Waianae, Oahu; TMK: (1) 8-6-006:001
APPLICANT: Alternative Structures International

Transmitted for your review and comment is information on the above-referenced project. We would appreciate your comments on this project. Please submit any comments by March 7, 2016.

If no response is received by this date, we will assume your agency has no comments. If you have any questions about this request, please contact Lydia Morikawa at 587-0410. Thank you.

- () We have no objections.
- () We have no comments.
- () Comments are attached.

Signed: T. Chee

Print name: Timothy Chee

Date: 2/25/16

cc: Central Files

DAVID Y. IGE
Governor

SHAN S. TSUTSUI
Lt. Governor



SCOTT E. ENRIGHT
Chairperson, Board of Agriculture

PHYLLIS SHIMABUKURO-GEISER
Deputy to the Chairperson

State of Hawaii
DEPARTMENT OF AGRICULTURE
1428 South King Street
Honolulu, Hawaii 96814-2512
Phone: (808) 973-9600 FAX: (808) 973-9613

March 11, 2016

Ms. Catie Cullison, AICP
Planner
PBR Hawaii & Associates, Inc.
1001 Bishop St., Suite 650
Honolulu, Hawaii 96813

Dear Ms. Cullison:

Subject: Pre-Assessment Consultation for a Community Training Kitchen at Ohana Ola O Kahumana, 86-600 Lualualei Homestead R. Waianae, Oahu, TMK: 8-6-001:001

The Hawaii Department of Agriculture (HDOA) has reviewed the February 8, 2016, Pre-assessment consultation request letter from PBR Hawaii (PBR Letter), and the September 15, 2015 letter from Alternative Structures International (Alternative Structures Letter), and offers the following comments.

General Information

Alternative Structures International, dba "Kahumana" (applicant) wants to build a commercial kitchen on 12.38 acres (subject property) that currently houses about 48 formerly homeless families on approximately 5.88 acres of the property. (Alternative Structures Letter). The subject property is zoned as AG-1 (Restricted Agriculture) by the City and is within the Agricultural Boundary according to the Waianae Sustainable Communities Plan. (2012 Waianae Sustainable Communities plan, Appendix A-10). The housing complex was built in 2 phases, the first in 1989 and the second in 2000. (Alternative Structures Letter). Both phases were approved by City Council Resolutions (Resolution 89-351, Resolution 00-198) that exempted them from certain planning, zoning, and development standards.

From the information provided, it seems the purpose of having a commercial kitchen at Kahumana is to: (1) fulfill contracts to prepare meals for underprivileged children; (2) vocational training for homeless/low income/developmentally disabled residents; and (3), synergize with the existing organic farm on one of their other campuses and the planned organic farm in the Ohana Ola campus. (Project Description, p. 2).

Applicant's Proposal

The applicant is currently seeking confirmation from the City Department of Community Services (DCS) and the City Department of Planning and Permitting that they do not need to go through the permitting process, because the exemptions received by the earlier City Council resolutions carry forward to the present proposal. (PBR Letter). In the alternative, the applicant



plans to work with DCS to draft a City Council Resolution exempting the project from certain planning, zoning, and development standards. (Alternative Structures Letter).

Comments and Recommendations

The Department of Agriculture is very concerned about the applicant's plan to claim continued exemption for the proposed project under the earlier City Council resolutions, or to draft a new City Council Resolution in order to exempt the proposed project from the City's standards. The draft environmental assessment (DEA) should explain why this is necessary and identify other options available to seek approval. The Department prefers that Kahumana, a mature and well established entity, go through the normal permitting process which ensures the production of information and facts for review and due diligence by the County and State.

Lands in active agricultural use exist to the north, west, and south of the project site. To the east of the project site, separated by Kuwale road, is a residential complex and a church. The Department notes that in 2015, the applicant has contacted eight landowners and four renters surrounding the Ohana Ola campus to discuss plans for the project site (PBR Letter). The Department recommends that the applicant fully inform the surrounding neighbors on the proposed project and to provide them opportunity to comment.

Additionally, we recommend the DEA fully describe the functional linkage between the proposed commercial kitchen and the agricultural activities within the land the applicant manages in Lualualei Valley. Please include detailed information on the total acreage the applicant currently farms or plans to farm once the commercial kitchen is in operation, the number of workers the applicant plans to hire and/or train for meal preparation, what portion of each meal is planned to be sourced from the applicant's agricultural production, the estimated amount of agricultural products the farms are expected to produce per month, the estimated amount of agricultural products to be used at the proposed commercial kitchen, the list of current and potential clients the meals are being produced for, and a plan to address applicable food safety standards for fresh produce in their meals.

Should you have any questions, please contact Earl Yamamoto at 973-9466, or by email at earl.j.yamamoto@hawaii.gov.

Sincerely,

Scott E. Enright
Chairperson, Board of Agriculture

c: Department of Planning and Permitting, City and County of Honolulu
Department of Community Services, City and County of Honolulu



PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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Principal

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Chairman Emeritus

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Senior Associate

CATIE CULLISON, AICP
Senior Associate

ROY TAKEMOTO
Managing Director - Hilo

SCOTT MURAKAMI, ASLA, LEED® AP
Associate

DACHENG DONG, LEED® AP
Associate

MARC SHIMATSU, ASLA
Associate

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Tel/Cel: (808) 315-6878

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Mr. Scott E. Enright
Chairperson, Board of Agriculture
State of Hawai'i
Department of Agriculture
1428 South King Street
Honolulu, Hawai'i 96814-2512

Attn: Mr. Earl Yamamoto

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A
COMMUNITY TRAINING KITCHEN AT OHANA OLA O
KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK
8-6-006:001**

Dear Mr. Enright:

Thank you for your letter dated March 11, 2016, regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your input, and provide the following responses:

- Please note that the project description has since been revised, such that the incubator kitchen and training kitchen have been eliminated from the proposed project. There is now only one kitchen, which will provide job training to people primarily from the Ohana Ola 'O Kahumana (Ohana Ola) transitional housing. It is believed that this revised concept will qualify the Community Training Kitchen as one of Ohana Ola's "community facilities," which is defined under 201H-1 as "buildings, equipment, lands, and grounds for recreational or social assemblies, or educational, health, or welfare purposes."
- We acknowledge your concern regarding the plan to claim continued exemption for the proposed project under the earlier City Council resolutions, or to draft a new City Council Resolution in order to exempt the proposed project from the City's standards. The Draft Environmental Assessment (EA) will explain why the Kitchen is a logical community support facility for Ohana Ola and functionally relevant to the farm uses at Kahumana. A new 201H application will be submitted to the City and County of Honolulu to for this community facility.
- The Draft EA will describe the functional linkage between the proposed commercial kitchen and the agricultural activities within the land managed by Kahumana in Lualualei Valley.

July 27, 2016

Mr. Scott Enright

SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A COMMUNITY TRAINING
KITCHEN AT OHANA OLA 'O KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK
8-6-006:001

Page 2 of 2

- Following your recommendation, Ohana Ola 'O Kahumana's surrounding neighbors will be kept fully informed on the proposed project and will be provided opportunity to comment.

We value your participation in the environmental review process. Your letter will be included in the Draft EA. We will send you a copy of the Draft EA when it is available.

Sincerely,

PBR HAWAII



Catie Cullison
Senior Associate

Cc:

DAVID Y. IGE
GOVERNOR



ARTHUR J. LOGAN
MAJOR GENERAL
ADJUTANT GENERAL

KENNETH S. HARA
BRIGADIER GENERAL
DEPUTY ADJUTANT GENERAL

STATE OF HAWAII
DEPARTMENT OF DEFENSE
OFFICE OF THE ADJUTANT GENERAL
3949 DIAMOND HEAD ROAD
HONOLULU, HAWAII 96816-4495

March 14, 2016

PBR HAWAII & Associates, Inc.
1001 Bishop Street
ASB Tower, Suite 650
Honolulu, Hawai'i 96813

Attention: Ms. Katie Cullison, AICP

Subject: Pre-Assessment Consultation for a Community Training Kitchen at Ohana Ola O
Kahumana, 86-433 Kuwale Road, Waianae, Oahu, TMK: 8-6-006:001

Dear Ms. Cullison:

Thank you for the opportunity to comment on the above project.

The Department of Defense, Hawaii Emergency Management Agency (HIEMA) has determined that no disaster warning siren coverage exists for the project location. Therefore, as part of the proposed development, Kahumana shall install one (1) solar-powered 121 db(c) omni-directional siren on the property to provide the necessary siren coverage.

In addition, Kahumana shall:

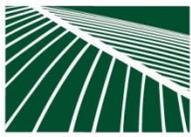
- a. Work with HIEMA staff regarding the specific siren requirements and its proper location,
- b. Obtain all necessary permits for the siren's installation,
- c. Obtain the approval of the City & County of Honolulu to enter into a license agreement, and
- d. Provide the State with a surveyed easement that will allow HIEMA's staff, agents and contractors to access and maintain the siren.

Should there be any questions or concerns, please have your staff contact Mr. George Burnett, Telecommunications Branch Chief, HIEMA at 733-4250.

Sincerely,


ARTHUR J. LOGAN
Major General
Hawaii National Guard
Adjutant General

c: Mr. George Burnett, HIEMA
Ms. Havinne Okamura, HIEMA



PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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Managing Director - Hilo

SCOTT MURAKAMI, ASLA, LEED®AP
Associate

DACHENG DONG, LEED®AP
Associate

MARC SHIMATSU, ASLA
Associate

Maj. Gen. Arthur J. Logan, Adjutant General
Department of Defense, State of Hawai'i
Office of the Adjutant General
3949 Diamond Head Road
Honolulu, Hawai'i 96816-4495

Attn: Mr. George Burnett, Telecommunications Branch Chief, HIEMA

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A
COMMUNITY TRAINING KITCHEN AT OHANA OLA O
KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK
8-6-006:001**

Dear Maj. Gen. Logan:

Thank you for your letter dated March 14, 2016, regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your input, and we acknowledge your suggestion to install a solar-powered 121 db(c) omni-directional siren on the property.

Alternative Structures International leases this property from the City and County of Honolulu. Should the State desire to install a siren on the City's property, the proposed project does not preclude this opportunity.

We value your participation in the environmental review process. Your letter will be included in the Draft EA. We will send you a copy of the Draft EA when it is available.

Sincerely,

PBR HAWAII

Catie Cullison
Senior Associate

Cc:

HONOLULU OFFICE
1001 Bishop Street, Suite 650
Honolulu, Hawai'i 96813-3484
Tel: (808) 521-5631
Fax: (808) 523-1402
E-mail: sysadmin@pbrhawaii.com

HILO OFFICE
1719 Haleloke Street
Hilo, Hawai'i 96720-1553
Tel/Cel: (808) 315-6878

printed on recycled paper

DAVID Y. IGE
GOVERNOR OF HAWAII



VIRGINIA PRESSLER, M.D.
DIRECTOR OF HEALTH

STATE OF HAWAII
DEPARTMENT OF HEALTH
P. O. BOX 3378
HONOLULU, HI 96801-3378

In reply, please refer to:
EMD/CWB

03009PNN.16

March 7, 2016

Ms. Catie Cullison, AICP
Planner
PBR Hawaii & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

**SUBJECT: Comments on the Pre-Assessment Consultation for a Community Training Kitchen at Ohana Ola O Kahumana
TMK: (1) 8-6-001:001
Waianae, Island of Oahu, Hawaii**

The Department of Health (DOH), Clean Water Branch (CWB), acknowledges receipt of your transmittal, dated February 8, 2016, requesting comments on your project. The DOH-CWB has reviewed the subject document and offers these comments. Please note that our review is based solely on the information provided in the subject document and its compliance with the Hawaii Administrative Rules (HAR), Chapters 11-54 and 11-55. You may be responsible for fulfilling additional requirements related to our program. We recommend that you also read our standard comments on our website at: <http://health.hawaii.gov/epo/files/2013/05/Clean-Water-Branch-Std-Comments.pdf>.

1. Any project and its potential impacts to State waters must meet the following criteria:
 - a. Antidegradation policy (HAR, Section 11-54-1.1), which requires that the existing uses and the level of water quality necessary to protect the existing uses of the receiving State water be maintained and protected.
 - b. Designated uses (HAR, Section 11-54-3), as determined by the classification of the receiving State waters.
 - c. Water quality criteria (HAR, Sections 11-54-4 through 11-54-8).
2. You may be required to obtain National Pollutant Discharge Elimination System (NPDES) permit coverage for discharges of wastewater, including storm water runoff, into State surface waters (HAR, Chapter 11-55).

For NPDES general permit coverage, a Notice of Intent (NOI) form must be submitted at least 30 calendar days before the commencement of the discharge. An application for an NPDES individual permit must be submitted at least 180 calendar days before the commencement of the discharge. To request NPDES permit coverage, you must submit the applicable form ("CWB Individual NPDES Form" or "CWB NOI Form") through the e-Permitting Portal and the hard copy certification statement with the respective filing fee (\$1,000 for an individual NPDES permit or \$500 for a Notice of General Permit Coverage). Please open the e-Permitting Portal website located at: <https://eha-cloud.doh.hawaii.gov/epermit/>. You will be asked to do a one-time registration to obtain your login and password. After you register, click on the Application Finder tool and locate the appropriate form. Follow the instructions to complete and submit the form.

3. If your project involves work in, over, or under waters of the United States, it is highly recommended that you contact the Army Corp of Engineers, Regulatory Branch (Tel: 835-4303) regarding their permitting requirements.

Pursuant to Federal Water Pollution Control Act [commonly known as the "Clean Water Act" (CWA)], Paragraph 401(a)(1), a Section 401 Water Quality Certification (WQC) is required for "[a]ny applicant for Federal license or permit to conduct any activity including, but not limited to, the construction or operation of facilities, which may **result** in any discharge into the navigable waters..." (emphasis added). The term "discharge" is defined in CWA, Subsections 502(16), 502(12), and 502(6); Title 40 of the Code of Federal Regulations, Section 122.2; and HAR, Chapter 11-54.

4. Please note that all discharges related to the project construction or operation activities, whether or not NPDES permit coverage and/or Section 401 WQC are required, must comply with the State's Water Quality Standards. Noncompliance with water quality requirements contained in HAR, Chapter 11-54, and/or permitting requirements, specified in HAR, Chapter 11-55, may be subject to penalties of \$25,000 per day per violation.
5. It is the State's position that all projects must reduce, reuse, and recycle to protect, restore, and sustain water quality and beneficial uses of State waters. Project planning should:
 - a. Treat storm water as a resource to be protected by integrating it into project planning and permitting. Storm water has long been recognized as a source of irrigation that will not deplete potable water resources. What is often overlooked is that storm water recharges ground water supplies and feeds streams and estuaries; to ensure that these water cycles are not disrupted, storm water cannot be relegated as a waste product of impervious surfaces. Any project

planning must recognize storm water as an asset that sustains and protects natural ecosystems and traditional beneficial uses of State waters, like community beautification, beach going, swimming, and fishing. The approaches necessary to do so, including low impact development methods or ecological bio-engineering of drainage ways must be identified in the planning stages to allow designers opportunity to include those approaches up front, prior to seeking zoning, construction, or building permits.

- b. Clearly articulate the State's position on water quality and the beneficial uses of State waters. The plan should include statements regarding the implementation of methods to conserve natural resources (e.g., minimizing potable water for irrigation, gray water re-use options, energy conservation through smart design) and improve water quality.
- c. Consider storm water Best Management Practice (BMP) approaches that minimize the use of potable water for irrigation through storm water storage and reuse, percolate storm water to recharge groundwater to revitalize natural hydrology, and treat storm water which is to be discharged.
- d. Consider the use of green building practices, such as pervious pavement and landscaping with native vegetation, to improve water quality by reducing excessive runoff and the need for excessive fertilization, respectively.
- e. Identify opportunities for retrofitting or bio-engineering existing storm water infrastructure to restore ecological function while maintaining, or even enhancing, hydraulic capacity. Particular consideration should be given to areas prone to flooding, or where the infrastructure is aged and will need to be rehabilitated.

If you have any questions, please visit our website at:
<http://health.hawaii.gov/cwb>, or contact the Engineering Section, CWB, at (808) 586-4309.

Sincerely,


ALEC WONG, P.E., CHIEF
Clean Water Branch

NN:ak

c: DOH-EPO #16-050 [via e-mail Noella.Narimatsu@doh.hawaii.gov only]



July 27, 2016

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HILO OFFICE
1719 Haleloke Street
Hilo, Hawai'i 96720-1553
Tel/Cel: (808) 315-6878

Mr. Alec Wong, P.E., Chief
State of Hawai'i
Department of Health
Clean Water Branch
P.O. Box 3378
Honolulu, Hawai'i 96801-3378

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A
COMMUNITY TRAINING KITCHEN AT OHANA OLA O
KAHUMANA, 86-433 KUWALE RD., WAI'ANAЕ, O'AHU, TMK
8-6-006:001**

Dear Mr. Wong:

Thank you for your letter dated March 7, 2016 (reference number EMD/CWB 03009PNN.16), regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we have reviewed the Department of Health (DOH) Clean Water Branch's (CWB) standard comments on your website. We understand that all standard comments specifically applicable to the proposed project must be adhered to. We provide the following responses:

- Potential Impacts to State Waters.** Any potential impacts to the waters off the coast makai of the project site caused by the construction and/or operation of the proposed project will meet the provisions of the: a) anti-degradation policy (Chapter 11-54-1.1, HAR); b) designated uses (Chapter 11-54-3, HAR); and c) water quality criteria (Chapter 11.54-4 through 11-54-8, HAR). However, direct discharges of storm water runoff into marine waters are not expected to occur due to Best Management Practices to reduce airborne dust and waterborne silt during construction, and due to the distance from the shoreline.
- National Pollutant Discharge Elimination System permit coverage.** If the area to be disturbed will be greater than one acre, a National Pollutant Discharge Elimination System (NPDES) permit for Storm Water Associated with Construction Activity will be necessary. An application/notice of intent of coverage under the general construction permit will be submitted at least 30 days prior to construction activities that will create discharge. Additionally, during the design phase the project team will further assess if the completed project will require an individual NPDES permit and submit the required application and documentation 180 days prior to the completion of construction or discharge (whichever is sooner).
- Clean Water Act.** Pursuant to the "Clean Water Act," a Section 401 Water Quality Certification from the State Department of Health, Clean Water Branch will be obtained if it is determined that the project may result in any discharge into navigable waters or as otherwise triggered.
- State Water Quality Standards (Chapter 11-54 and 11-55, HAR).** All discharges related to the construction and operation of the proposed project will comply with the State's Water Quality requirements contained in Chapters 11-54 and 11-55, HAR.

July 27, 2016

Mr. Alec Wong

SUBJECT:REVISED PRE-ASSESSMENT CONSULTATION FOR A COMMUNITY TRAINING
KITCHEN AT OHANA OLA O KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK 8-
6-006:001

Page 2 of 2

5. **The State's position on water quality.** We acknowledge that water is a limited resource that needs to be managed appropriately and not wasted. We concur with the State's position that projects must reduce, reuse, and recycle to protect, restore, and sustain water quality and beneficial uses of State waters. Project planning will:
 - a. Treat storm water as a resource through management strategies such as low-impact development methods or bio-engineering of drainage ways, in order to maintain or improve hydraulic capacity;
 - b. Clearly articulate the State's position on water quality and the beneficial uses of State waters, and include statements regarding the implementation of methods to conserve natural resources and improve water quality; and
 - c. Consider the use of storm water Best Management Practice (BMP) approaches, as well as green building practices.

We value your participation in the environmental review process. Your letter will be included in the Draft Environmental Assessment (EA). We will send you a copy of the Draft EA when it is available.

Sincerely,

PBR HAWAII



Catie Cullison
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services
Tom McDonald, Alternative Structures, Inc.



STATE OF HAWAII
DEPARTMENT OF HEALTH
P. O. BOX 3378
HONOLULU, HI 96801-3378

In reply, please refer to:
File:
EPO 16-050

February 24, 2016

Ms. Catie Cullison
PBR Hawaii & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

SUBJECT: Pre-Assessment Consultation (PAC) for a Community Training Kitchen at Ohana Ola O Kahumana, Waianae, Oahu
TMK: 8-6-001:001

The Department of Health (DOH), Environmental Planning Office (EPO), acknowledges receipt of your PAC to our office on February 12, 2016. Thank you for allowing us to review and comment of the proposed project. The PAC was routed to the Clean Water, Waste Water, and Sanitation Branches. They will provide specific comments to you if necessary. EPO recommends that you review the standard comments and available strategies to support sustainable and healthy design provided at: <http://health.hawaii.gov/epo/landuse>. Projects are required to adhere to all applicable standard comments.

EPO also encourages you to examine and utilize the Hawaii Environmental Health Portal. The portal provides links to our e-Permitting Portal, Environmental Health Warehouse, Groundwater Contamination Viewer, Hawaii Emergency Response Exchange, Hawaii State and Local Emission Inventory System, Water Pollution Control Viewer, Water Quality Data, Warnings, Advisories and Postings. The Portal is continually updated. Please visit it regularly at: <https://eha-cloud.doh.hawaii.gov>.

We request that you utilize all of this information on your proposed project to increase sustainable, innovative, inspirational, transparent and healthy design.

Mahalo nui loa,

Laura Leialoha Phillips McIntyre, AICP
Program Manager, Environmental Planning Office

Attachments: OEQC viewer: <http://eha-web.doh.hawaii.gov/oeqc-viewer>
U.S. EPA EJScreen Map, 3 page report: <http://www2.epa.gov/ejscreen>

c: DOH: CWB, WWB, SAN {via email only}

waianae 23 sites found

Results Filter

Biocontrol Strawberry Guava (FEA-FONSI) Environmental Assessment (Agency)

Interisland Renewable Energy Wind (FEA-EISPN) Environmental Impact Statement (Agency)

Hawaii Statewide Fish Aggregating System (FEA-FONSI) Environmental Assessment (Agency)

Nettle Caterpillar (FEA-FONSI) Environmental Assessment (Agency)

Papahānaumokuākea Management Plan (FEA-FONSI) Environmental Assessment (Agency)

Statewide Fish Aggregating Device Program (DEA-AFNSI) Environmental Assessment (Agency)

Farrington Hwy Imp Nansakuli (DEA-AFNSI) Environmental Assessment (Agency)

Field Release *Fopius* Biocontrol of Medfly (DEA-AFNSI) Environmental Assessment (Agency)

SANDWICH ISLES COMM SUB FIBER OPTIC CABLE (FEA-FONSI) Environmental Assessment (Applicant)

Field Release of *Eurytoma* *Erythrina* Gall Wasp Biocontrol (FEA-FONSI) Environmental Assessment (Agency)

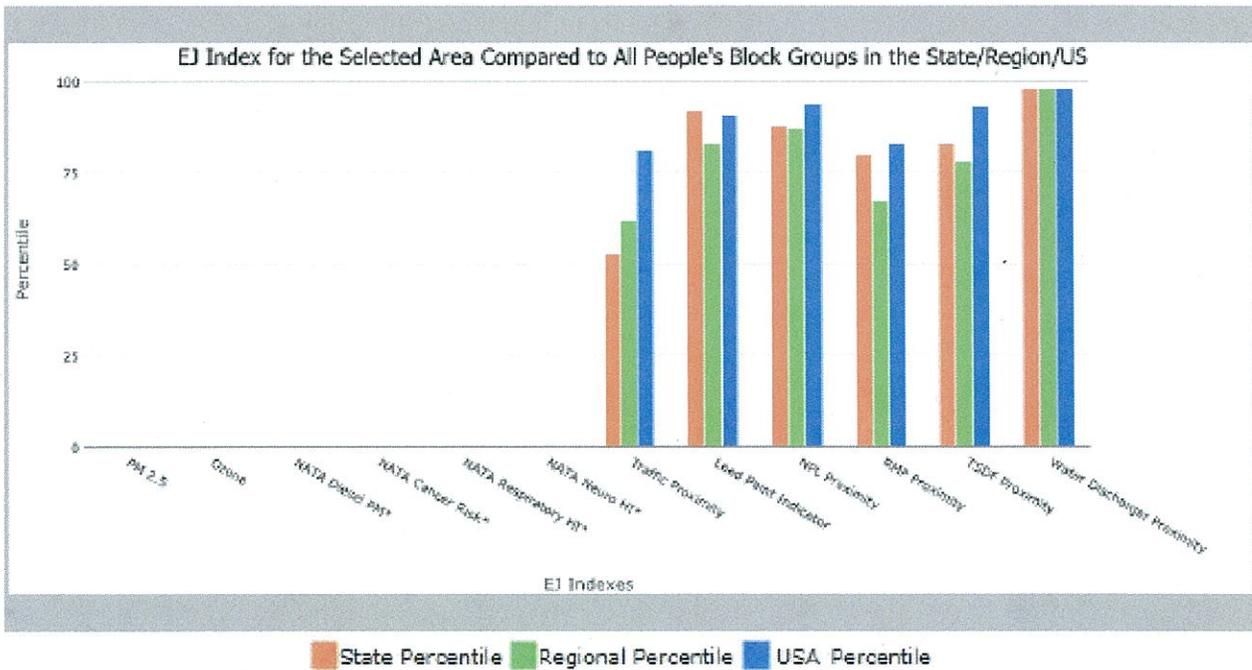




for 1 mile Ring Centered at 21.441969,-158.153050, HAWAII, EPA Region 9

Approximate Population: 2064

Selected Variables	State Percentile	EPA Region Percentile	USA Percentile
EJ Indexes			
EJ Index for PM2.5	N/A	N/A	N/A
EJ Index for Ozone	N/A	N/A	N/A
EJ Index for NATA Diesel PM*	N/A	N/A	N/A
EJ Index for NATA Air Toxics Cancer Risk*	N/A	N/A	N/A
EJ Index for NATA Respiratory Hazard Index*	N/A	N/A	N/A
EJ Index for NATA Neurological Hazard Index*	N/A	N/A	N/A
EJ Index for Traffic Proximity and Volume	53	62	81
EJ Index for Lead Paint Indicator	92	83	91
EJ Index for Proximity to NPL sites	88	87	94
EJ Index for Proximity to RMP sites	80	67	83
EJ Index for Proximity to TSDFs	83	78	93
EJ Index for Proximity to Major Direct Dischargers	98	98	98



This report shows environmental, demographic, and EJ indicator values. It shows environmental and demographic raw data (e.g., the estimated concentration of ozone in the air), and also shows what percentile each raw data value represents. These percentiles provide perspective on how the selected block group or buffer area compares to the entire state, EPA region, or nation. For example, if a given location is at the 95th percentile nationwide, this means that only 5 percent of the US population has a higher block group value than the average person in the location being analyzed. The years for which the data are available, and the methods used, vary across these indicators. Important caveats and uncertainties apply to this screening-level information, so it is essential to understand the limitations on appropriate interpretations and applications of these indicators. Please see EJSCREEN documentation for discussion of these issues before using reports.

EJSCREEN Report

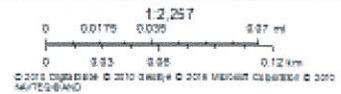


for 1 mile Ring Centered at 21.441969, -158.153050, HAWAII, EPA Region 9

Approximate Population: 2064



February 23, 2016
+ Digitized Point



Selected Variables	Raw Data	State Avg.	%ile in State	EPA Region Avg.	%ile in EPA Region	USA Avg.	%ile in USA
Environmental Indicators							
Particulate Matter (PM 2.5 in $\mu\text{g}/\text{m}^3$)	N/A	N/A	N/A	9.95	N/A	9.78	N/A
Ozone (ppb)	N/A	N/A	N/A	49.7	N/A	46.1	N/A
NATA Diesel PM ($\mu\text{g}/\text{m}^3$) [*]	N/A	N/A	N/A	N/A	N/A	N/A	N/A
NATA Cancer Risk (lifetime risk per million) [*]	N/A	N/A	N/A	N/A	N/A	N/A	N/A
NATA Respiratory Hazard Index [*]	N/A	N/A	N/A	N/A	N/A	N/A	N/A
NATA Neurological Hazard Index [*]	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Traffic Proximity and Volume (daily traffic count/distance to road)	23	280	25	190	23	110	39
Lead Paint Indicator (% Pre-1960 Housing)	0.23	0.17	67	0.25	58	0.3	52
NPL Proximity (site count/km distance)	0.09	0.092	71	0.11	67	0.096	71
RMP Proximity (facility count/km distance)	0.093	0.18	48	0.41	20	0.31	32
TSD Proximity (facility count/km distance)	0.057	0.092	45	0.12	47	0.054	78
Water Discharger Proximity (facility count/km distance)	0.67	0.33	88	0.19	95	0.25	92
Demographic Indicators							
Demographic Index	64%	51%	86	46%	75	35%	85
Minority Population	95%	77%	86	57%	90	36%	94
Low Income Population	32%	25%	70	35%	51	34%	52
Linguistically Isolated Population	1%	6%	30	9%	23	5%	50
Population With Less Than High School Education	18%	10%	85	18%	58	14%	69
Population Under 5 years of age	8%	6%	72	7%	63	7%	68
Population over 64 years of age	11%	14%	36	12%	57	13%	47

^{*} The National-scale Air Toxics Assessment (NATA) environmental indicators and EJ indexes, which include cancer risk, respiratory hazard, neurodevelopment hazard, and diesel particulate matter will be added into EJSCREEN during the first full public update after the soon-to-be-released 2011 dataset is made available. The National-Scale Air Toxics Assessment (NATA) is EPA's ongoing, comprehensive evaluation of air toxics in the United States. EPA developed the NATA to prioritize air toxics, emission sources, and locations of interest for further study. It is important to remember that NATA provides broad estimates of health risks over geographic areas of the country, not definitive risks to specific individuals or locations. More information on the NATA analysis can be found at: <http://www.epa.gov/ttn/atw/natamain/index.html>.

For additional information, see: www.epa.gov/environmentaljustice

EJSCREEN is a screening tool for pre-decisional use only. It can help identify areas that may warrant additional consideration, analysis, or outreach. It does not provide a basis for decision-making, but it may help identify potential areas of EJ concern. Users should keep in mind that screening tools are subject to substantial uncertainty in their demographic and environmental data, particularly when looking at small geographic areas. Important caveats and uncertainties apply to this screening-level information, so it is essential to understand the limitations on appropriate interpretations and applications of these indicators. Please see EJSCREEN documentation for discussion of these issues before using reports. This screening tool does not provide data on every environmental impact and demographic factor that may be relevant to a particular location. EJSCREEN outputs should be supplemented with additional information and local knowledge before taking any action to address potential EJ concerns.



July 27, 2016

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printed on recycled paper

Ms. Laura Leialoha Phillips McIntyre, AICP
Program Manager, Environmental Planning Office
State of Hawai'i
Department of Health
P.O. Box 3378
Honolulu, Hawai'i 96801-3378

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A
COMMUNITY TRAINING KITCHEN AT OHANA OLA O
KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK
8-6-006:001**

Dear Ms. McIntyre:

Thank you for your letter dated February 24, 2016 (reference number EPO 16-050), regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we have reviewed the Environmental Planning Office's (EPO) standard comments relating to Environmental Health programs. We understand that all standard comments specifically applicable to the proposed project must be adhered to. The organization of this letter follows the list of standard comments on your website.

Clean Air Branch

We acknowledge that there is a potential for fugitive dust emissions during all phases of construction and operations. The Draft EA will address construction-related impacts related to fugitive dust. All construction activities will comply with the provisions of Section 11-60.1-33, Hawaii Administrative Rules (HAR) related to Fugitive Dust. Adequate measures to control dust during various phases of construction will be required to be implemented by the general contractor to effect the project's development.

Clean Water Branch

We have reviewed and understand the standard comments provided by the Clean Water Branch (CWB).

- i. **Potential Impacts to State Waters.** Any potential impacts to the waters off the coast makai of the project site caused by the construction and/or operation of the proposed project will meet the provisions of the: a) anti-degradation policy (Chapter 11-54-1.1, HAR); b) designated uses (Chapter 11-54-3, HAR); and c) water quality criteria (Chapter 11.54-4 through 11-54-8, HAR). However, direct discharges of storm water runoff into marine waters are not expected to occur due to Best Management Practices to reduce airborne dust and waterborne silt during construction, and due to the distance from the shoreline.
- ii. **National Pollutant Discharge Elimination System permit coverage.** If the area to be disturbed will be greater than one acre, a National Pollutant Discharge Elimination System (NPDES) permit for Storm Water Associated with Construction Activity will be necessary.
- iii. **Clean Water Act.** Pursuant to the "Clean Water Act," a Section 401 Water Quality Certification from the State Department of Health, Clean Water Branch will be obtained if it is determined that the project may result in any discharge into navigable waters or as otherwise triggered.

July 27, 2016

Ms. Laura Leialoha McIntyre, AICP

REVISED PRE-ASSESSMENT CONSULTATION FOR A COMMUNITY TRAINING KITCHEN AT
OHANA OLA O KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK 8-6-006:001

Page 2 of 2

- iv. **State Water Quality Standards (Chapter 11-54 and 11-55, HAR).** All discharges related to the construction and operation of the proposed project will comply with the State's Water Quality requirements contained in Chapters 11-54 and 11-55, HAR.

Hazard Evaluation and Emergency Response Office

We will contact the HEER Office if hazardous substances, pollutants, or contaminants are present at the project site.

Indoor and Radiological Health (IRH) Branch

The proposed project will comply with the following Hawai'i Administrative Rules:

- Chapter 11-39 Air conditioning and Ventilation
- Chapter 11-46 Community Noise Control

In addition, the proposed project will most likely not trigger the need to comply with HAR Chapter 11-45 regarding radiation control, as well as HAR Chapters 11-501 through 11-504 regarding asbestos.

Safe Drinking Water Branch

We note that the Safe Drinking Water Branch administers programs to protect drinking water sources from contamination.

- i. **Public Water System.** The project will involve connection to the existing Board of Water supply system.
- ii. **Underground Injection Control.** Wastewater generated by the users of the proposed project will be handled by a septic tank system with leach fields or potentially a constructed sub-surface wetland with absorption beds. UIC is not anticipated.

Solid and Hazardous Waste Branch

Solid waste generated at the Site during the construction phase will increase over current conditions. Waste is expected to include materials from construction and grading activities. Every effort will be made to reduce the waste generated during the construction phase.

The proposed project will also comply with the provisions of Section 11-260 to 11-280, Hawaii Administrative Rules, relating to hazardous waste.

Wastewater Branch

The proposed project will not connect to the County wastewater system.

We have also reviewed the Hawaii Environmental Health Portal and its links to various sources of state environmental data. The Draft Environmental Assessment (EA) will include any relevant information from these sources.

We acknowledge your objective to promote sustainable, innovative, inspirational, transparent, and healthy design in the state of Hawai'i. We hope to contribute to that vision through appropriate use of social and environmental data in the planning process.

We value your participation in the environmental review process. Your letter will be included in the Draft EA. We will send you a copy of the Draft EA when it is available.

Sincerely,
PBR HAWAII



Catie Cullison
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services
Tom McDonald, Alternative Structures, Inc.

DAVID Y. IGE
GOVERNOR



FORD N. FUCHIGAMI
DIRECTOR

Deputy Directors
JADE T. BUTAY
ROSS M. HIGASHI
EDWIN H. SNIFFEN
DARRELL T. YOUNG

STATE OF HAWAII
DEPARTMENT OF TRANSPORTATION
869 PUNCHBOWL STREET
HONOLULU, HAWAII 96813-5097

IN REPLY REFER TO:
STP 8.1949

March 10, 2016

Ms. Catie Cullison, AICP
Associate
PBR HAWAII & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

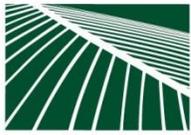
Subject: Community Training Kitchen at Ohana Ola O Kahumana
Pre-Assessment Consultation for an Environmental Assessment
Waianae, Oahu, Hawaii
TMK: (1) 8-6-006:001

The subject project is not expected to significantly impact the State highway facility. However, a permit from DOT Highways Division, is required for the transport of oversized and/or overweight materials and equipment on State highway facilities.

If there are any questions, please contact Mr. Norren Kato of the DOT Statewide Transportation Planning Office at telephone number (808) 831-7976.

Sincerely,

Ford N. Fuchigami
FORD N. FUCHIGAMI
Director of Transportation



PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

PRINCIPALS

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RUSSELL Y. J. CHUNG, FASLA, LEED®AP BD+C
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Vice-President

TOM SCHNELL, AICP
Principal

KIMI MIKAMI YUEN, LEED®AP BD+C
Principal

W. FRANK BRANDT, FASLA
Chairman Emeritus

Ford N. Fuchigami
Director of Transportation
State of Hawai'i
Department of Transportation
869 Punchbowl Street
Honolulu, Hawai'i 96813-5097

ATTN: Mr. Norren Kato, DOT Statewide Transportation Planning Office

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A
COMMUNITY TRAINING KITCHEN AT OHANA OLA O
KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK
8-6-006:001**

Dear Mr. Fuchigami:

Thank you for your letter dated March 10, 2016 (reference number STP 8.1949), regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your participation in the environmental review process, and your input that the subject project is not expected to significantly impact the State highway facility. We acknowledge that a permit from the Department of Transportation (DOT) Highways Division is required for the transport of oversized and/or overweight materials and equipment on State highway facilities. Your letter will be included in the Draft Environmental Assessment (EA).

Sincerely,

PBR HAWAII

Catie Cullison
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services
Tom McDonald, Alternative Structures, Inc.

HONOLULU OFFICE

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OFFICE OF ENVIRONMENTAL QUALITY CONTROL

DAVID Y. IGE
GOVERNOR

SCOTT GLENN
INTERIM DIRECTOR

DEPARTMENT OF HEALTH, STATE OF HAWAII
235 South Beretania Street, Suite 702, Honolulu, HI 96813

Phone: (808) 586-4185
Email: oeqchawaii@doh.hawaii.gov

March 11, 2016

Catie Cullison, AICP
PBR HAWAII & Associates, Inc.
1001 Bishop St., Suite 650
Honolulu, HI 96813

Dear Ms. Cullison,

SUBJECT: Consultation Request for a Community Training Kitchen at Ohana Ola O Kahumana,
Wai'anae, O'ahu, Hawai'i

The Office of Environmental Quality Control (OEQC) has reviewed your February 18, 2016 letter about the proposed action and offers the following comments for your consideration.

The information provided includes no site plan or much detail as to the particulars of the proposal, so the OEQC is unable to offer any specific comments on the project at this time. For future requests, we recommend the provision of sufficient detail to enable an effective pre-assessment consultation. As a general comment for any proposed action, OEQC recommends the incorporation of low impact development strategies, such as minimizing impervious surface areas to help groundwater recharge in the area and decrease stormwater runoff. OEQC also suggests using native vegetation for landscaping, as well as designing a low carbon/energy efficient project.

Additionally, OEQC advises factoring climate change into this and all future projects. Changing weather patterns in the Pacific are projected to result in localized heavy rainfall as well as increased tropical storm activity, likely producing periodic extreme downpours. Similarly, strengthened drought conditions in arid areas, such as the project site, are also expected. We encourage the incorporation of project design standards that will accommodate these and other scenarios related to our changing climate.

Thank you for your role in Hawai'i's environmental review process and for the opportunity to comment at this early stage of the development. We look forward to reviewing the draft Environmental Assessment being prepared for this project. If you have any questions please consult our website at <http://health.hawaii.gov/oeqc> or contact our office at (808) 586-4185.

Sincerely,

Scott Glenn
Interim Director



PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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Senior Associate

CATIE CULLISON, AICP
Senior Associate

ROY TAKEMOTO
Managing Director - Hilo

SCOTT MURAKAMI, ASLA, LEED®AP
Associate

DACHENG DONG, LEED®AP
Associate

MARC SHIMATSU, ASLA
Associate

Mr. Scott Glenn, Interim Director
Department of Health, State of Hawai'i
Office of Environmental Quality Control
235 South Beretania Street, Suite 702
Honolulu, Hawai'i 96813

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A
COMMUNITY TRAINING KITCHEN AT OHANA OLA O
KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK
8-6-006:001**

Dear Mr. Glenn:

Thank you for your letter dated March 11, 2016, regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your input, and provide the following responses to your comments:

We acknowledge your suggestions to: 1) incorporate low-impact development (LID) strategies to help groundwater recharge and decrease runoff; 2) use native vegetation for landscaping; 3) design a low carbon/energy efficient project; and 4) incorporate project design standards that will accommodate climate change scenarios. The Draft Environmental Assessment (EA) will include discussions that address these points.

We value your participation in the environmental review process. Your letter will be included in the Draft EA.

Sincerely,

PBR HAWAII

Catie Cullison
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services
Tom McDonald, Alternative Structures, Inc.

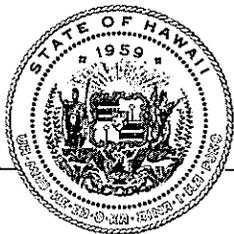
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OFFICE OF PLANNING STATE OF HAWAII

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235 South Beretania Street, 6th Floor, Honolulu, Hawaii 96813
Mailing Address: P.O. Box 2359, Honolulu, Hawaii 96804

Telephone: (808) 587-2846
Fax: (808) 587-2824
Web: <http://planning.hawaii.gov/>

Ref. No. P-15063

March 8, 2016

Ms. Catie Cullison, AICP
Planner
PBR HAWAII & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu Hawaii 96813-3484

Dear Ms. Cullison:

Subject: Pre-Assessment Consultation – Community Training Kitchen At Ohana
Ola Kahumana, 86-433 Kuawale Road, Waianae, Oahu;
TMK: (1) 8-6-006:001

Thank you for the opportunity to provide comments on this pre-assessment consultation request for a community training kitchen proposed by Ohana Ola O Kahumana. The pre-consultation review material was transmitted to our office by letter dated February 18, 2016.

It is our understanding that Ohana Ola O Kahumana proposes the development of a training kitchen facility. The kitchen is needed to maintain and expand the applicant's vocational training program for homeless, extremely low-income, and developmentally disabled residents, while maintaining and increasing its meal preparation for underprivileged children.

The proposed development is expected to include a 9,000 square foot kitchen facility that will house a central kitchen for vocational training and meal preparation, a smaller instructional kitchen, and community incubator facilities for use by low-income or underemployed residents working to develop food-based micro-enterprises, associated parking and loading areas, and a new driveway access on Kuwale Road.

The Office of Planning (OP) has reviewed the transmitted material and has the following comments to offer:

1. Pursuant to the Hawaii Administrative Rules (HAR) § 11-200-10(4) – general description of the action's technical, economic, social, and environmental characteristics; this project must demonstrate that it is consistent with a number of State environmental, social policies, economic goals, and policies for land use. OP provides technical assistance to State and county agencies in administering the statewide planning system in Hawaii Revised Statutes (HRS) Chapter 226, the Hawaii State Plan. The Hawaii State Plan provides goals, objectives, policies, and priority guidelines for growth, development, and the allocation of resources throughout the State in areas of state interest including but not limited to the economy, agriculture,

the visitor industry, federal expenditure, the physical environment, facility systems, socio-cultural advancement, climate change adaptation, and sustainability.

The Draft Environmental Assessment (Draft EA) should include an analysis that addresses whether the proposed project conforms to or is in conflict with the goals, objectives, policies, and priority guidelines listed in the Hawaii State Plan.

2. The coastal zone management (CZM) area is defined as “all lands of the State and the area extending seaward from the shoreline to the limit of the State’s police power and management authority, including the U.S. territorial sea” see HRS § 205A-1 (definition of "coastal zone management area").

HRS § 205A-5(b) requires all State and county agencies to enforce the CZM objectives and policies. The Draft EA should include an assessment as to how the proposed project conforms to the CZM objectives and its supporting policies set forth in HRS § 205A-2. The assessment on compliance with HRS § 205A-2 is an important component for satisfying the requirements of HRS Chapter 343. These objectives and policies include recreational resources, historic resources, scenic and open space resources, coastal ecosystems, economic uses, coastal hazards, managing development, public participation, beach protection, and marine resources.

3. It appears that this project is within the State Land Use Agricultural District and in an area zoned by the City and County of Honolulu as Restricted Agriculture (AG-1). Pursuant to HRS § 205A-2(d), the proposed kitchen training facility may not be a permitted use.

Additionally, pursuant to HRS § 205-4.5(a), if the parcel has a land study bureau (LSB) classification rating class A or B further restrictions apply. The Draft EA should indicate the LSB rating class, and indicate all restrictions that may apply. Please consult with the State Land Use Commission to determine if this proposed use is permitted in the State Agricultural District.

Furthermore, the area is zoned by the City and County of Honolulu as Restricted Agriculture (AG-1). Pursuant to the Land Use Ordinances of the City and County of Honolulu, Chapter 21, the proposed facility may not be a permitted use in AG-1. Please consult with the Department of Planning and Permitting on permitting or zoning change matters.

4. The review material acknowledges that Federal funds may be sought to finance a portion of the training kitchen. If Federal funds are pursued, then this project may

need to be evaluated on Federal Consistency requirements. The national Coastal Zone Management Act requires direct federal activities and development projects to be consistent with approved state coastal programs to the maximum extent practicable. Federal actions are defined by this act as activities performed by a Federal agency or contractor for the benefit of a Federal agency; activities not performed by a Federal agency, but require federal permits or approval; or State and local government projects that receive Federal financial assistance.

In the Draft EA, please indicate whether Federal funds are used, and the Federal agency provided this funding source. OP is the lead state agency in charge of conducting Federal Consistency review. Please contact our office on the procedures for this review.

5. Pursuant to HAR § 11-200-10(6) – identification and summary of impacts and alternatives considered; in order to ensure that the coastline and water resources along the Waianae Coast remain protected, the negative effects of stormwater inundation ensuing from development activities should be evaluated in the Draft EA. This 12.5-acre project lies within an agricultural area with a limited level of drainage infrastructure. During heavy storm events, the natural contours of the land and drainage infrastructure may transport upslope sediment, land-based pollutants, and toxicant-load contributions into nearby Waianae Coastline.

The Draft EA should examine potential benefits and/or negative impacts resulting from this project on coastal and marine resources. Issues that may be examined in the Draft EA include, but are not limited to, project site characteristics in relation to erosion controls on flood prone areas, undeveloped open spaces, and the absorption characteristics of the soil. Furthermore, it should differentiate between the existing permeable surfaces versus hardened surfaces in the area. These items, as well as the marine water quality classification, should be considered when developing mitigation measures to protect the coastal ecosystem.

The enclosed map of this project, as well as resources available to us, indicate that this project is located approximately two miles upslope from the nearshore waters of Pokai Bay and the Waianae coastline; the landscape is relatively undeveloped with dry brush vegetation; and has limited drainage infrastructure.

The Draft EA should examine the cumulative impact on coastal resources from land-based polluted runoff and sediment loss. It should take into account any of the natural features in the area, undeveloped open spaces, down-sloping topography,

hardened non-permeable surfaces that have a cumulative effect on the volume and speed of storm runoff, and soil absorption rates.

OP has a number of resources available to assist in the development of projects which ensure sediment and stormwater control on land, thus protecting the nearshore environment. OP recommends consulting these guidance documents and stormwater evaluative tools when developing strategies to address polluted runoff. They offer useful techniques to keep land-based pollutants and sediment in place and prevent contaminating nearshore waters, while considering the practices best suited for this project. These three evaluative tools that should be used during the design process include:

- Hawaii Watershed Guidance provides direction on mitigation strategies in urban areas that will safeguard Hawaii's watersheds and implement watershed plans [http://files.hawaii.gov/dbedt/op/czm/initiative/nonpoint/Hi Watershed Guidance Final.pdf](http://files.hawaii.gov/dbedt/op/czm/initiative/nonpoint/Hi_Watershed_Guidance_Final.pdf)
- Stormwater Impact Assessments can be used to identify and evaluate information on hydrology, stressors, sensitivity of aquatic and riparian resources, and management measures to control runoff, as well as consider secondary and cumulative impacts to the area http://files.hawaii.gov/dbedt/op/czm/initiative/stormwater_impact/final_storm_water_impact_assessments_guidance.pdf
- Low Impact Development (LID), A Practitioners Guide covers a range of structural best management practices (BMP's) for stormwater control management, roadway development, and urban layout that minimizes negative environmental impacts http://files.hawaii.gov/dbedt/op/czm/initiative/lid/lid_guide_2006.pdf

If you have any questions regarding this comment letter, please contact Josh Hekeka of our office at (808) 587-2845.

Sincerely,



Leo R. Asuncion
Director



July 27, 2016

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Mr. Leo R. Asuncion, Director
State of Hawai'i
Office of Planning
P.O. Box 2359
Honolulu, Hawai'i 96804

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A
COMMUNITY TRAINING KITCHEN AT OHANA OLA O
KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK 8-
6-006:001**

Dear Mr. Asuncion:

Thank you for your letter dated March 8, 2016 (reference number P-15063), regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your input and provide the following responses:

1. The Draft Environmental Assessment (EA) will include an analysis that addresses whether the proposed project conforms to or is in conflict with the goals, objectives, policies, and priority guidelines listed in the Hawai'i State Plan (HRS Chapter 226, the Hawai'i State Planning Act).
2. The Draft EA will include an assessment as to how the proposed project conforms to the coastal zone management (CZM) objectives and its supporting policies set forth in HRS §205A-2.
3. The Draft EA will discuss the proposed project's conformance to §HRS 205A-2(d) regarding the uses permitted in the State Land Use Agricultural District and in the Restricted Agriculture (AG-1) zone. The Draft EA will also discuss the proposed project parcel's land study bureau (LSB) rating class and its restrictions. The information received through the pre-consultation process and subsequent agency discussions helped to better define the proposed Kitchen to a more modest facility that is more functionally related to workforce development of the residents at Ohana Ola and the use of produce grown at Kahumana Farms. The project description has since been revised, such that the incubator kitchen and training kitchen have been eliminated from the proposed project and the building size reduced to approximately 3,000 square feet in area. While the Kitchen is functionally linked to the agricultural activities at Kahumana Farms, it is anticipated that an application pursuant to Section 201H HRS will be submitted to the City and County of Honolulu to incorporate the Kitchen into the Ohana Ola residential use.
4. We acknowledge that Federal Consistency requirements may apply if certain federal funds are sought. We recognize OP is the lead state agency for conducting Federal Consistency review and will coordinate accordingly.
5. The Draft EA will evaluate: a) the negative effects of stormwater inundation ensuing from development activities related to the project; b) the potential benefits and/or negative impacts resulting from this project on coastal and marine resources; and c) the cumulative impact on coastal resources from land-based polluted runoff and sediment loss.

Mr. Leo Asuncion

SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A COMMUNITY TRAINING KITCHEN AT OHANA OLA O KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK 8-6-006:001

Page 2 of 2

6. The three evaluative tools provided – Hawai'i Watershed Guidance, Stormwater Impact Assessments, and the Low Impact Development (LID) Practitioners Guide – will be reviewed for applicability to the project. The Draft EA will include any relevant information from these sources.

We value your participation in the environmental review process. Your letter will be included in the Draft EA. We will send you a copy of the Draft EA when it is available.

Sincerely,
PBR HAWAII



Catie Cullison
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services
Tom McDonald, Alternative Structures, Inc.



DEPARTMENT OF THE ARMY
HONOLULU DISTRICT, U.S. ARMY CORPS OF ENGINEERS
FORT SHAFTER, HAWAII 96858-5440

March 29, 2016

SUBJECT: No Permit Required for the Kahumana Community Training Kitchen at Ohana Ola O Kahumana located at 84-433 Kauwale Road, Waianae, Oahu Island, Hawaii (TMK (1)-8-6-006:001). DA File No. POH-2016-00051.

Ms. Catie Cullison
PBR Hawaii & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

The U.S. Army Corps of Engineers, Honolulu District (Corps) has received your letter, dated February 8, 2016, requesting comments for the preparation of a State of Hawaii environmental assessment (EA) for the above-subject project. Department of the Army (DA) file number POH-2016-00051 is assigned this project. Please reference this file number in all future correspondence with our office concerning this project.

We have completed review of your submittal pursuant our authorities at Section 404 of the Clean Water Act (33 U.S.C. 1344)(Section 404) and Section 10 of the Rivers and Harbors Act of 1899 (33 U.S.C. 403)(Section 10). Section 404 requires authorization prior to the discharge and/or placement of dredged or fill material into waters of the U.S., including adjacent wetlands. Section 10 requires authorization prior to installing structures or conducting work in, over, under, and affecting navigable waters.

Based on our review of the information provided and available resources, we have determined that the subject tax map key parcel (1) 8-6-006:001 consists entirely of uplands and is absent of waters of the U.S. that are subject to the Corps' regulatory jurisdiction (Enclosure 1). Accordingly, the proposed work activities at the subject parcel would not result in work or the discharge and/or placement of fill material in waters of the U.S., and; therefore, a DA permit is not required.

Enclosed is an approved jurisdictional determination (Enclosure 2) for your project area. This determination is valid for a period of five (5) years from the date of this letter, unless new information warrants revision of the determination before its expiration date. If you object to this determination, you may request an Administrative Appeal under 33 CFR 331. A Notification of Appeal Process and Request for Appeal (NAP/RFA) form is also included in this letter. Should you request to appeal this determination you must submit a completed RFA form, according to instructions in the RFA, to the Corps' Pacific Ocean Division office at the following address:

Civil Works and Regulatory Program Manager
U.S. Army Corps of Engineers
Pacific Ocean Division, ATTN: CEPOD-PDC
Building 525
Fort Shafter, HI 96858-5440

Please be advised, although a permit is not required from this office, we recommend the use of Best Management Practices measures to avoid and minimize adverse impacts to off-site aquatic resources that may be affected. It is your responsibility to ensure that your project complies with all other federal, State, or local laws and regulations.

Thank you for your cooperation with the Honolulu District Regulatory Program. Should you have any questions related to this determination, please contact Ms. Joy Anamizu of my staff at (808) 835-4308 or via e-mail at joy.n.anamizu@usace.army.mil. You are encouraged to provide comments on your experience with the Honolulu District Regulatory Office by accessing our web-based customer survey form at http://corpsmapu.usace.army.mil/cm_apex/f?p=136:4:0.

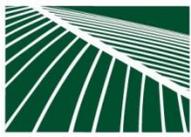
Sincerely,

A handwritten signature in black ink that reads "Joy Anamizu" with a long horizontal flourish extending to the right.

Joy N. Anamizu
Ecologist, Regulatory Office

Enclosures

CC w/Encls via Email:
DOH-CWB (office email)
CZM Program (J. Nakagawa)



PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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Ms. Joy N. Anamizu
Ecologist, Regulatory Office
U.S. Department of the Army
Honolulu District, U.S. Army Corps of Engineers
Fort Shafter, Hawai'i 96858-5440

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A
COMMUNITY TRAINING KITCHEN AT OHANA OLA O
KAHUMANA, 86-433 KUWALE RD., WAI'ANAЕ, O'AHU, TMK
8-6-006:001**

Dear Ms. Anamizu:

Thank you for your letter dated March 29, 2016 (DA File No. POH-2016-00051), regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we welcome your input, and provide the following responses to your comments:

We appreciate the determination that the subject tax map key parcel (1) 8-6-006:001 consists entirely of uplands and is absent of waters of the U.S. subject to the Corps' regulatory jurisdiction, and that a Department of the Army (DA) permit is therefore not required.

Thank you for your recommendation to utilize Best Management Practices (BMPs) to avoid and minimize adverse impacts to off-site aquatic resources that may be affected. The Draft Environmental Assessment (EA) will include descriptions of the BMP measures to be utilized for this project.

We value your participation in the environmental review process. Your letter will be included in the Draft EA. We will send you a copy of the Draft EA when it is available.

Sincerely,

PBR HAWAII

Catie Cullison
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services
Tom McDonald, Alternative Structures, Inc.



United States Department of the Interior



FISH AND WILDLIFE SERVICE
Pacific Islands Fish and Wildlife Office
300 Ala Moana Boulevard, Room 3-122
Honolulu, Hawai'i 96850

In Reply Refer To:
01EPIF00-2016-TA-0208

MAR 16 2016

Ms. Catie Cullison
PBR HAWAII & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484

Subject: Technical Assistance for the Proposed Ohana Ola O Kahumana Community
Training Kitchen, Waianae, O'ahu

Dear Ms. Cullison:

The U.S. Fish and Wildlife Service received your letter on February 22, 2016, requesting our comments on the proposed Ohana Ola O Kahumana Community Training Kitchen located on 12.5 acres at 86-433 Kuwale Road, Waianae, O'ahu [TMK: 8-6-006:001]. We understand PBR HAWAII & Associates, Inc., on behalf of Alternative Structures International, doing business as Kahumana, will be preparing the environmental documents for the proposed project in accordance with Chapter 343, Hawai'i Revised Statutes and the National Environmental Policy Act. The proposed project involves constructing a 7,000-9,000 square foot kitchen at Ohana Ola O Kahumana, an existing transitional housing facility. The project components include: a central kitchen for vocational training and meal preparation program; a smaller instructional kitchen; community kitchen facilities for use by low-income or underemployed residents working to develop food-based micro-enterprises; associated parking and loading areas; and a new driveway access on Kuwale Road. The purpose for the proposed project is to expand Kahumana's vocational training program for homeless, extremely low-income, and developmentally disabled residents, and provide meals for underprivileged children. Federal funds may be sought to fund a portion of the project.

We have reviewed the information you provided and pertinent information in our files, including data compiled by the Hawai'i Biodiversity and Mapping Program as it pertains to listed species and designated critical habitat in accordance with section 7 of the Endangered Species Act of 1973 (ESA), as amended (16 U.S.C. 1531 *et seq.*). There is no federally designated critical habitat within the immediate vicinity of the proposed project. Our data indicate the federally endangered Hawaiian hoary bat or ope'ape'a (*Lasiurus cinereus semotus*) and the wedge-tailed shearwater or 'ua'u kani (*Puffinus pacificus*), a seabird protected under the Migratory Bird Treaty Act [16 U.S.C. 703-712] (MBTA), may occur within the vicinity of the proposed project. We offer the following comments for your consideration.

Hawaiian hoary bat

The Hawaiian hoary bat roosts in both exotic and native woody vegetation and, while foraging, will leave young unattended in "nursery" trees and shrubs when they forage. If trees or shrubs

suitable for bat roosting are cleared during the breeding season, there is a risk that young bats could inadvertently be harmed or killed since they are too young to fly or may not move away. To minimize impacts to the endangered Hawaiian hoary bat, woody plants greater than 15 feet (4.6 meters) tall should not be disturbed, removed, or trimmed during the bat birthing and pup rearing season (June 1 through September 15). Site clearing should be timed to avoid disturbance to Hawaiian hoary bats in the project area.

Wedge-tailed shearwater

Outdoor lighting, such as street lights and night-time work, can adversely impact listed and migratory seabird species found in the vicinity of the proposed project. Seabirds fly at night and are attracted to artificially lighted areas which can result in disorientation and subsequent fallout due to exhaustion or collision with objects such as utility lines, guy wires, and towers that protrude above the vegetation layer. Once grounded, they are vulnerable to predators or often struck by vehicles along roadways. Wedge-tailed shearwater nesting colonies are located on offshore islets and several locations on Oahu and every year many young shearwaters are downed and struck along O'ahu roadways. Any increase in the use of night-time lighting, particularly during each year's peak fallout period (September 15 through December 15), could result in additional seabird injury or mortality.

If night-time work is proposed for your project, impacts to seabirds can be minimized by shielding outdoor lights to the maximum extent possible, eliminating night-time construction, and providing all project staff with information about seabird fallout. All lights, including street lights, should be shielded so the bulb can only be seen from below and use the lowest wattage bulbs possible. The project should address all potential impacts to seabirds and outline conservation measures to minimize these impacts.

If it is determined that the proposed project may affect federally listed species, we recommend you contact our office in the planning process so that we may assist you with Endangered Species Act (ESA) compliance. If the proposed project is funded, authorized, or permitted by a Federal agency, then the Federal agency should consult with us pursuant to section 7(a)(2) of the ESA. If no Federal agency is involved with the proposed project, the applicant should apply for an incidental take permit under section 10(a)(1)(B) of the ESA. A section 10 permit application must include a habitat conservation plan laying out the proposed actions, determine the effects of the action on affected fish and wildlife species and their habitats, and define measures to minimize and mitigate adverse effects.

We appreciate your efforts to conserve listed species. If you have questions about our comments, please contact Leila Gibson, Fish and Wildlife Biologist (phone: 808-792-9400, email: leila_gibson@fws.gov).

Sincerely,



Aaron Nadig
Island Team Manager
O'ahu, Kaua'i, North Western Hawaiian Islands,
and American Samoa



PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

PRINCIPALS

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R. STAN DUNCAN, ASLA
President

RUSSELL Y. J. CHUNG, FASLA, LEED®AP BD+C
Executive Vice-President

VINCENT SHIGEKUNI
Vice-President

GRANT T. MURAKAMI, AICP, LEED®AP BD+C
Vice-President

TOM SCHNELL, AICP
Principal

KIMI MIKAMI YUEN, LEED®AP BD+C
Principal

W. FRANK BRANDT, FASLA
Chairman Emeritus

Mr. Aaron Nadig
Island Team Manager
O'ahu, Kaua'i, North Western Hawaiian Islands, and American Samoa
U.S. Department of the Interior
Fish and Wildlife Service
Pacific Islands Fish and Wildlife Office
300 Ala Moana Boulevard, Room 3-122
Honolulu, Hawai'i 96850

Attn: Ms. Leila Gibson, Fish & Wildlife Biologist

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A
COMMUNITY TRAINING KITCHEN AT OHANA OLA O
KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK
8-6-006:001**

ASSOCIATES

RAYMOND T. HIGA, ASLA
Senior Associate

CATIE CULLISON, AICP
Senior Associate

ROY TAKEMOTO
Managing Director - Hilo

SCOTT MURAKAMI, ASLA, LEED®AP
Associate

DACHENG DONG, LEED®AP
Associate

MARC SHIMATSU, ASLA
Associate

Dear Mr. Nadig:

Thank you for your letter dated March 16, 2016 (your reference number 01EPIF00-2016-TA-0208), regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we welcome your input, and provide the following responses to your comments:

We appreciate the information provided on the lack of a federally designated critical habitat within the immediate vicinity of the proposed project, as well as the information provided on the federally endangered Hawaiian hoary bat or ope'ape'a (*Lasiurus cinereus semotus*) and the wedge-tailed shearwater or 'ua'u kani (*Puffinus pacificus*), which may occur within the vicinity of the proposed project. The Draft Environmental Assessment (EA) will include discussions that address all potential impacts to these species, and outline conservation measure to minimize these impacts.

We value your participation in the environmental review process. Your letter will be included in the Draft EA. We will send you a copy of the Draft EA when it is available.

Sincerely,

PBR HAWAII

Catie Cullison
Senior Associate

HONOLULU OFFICE
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Cc: Steve Karel, Honolulu Department of Community Services
Tom McDonald, Alternative Structures, Inc.

Appendix G: Wai'anae Neighborhood Board Meeting Notes





WAIANAЕ COAST NEIGHBORHOOD BOARD NO. 24

c/o NEIGHBORHOOD COMMISSION • 530 SOUTH KING STREET ROOM 406 • HONOLULU, HAWAII, 96813
PHONE (808) 768-3710 • FAX (808) 768-3711 • INTERNET: <http://www.honolulu.gov/nco>

DRAFT REGULAR MEETING MINUTES

TUESDAY, JULY 5, 2016

WAIANAЕ DISTRICT PARK – MULTI-PURPOSE ROOM

CALL TO ORDER – Chair Pro Tem Cedric Gates called the meeting to order at 6:38 p.m. **A quorum was established with five (5) Board members present.** Note – This nine (9) member Board requires five (5) members to establish a quorum and to take official Board action.

Board Members Present – Julie-Ann Cachola (arrived at 7:08 p.m.), Calvin Endo, Cedric Gates, Glen Kila (arrived at 7:03 p.m.), Ken Koike, Marcus Paaluhi Sr., Sharlette Poe, and Kaukaohu Wahilani (appointed at this meeting).

Board Members Absent – Kellen Smith.

Vacancies – There were no vacancies at this time.

Guests: Captain Ryan Fernandez (Honolulu Fire Department); Lieutenant Farrel Sojot (Honolulu Police Department); Kauai G.O. Hilo (Board of Water Supply); Ian Santee (Mayor Kirk Caldwell's Representative); William Aila Jr. (Governor David Ige's Representative); Councilmember Kymberly Pine and Kathy Davenport (Office of Councilmember Pine); Representative Jo Jordan; Ed Burke (Senator Maile Shimabukuro's Office); Eric Yuasa (Department of Land and Natural Resources – Division of Ocean and Boating Recreation); Audrey Enseki-Tom and Tom McDonald (Kahumana); Victor Flint (NAVFAC); John DeSoto and Georgette Navarro (Makaha Hawaiian Civic Club); Major Ryan Bell and Karen Roxberry (United States Army 25th Infantry Division); Richard Landford, Karen Awana, and Cynthia Rezentes (Nanakuli-Maili Neighborhood Board No. 36); Davin Carvalho, Micah Doane, and Jonathan Doane (Protectors of Paradise); Shirley Landford; Jack De Feo; Ed Burke; Stephanie, Renee, and Precious Kawelo; James Pakele; Hanale Hopfe; Kapua Keliikoa-Kamai; Marie-Therese Lawen; Sam Iokia; Joanna Ramos; Melva Aila; James Cowles; Sue Austin; Regina Keawe-Paahana; Barbara Mihalke; Abbie Kaliko; Catie Cullison; Poha Sonoda-Burgess; Skyla Hammond; Alice Greenwood; Pua Ford; Levi Holton; Jan Makepa; Paul Kepka; Josph Simpliciano; Pua Aiu; Kailana Moa-Eli; Twinkle Borge; Luwella Leonardi; Lilliam Huary; Christy Un; Catherine Lynn; Victoria Ching; Melvin Cansibog; and Relley Araceley (Neighborhood Commission Office).

Pule – Endo lead the pule.

NEW BUSINESS

Kahumana Farms – Kahumana Farms Executive Director, Tom McDonald, and Audrey Enseki-Tom distributed a handout and gave a brief presentation on plans to develop a community tracing kitchen facility. McDonald stated that Kahumana has been a part of the Waianae Community for over 40 years. Kahumana Farms primary objectives are to end family homelessness, provide opportunities for cultural development, and farming and food. McDonald highlighted the current programs being run by Kahumana Farms. McDonalds noted that the struggle to move the project forward is finding funding.

Question, comments, and concerns followed:

1. **Meals:** Koike asked and McDonald answered that the new facility would be 3,000 square feet and would like to do about 2,2000 meals per day delivered to about 50 locations. Koike asked and McDonald responded that some meals have ingredients that are 100% organic and from Kahumana Farms. Koike noted appreciation for providing organic foods for the keiki.
2. **Education:** Poe asked and McDonald noted that there is no formal relationship with professional culinary learning programs, but that plans are underway to try and create more outreach connections. Koike clarified that Kahumana Farms helps to place participants in jobs. Chair Gates thanked Kahumana Farms for their work in the community.
3. **Population:** Resident Abby Kaliko asked and McDonald responded that the program tries to get more resources to help the local community of Waianae and that the 10 staff members and 40 volunteers are being paid. Resident Greenwood noted renting rates concerns in relation to the funding provided by the federal or state contracts with the program. Resident John DeSoto thanked Kahumana for their work in the community.

Board Member Kila arrived to the meeting at 7:03 p.m. Six (6) members were present.

4. Population (continued): Endo asked and McDonald answered that Kahumana prioritizes unsheltered homeless families followed by “at-risk” families. Endo asked and McDonald clarified that most of the families serviced are from Waianae, but that there are families from other parts of the island. McDonald noted that Kahumana Farms is working with the Leeward Housing Coalition to improve services. Endo asked and McDonald responded that the program is funded by the State’s homeless program stipend and described the monthly rental costs. McDonald noted that the rental amounts are a barrier for families with no income and Kahumana Farms will work with the families to assist with rent.
5. Insufficient: Resident Ford noted various issues with the program at Kahumana Farms.

Board Member Cachola arrived to the meeting at 7:08 p.m. Seven (7) members were present.

Koike moved and Paaluhi seconded that Waianae Neighborhood Board No. 24 support Kahumana Farms’ Community Training Facility.

Discussion followed: Permitting: Cachola asked and Catie Cullison with PBR Hawaii and Associates responded that the environmental assessment (EA) will be worked out with the Department of Planning and Permitting (DPP) and the Department of Customer Services (DCS). Drafts are not yet available. Cachola asked and Cullison answered that the plans are meant to be an extension of the residential use on the agricultural zoning and that the City and County of Honolulu gives a little leeway regarding the zoning.

The motion was APPROVED UNANIMOUSLY. 6-0-0 (AYE: Cachola, Endo, Gates, Kila, Koike, Paaluhi, Poe; NAY: None; ABSTAIN: None).

Hearing no objections Chair Pro Tem Chair returned the order of agenda to item 3.1.

BOARD ELECTIONS

Chair – Chair Pro Tem Gates opened nominations for Chair. Kila nominated Gates. Koike nominated Paaluhi. Cachola requested and Gates and Paaluhi gave brief statements. Gates was **NOT ELECTED** by **ROLL CALL, 3-4-0 (AYE: Endo, Gates, and Kila; NAY: Cachola, Koike; Paaluhi, and Poe; ABSTAIN: None)**. Paaluhi was **NOT ELECTED** by **ROLL CALL, 4-3-0 (AYE Cachola, Koike; Paaluhi, and Poe; NAY: Endo, Gates, and Kila; ABSTAIN: None)**.

First Vice Chair – Chair Pro Tem Gates opened nominations for First Vice Chair. Gates nominated Kila. Kila denied the nomination. Paaluhi nominated Koike. Koike was **ELECTED UNANIMOUSLY, 7-0-0 (AYE: Cachola, Endo, Gates, Kila, Koike, Paaluhi, Poe; NAY: None; ABSTAIN: None)**.

Chair Pro Tem Gates passed the gavel to First Vice Chair Koike.

Second Vice Chair – Vice Chair Koike opened nominations for Second Vice Chair. Endo nominated Kia. Kila was **ELECTED UNANIMOUSLY, 7-0-0 (AYE: Cachola, Endo, Gates, Kila, Koike, Paaluhi, Poe; NAY: None; ABSTAIN: None)**.

Hearing no objections Vice Chair Koike moved the agenda to item 3.3.

Filling of One (1) At-Large Vacancy – Gates nominated Kaukaohu Wahilani. Cachola nominated James Pakele. Pakele denied the nomination. Cachola nominated Mary Alice Kaiulani Milham. Paaluhi nominated Joseph Simpliciano. The candidates gave brief statements.

Wahilani was UNANIMOUSLY APPOINTED, 7-0-0 (AYE: Cachola, Endo, Gates, Kila, Koike, Paaluhi, Poe; NAY: None; ABSTAIN: None).

Vice Chair Koike called a recess at 8:36 p.m. Neighborhood Assistant Araceley administered the Oath of Office. Eight (8) members were present.

The meeting was called back to order at 8:41 p.m.

Hearing no objections Vice Chair Koike returned the order of agenda to item 3.1.

BOARD ELECTIONS (continued):

Treasurer – Endo nominated himself. Endo was **ELECTED UNANIMOUSLY, 7-0-0 (AYE: Cachola, Endo, Gates, Kila, Koike, Paaluhi, Poe; NAY: None; ABSTAIN: None)**.

Secretary – Gates nominated Cachola. Cachola was **ELECTED UNANIMOUSLY, 7-0-0 (AYE: Cachola, Endo, Gates, Kila, Koike, Paaluhi, Poe; NAY: None; ABSTAIN: None)**.

Sergeant-At-Arms – Paaluhi nominated Wahilani. Wahilani was **ELECTED UNANIMOUSLY, 7-0-0 (AYE: Cachola, Endo, Gates, Kila, Koike, Paaluhi, Poe; NAY: None; ABSTAIN: None)**.

Chair – Paaluhi was **APPOINTED by ROLL CALL, 5-1-2 (AYE: Endo, Gates, Kila, Koike, Wahilani; NAY: Paaluhi; ABSTAIN: Cachola and Poe)**.

First Vice Chair Koike passed the gavel to Chair Paaluhi.

Hearing no objections Chair Paaluhi moved the agenda to item 4.1.

PUBLIC SAFETY REPORTS

Honolulu Police Department (HPD) – Lieutenant Farrel Sojot reported the following: June 2016 Statistics: There were 35 motor vehicle thefts, 59 burglaries, 163 thefts, and 55 unauthorized entries in motor vehicles (UEMVs), and 7,385 total calls for service.

Questions, comments, and concerns followed:

1. Police Presence: Gates and other community members asked and Lieutenant Sojot responded that a request for greater HPD presence will have to go through the correct protocol and that stems from lawmakers. Lieutenant Sojot noted that HPD distributed pedestrian flyers on Friday, June 17, 2016. Lieutenant stated the importance of community involvement to educate safer pedestrian practices.
2. Speed Monitor: Kila requested a speed monitor on Makaha Valley Road. Lieutenant Sojot will follow up.
3. Jaywalking: Poe requested the number of jaywalking citations to monitor if citations are effective. Lieutenant Sojot will follow up.
4. Deputizing: Resident James Pakele asked if there is a HPD deputizing program. Lieutenant Sojot will follow up but noted that HPD does work with the neighborhood security watches.
5. Crosswalk Accidents: Milham asked if the percentage of pedestrians hit in crosswalks is available. Lieutenant Sojot will follow up. Milham noted that lighted crosswalks would be helpful.
6. Community Education: Resident Jack DeFeo and multiple residents noted the need for the community to become more educated in pedestrian safety. Resident Renee Kawelo urged the State of Hawaii Organization of Police Officers (SHOPO) to contribute to solving the pedestrian safety issues in Waianae.
7. Pictures: Endo asked and Lieutenant Sojot clarified that an officer must observe the infraction to issue a citation. Other community members voiced similar concerns.
8. Traffic Cop Monitors: Resident Richard Landford requested the return of the traffic cop monitors along Farrington Highway. Lieutenant Sojot will follow up, but noted the issue falls under the HPD Traffic Safety Division.
9. Ticketing: DeSoto asked if HPD is allowed to ticket speeders on privately owned streets.
10. Beach Rentals: Resident Paul Pa'aina noted concerns with stand-up paddleboard (SUP) rentals occurring at the beaches. Lieutenant Sojot responded that if community members question the validity of the service they can call 911. Koike invited the community to attend the Board's committee meetings.

Honolulu Fire Department (HFD) – A firefighter reported the following: July 2016 Statistics: There were 2 structure fires, 4 wild land fires, 6 nuisance fires, 8 activated alarms with no fire, 171 medical emergencies, 1 motor vehicle crash/collision with a pedestrian, 3 motor vehicle crashes/collisions, 3 mountain rescue, 2 ocean rescues and 0 hazardous material incidents.

Questions, comments, and concerns followed:

1. Fire: R. Kawelo asked and Captain Fernandez responded that there is currently no determination of the causal factors but the investigation is ongoing. Captain Fernandez noted that the fire investigators has been made aware of the possible causes but the results are still inconclusive.
2. Safety Tip: HFD encourages the community to childproof their homes, especially during the summer

season. Endo urged the community to stop flicking cigarette butts. Wahilani thanked HFD for their work.

Chair Paaluhi moved the agenda to item 6.5

COMMUNITY REPORTS

Councilmember Kymberly Pine – Councilmember Pine noted support for any legislation from the community regarding traffic and pedestrian safety and reported the following:

- Buses: Route 40 will be opening soon. Route 40 will be a 24 hour route and will occur once the new budget cycle begins. The complications of Route C are still tied to the private street Kili Drive issues. Discussions are moving forward.
- 4th Annual Hire Leeward: Councilmember Pine thanked the community for the large turnout of volunteers for the recent Hire Leeward Fair.
- Mauna Lahi Lahi Park: HPD has been informed of complaints regarding possible illegal activities at Mauna Lahilahi Park. Councilmember Pine noted the possible presence of homeless individuals and noted the need for case workers to be present.
- Tree Cutting: The plumeria trees near the waste water treatment facility were infested with white flies which necessitated the cutting of the trees by the Department of Environmental Services (ENV).

Questions, comments, and concerns followed:

1. Route 93: Wahilani asked and Councilmember Pine responded that Senator Shimabukuro is adamantly opposed to cutting any Waianae Coast bus routes and no discussions have been held in that regard.
2. Waianae District Park Repairs: Koike asked for an update on the 2nd floor gym repairs at Waianae District Park. Councilmember Pine will follow up.
3. Traffic: Gates stressed traffic and pedestrian safety for the community.
4. Policing: Kaliko requested more HPD coverage in the community. Councilmember Pine clarified that HPD must enforce all laws and will follow up on the request for greater coverage.
5. Farrington Highway: A resident stated that lighting along Farrington Highway must be addressed and suggested that law enforcement may not be the best response to address pedestrian and traffic safety. Greenwood asked and Councilmember Pine clarified that Farrington Highway is under state jurisdiction. Councilmember Pine noted that legislation may need to be passed requesting a study be done by the Department of Transportation Services (DTS) and the State Department of Transportation (HDOT) along Farrington Highway to address lighting concerns.
6. Waianae High School: Resident Precious Kawelo asked about the possibility of getting sidewalks installed along Farrington Highway where no sidewalk is currently present. Councilmember Pine will follow up with what the City can do, but noted that it may be under state jurisdiction.
7. Kawili Street: Resident Marie Lawen gave an update regarding a grading violation issue reported at the June 2016 meeting. Lawen noted that a letter is being written to Governor Ige requesting the land be re-designated back to preservation and will include a petition. Lawen urged interested residents to sign the petition.
8. Pluermia Trees: Resident Jack DeFeo noted concern with the method of trimming done to the plumeria trees by the ENV.

Chair Paaluhi moved the order of the agenda to item 3.2

Appointment of Committee and Committee Chairs – Chair Paaluhi appointed Endo to Chair the Education, Safety, and Health Committee. Chair Paaluhi appointed Koike to Chair the Parks, Recreation, and Customer Service Committee. Chair Paaluhi appointed Poe and Koike as Co-Chairs for the Hawaiian Affairs, Business, Economic Development, and Tourism Committee. Chair Paaluhi appointed Paaluhi and Cachola as Co-Chairs for the Housing Committee. Chair Paaluhi appointed Cachola and Gates as Chairs for the Transportation Committee.

Hearing no objections Chair Paaluhi moved the order of the agenda to item 6.4

COMMUNITY REPORTS (continued)

Mayor Kirk Caldwell's Representative – Deputy Director of the Honolulu Emergency Services Department (HESD), Ian Santee, reported the following:

- Abandoned Vehicles: Abandoned and Derelict Vehicles may be reported to the Motor Vehicle Control Abandoned Vehicle Section at 768-2530 or online at <http://www3.honolulu.gov/csdavcomplaints/>. Depending on the situation, the vehicle could be cited or towed.

- Modular Housing Project: Per Director Nakata of DCS, the department requested to defer the item till the next meeting. The Homeless Initiative Coordinator was out of town but will contact board member (BM) Gates when he returns.
- Hau Trees: The Department of Parks and Recreation (DPR) received numerous complaints regarding the Hau bushes at Mauna Lahi Lahi. After investigating, DPR maintenance crews trimmed the bushes.
- Illegal Construction: DPP found that no construction is going on at tax map key (TMK) 8-6-001: 011. However there is grading work and a Notice of Violation No. 2016/NOV-06-011 was issued by the Site Development Division for grading work without a permit.
- Sprinkler System: DPR's maintenance crew repaired the previously noted sprinkler system leak on Tuesday, June 14, 2016.

Questions, comments, and concerns followed:

1. Modular Housing: Kila and multiple residents voiced displeasure with the modular housing project Waianae. Poe voiced similar concerns and urged the board to re-evaluate the current board process to ensure better service to the community.
2. Signs: Kaliko requested more signs in the community to make sure the public is aware of speed limits and parking regulations.
3. Ala Akau Street: Resident Linda Asato asked when road work on Ala Akau Street, regarding the nearby solar farm, would be complete and if the project's permit allows them to dig up the road and prohibit parking along Ala Akau Street. Asato noted the road work and parking prohibitions were never brought to the community.
4. Hau Trees: DeFeo and Deputy Santee clarified that DPR had cut the Hau trees.
5. Waianae District Park: Joanna Ramos asked for the completion date for repairs to the Waianae District Park.
6. Plantation Road: Karen Awana asked if something can be done to mitigate the unsafe conditions for pedestrians on Plantation Road due to limited visibility on a bend near Ho'opuhi Street. Awana noted that several children have nearly been hit or run over by vehicles at the bend.
7. Wind Farms: R. Kawelo asked if Mayor Caldwell supports the proposed wind farm projects.
8. Thanks: Wahilani and Chair Paaluhi thanked Deputy Santee for being present. Wahilani urged Mayor Caldwell to be present in the Waianae community. Kila urged Mayor Caldwell be present at the next Housing Committee meeting.

Chair Paaluhi called for adjournment. Poe noted the presence of presenters still on the agenda. Chair Paaluhi move the agenda to item 6.2

U.S. Army 25th Infantry Division – Major Ryan Bell reported the following:

- Makua: The next Makua Cultural Access dates are Saturday, July 9, 2016 and Sunday, July 17, 2016.
- Rim of the Pacific (RIMPAC): RIMPAC exercises will be occurring throughout July 2016. Concerned residents can call the Army Garrison's Public Relations office with any questions.
- Outreach: The Army will continue their school partnership programs in August 2016 and will work with the Protectors of Paradise regarding beach clean-up.

Questions, comments, and concerns followed: Live Fire: Wahilani asked and Major Bell responded that there will be live fire exercises conducted at the Marine Corps Base Hawaii (MCBH) in Kaneohe, but is unaware of anything planned for the Waianae Coast. Major Bell will follow up.

Department of Land and Natural Resources (DLNR) – Eric Yuasa gave a brief presentation regarding a fencing project DLNR is undertaking near Waianae High School. The fence will run along the east side of the access road near the school's baseball field. The fence will be about 7,760 feet long and cost \$51,696 to be done by Site Engineering. The project is scheduled to begin Sunday, Jul 10, 2016 and be completed by Saturday, July 30, 2016.

Questions, comments, and concerns followed: Gates: Endo asked and a DLNR representative noted that conversations have been held with both the homeless encampment and Waianae High School. The fencing will begin at the backstop and will not encompass the entire access road.

Representative Jo Jordan – Representative Jordan circulated a newsletter and reported the following:

- Vetos: A list of the bills planned to be vetoed by Governor Ige was provided on the handout. Representative Jordan urged the community to contact the Governor's office with their concerns.

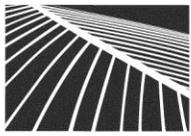
- Pop-Up Meetings: Representative Jordan will be holding pop-up meetings and the first will be held on Thursday, July 7, 2016 at 10:00 a.m. to 12:00 p.m. at the Waianae Public Library. Another will be held on Wednesday, July 27, 2016 at Waianae Public Library beginning at 6:00 p.m.
- Waianae Schools: Waianae Elementary School was released \$950,000 to build an administration building. Waianae High School has the environmental assessment (EA) out for proposed bleachers.
- Bureau of Ocean Energy Management (BOEM): Representative Jordan stated the community could support their testimony online. A community meeting date is still to be determined.

Senator Maile Shimabukuro – Ed Burke circulated a report and urged the community to contact Senator Shimabukuro's office with any suggestions for legislation. Burke noted that Senator Shimabukuro is currently working on a secondary access route for the Waianae Coast.

Governor David Ige's Representative – Deputy Director for the Department of Hawaiian Homelands (DHHL), William Aila Jr., provided a handout and reported that Governor Ige plans to have the state on 100% clean energy by 2025. Energy efficiency measures will be combined with new technology to reach this goal. Deputy Aila noted that Governor Ige is currently neutral in regards to the discussion of the new off-shore wind turbines. The Capitol Connections can be found at www.hawaii.governor.gov.

The meeting adjourned at 10:00 p.m.

Submitted by: Relley Araceley, Neighborhood Assistant
Reviewed by: Stephen Saito; Neighborhood Assistant
Reviewed and Finalized by: Cedric Gates, Chair



DRAFT MEETING NOTES

PRINCIPALS

THOMAS S. WITTEN, FASLA
Chairman

R. STAN DUNCAN, ASLA
President

RUSSELL Y. J. CHUNG, FASLA, LEED®AP BD+C
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W. FRANK BRANDT, FASLA
Chairman Emeritus

ASSOCIATES

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Managing Director - Hilo

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DATE: July 19, 2016

MEETING DATE: July 5, 2016

PRESENT: Wai‘anae Coast Neighborhood Board
Representatives of Alternative Structures Inc.
General Public

DISTRIBUTION: Prepared for inclusion in Draft EA (TO BE REPLACED
WITH BOARD NOTES UPON APPROVAL)

SUBJECT: Meeting Agenda Item pertaining to the Community
Training Kitchen at Ohana Ola

Alternative Structures, Inc. (doing business as Kahumana) presented the proposed Community Training Kitchen at Ohana Ola to the public and the Wai‘anae Coast Neighborhood Board at the Board’s meeting of July, 2016. Presenting for Kahumana was Tom McDonald, Executive Director.

Tom described Kahumana’s mission: to end family homelessness; to provide educational and employment opportunities for individuals who are homeless; to provide educational and employment opportunities for individuals with developmental challenges; and farming/food security for the community.

He described the proposed kitchen: 2,000-3,000 square foot building adjacent to the existing Ohana Ola residential development. The Kitchen is a necessary component at Ohana Ola in that it provides job training to residents. Tom further described that the Kitchen is needed to continue a keiki lunch program that currently feeds underprivileged school children each day. Currently, the keiki lunches are prepared at the Kitchen at Ulu Ke Kukui, a DHHL owned property in Mā‘ili. The lease at Ulu Ke Kukui is expiring in 2018. The kitchen at Ulu Ke Kukui is also limited in space. Therefore, to continue the program uninterrupted and eventually expand, Kahumana is proposing to construct the Kitchen of an adequate size on lands they have better control. The proposed location is advantageous in that it provides walkable access from Ohana Ola, where most of the trainees reside.

Questions/Comments from the Board:

Koike: How many meals are prepared and is local produce used?

Tom McDonald: The Kitchen serves about 1,100 keiki meals per day and there is demand for more. Local produce is used. All of the eggs used in the keiki lunches come from chickens at Kahumana. Greens also come from kahumana Kalo comes from Ka‘ala farms, and other produce is sourced as much as possible from nearby farms.

MEETING NOTES
WAI'ANAЕ COAST NEIGHBORHOOD BOARD
JULY 5, 2016

Endo: Where do the residents at Ohana Ola come from? Are they all Wai'anae families? How is the residential facility funded?

Tom McDonald: Residents are homeless families from O'ahu, predominantly from the leeward coast, but not exclusively. Funding comes from a State stipend as well as contributions from the families.

Poe: Will the program be coordinated with other culinary job training/educational efforts such as community colleges and culinary arts majors?

Tom McDonald: There is nothing formal set up now, but Susan Austin at Kahumana has successfully attracted grant monies for a job coach. The job coach position will help with outplacement of the Kitchen trainees, which could include coordination with culinary arts programs. Restaurants in Ko'olina are known to hire former Kitchen trainees.

Gates: Expressed appreciation for the programs that Kahumana provides.

Cachola: Inquired about the land designation of agriculture and if the Kitchen is permitted at this location. Is an Environmental Assessment going to be prepared?

Tom McDonald: Introduced Catie Cullison, a planner from PBR Hawaii & Associates, Inc. Catie explained that the housing, Ohana Ola has been approved under the State 201H process for low-income housing. Section 201H of the Hawaii Revised Statutes allows for exemptions from certain land use requirements. The Kitchen is planned to be submitted to the City and County of Honolulu for review under this process as a "Community Facility" associated with the established Ohana Ola. She added that an EA will be available for review in the near future, and Kahumana can notify the NB when it is available for public comment.

Comments/Questions from the Community:

Community Member #1: Comments regarding the dire need to serve Wai'anae families; the need for summer programs for kids; suggesting that the housing at Ohana Ola could have been two stories to accommodate more families; need for more employment.

Community Member #2: Former Ulu Ke Kukui resident. Concerns about anything that is funded by USDA as rent rates have risen which has been a problem for some residents at Ulu Ke Kukui.

Community Member #3: Member Makaha Hawaiian Civic Club. Expressed support for the project. Has long-time knowledge of Kahumana, its founders, and the service they provide to the community.

Community Member #4: Former resident of Ulu Ke Kukui. Expressed that her family did not get enough support from the case managers at Ulu Ke Kukui.



WAIANAE COAST NEIGHBORHOOD BOARD NO. 24

c/o NEIGHBORHOOD COMMISSION • 530 SOUTH KING STREET ROOM 406 • HONOLULU, HAWAII, 96813
PHONE (808) 768-3710 • FAX (808) 768-3711 • INTERNET: <http://www.honolulu.gov/nco>

REGULAR MEETING AGENDA

Tuesday, July 5, 2016
6:30 p.m. – 9:30 p.m.
Waianae District Park – Multi-Purpose Room
85-601 Farrington Highway

Rules of Speaking: Anyone wishing to speak is asked to raise their hand, and when recognized by the Chair, to address comments to the Chair. Speakers are encouraged to keep their comments under three (3) minutes, and those giving reports are urged to keep their reports to three (3) minutes or less. Please silence all electronic devices.

Note: The Board may take action on any agenda item. As required by the State Sunshine Law (HRS 92), specific issues not noted on this agenda cannot be voted on, unless added to the agenda.

All written testimony must be received in the Neighborhood Commission Office 48 hours prior to the meeting. If within 48 hours, written and/or oral testimony may be submitted directly to the board at the meeting. **If submitting written testimony, please note the board and agenda item(s) your testimony concerns.** Send to: Neighborhood Commission Office, 530 South King Street, Room 406, Honolulu, HI 96813. Fax: (808) 768-3711. Email: nbttestimony@honolulu.gov

Please note the change of the meeting start time to 6:30 p.m.

1. **Call to Order:** Cedric Asuega Gates, Chair
2. **Pule**
3. **Board Elections**
 - 3.1 Election of Board Officers
 - 3.2 Appointment of Committee and Committee Chairs
 - 3.3 Filling of one (1) At-Large Vacancy
4. **Public Safety Reports:** (Allocated time: 35 minutes)
 - 4.1 Honolulu Police Department (HPD)
 - 4.2 Honolulu Fire Department (HFD)
5. **New Business:** (Testimony limited to two (2) minutes)
 - 5.1 Kahumana Farms, Community Training Kitchen Facility – Presentation by Tom McDonald, Executive Director
 - 5.2 Update on proposed Off-Shore Wind Turbines at Ka'ena Point
 - 5.3 Update on City and County of Honolulu's Modular Housing Unit Project across of Wai'anae High School
6. **Community Reports:**
 - 6.1 Board of Water Supply (BWS)
 - 6.2 U.S. Army 25th Infantry Division
 - 6.3 Department of Land and Natural Resources
 - 6.4 Mayor Kirk Caldwell's Representative
 - 6.5 Councilmember Kymberly Pine
7. **Board Committees and Membership:**
 - 7.1 Education Committee: Calvin Endo and Kellen Smith

- 7.2 Parks, Recreation, and Customer Service: Ken Koike
- 7.3 Hawaiian Affairs, Business, Economic Development, and Tourism: Shar Poe
- 7.4 Housing Committee: Marcus Paaluhi
- 7.5 Transportation Committee: Cedric Gates and Julie Cachola

- 8. Board Administration:** (Allocated time: 30 minutes)
- 8.1 Approval of the June 7, 2016 regular meeting minutes
 - 8.2 Treasurer's Report

9. Reports of Members' Attendance at Other Meetings

- 10. Residents'/Community Concerns:** (Limited to two (2) minutes each.)
Items that are not listed on the agenda may be discussed but no Board action may be taken.

- 11. Elected Officials or their Representatives:** (Limited to three (3) minutes each)
- 11.1 Governor David Ige's Representative
 - 11.2 State Senator Maile Shimabukuro
 - 11.3 State Representative Jo Jordan
 - 11.4 State Representative Andria Tupola

- 12. Announcements:**
- 12.1 The next regular meeting of the Waianae Neighborhood Board No. 24 is scheduled for Tuesday, July 5, 2016, 7:00 p.m. at the Waianae District Park Meeting Room.

13. Adjournment

A mailing list is maintained for interested persons and agencies to receive this Board's agenda and minutes. Additions, corrections, and deletions to the mailing list may be directed to the Neighborhood Assistant, Relley Araceley, Honolulu Hale, 530 South King Street, Room 406, Honolulu, Hawaii 96813; Telephone: (808) 768-3790, Fax: (808) 768-3711, or Email: relley.araceley@honolulu.gov; Agendas and minutes are also available on the internet at www.honolulu.gov/nco.

Any individual wishing to attend a Neighborhood Board meeting who has questions about accommodations for a physical disability or a special physical need should call the NCO at 768-3710 between 8:00 a.m. and 4:00 p.m., at least 24 hours before the scheduled meeting.



September 9, 2015

Councilmember Kymberly Pine
Honolulu City Council – District One
530 South King Street, Room 202
Honolulu, HI 96813

SUBJECT: Project to Build a Community Training Kitchen

Dear Councilmember Pine:

I am writing to ask you to support Alternative Structures International, dba Kahumana, in our efforts to build a Community Training Kitchen in Waianae. The proposed Kitchen will provide opportunities for homeless, extremely low-income, or developmentally disabled people to gain vocational skills and work experience. As Oahu's homeless population continues to swell, this program will offer a crucial stepping stone to people working toward financial independence.

The proposed site for the new facility is Ohana Ola O Kahumana (Ohana Ola). You may recall that Ohana Ola is one of Kahumana's two transitional housing programs for homeless families with minor, dependent children. At any given time, Ohana Ola provides housing and wrap-around services for 48 homeless families. It is a successful program that enables 70% of participants to secure permanent housing in two or less years, and to remain in permanent housing at least 6 months after leaving the program.

The new Community Training Kitchen will be located on an undeveloped portion of Ohana Ola. Based on preliminary estimates, it will have 7,000-to-9,000 square feet under roof and a parking/loading area for about a dozen vehicles. (Please see the attached Project Site Plan.)

Kahumana leases the Ohana Ola property from the City & County of Honolulu, Department of Community Services (DCS). This lease will expire in 2054, by which time we expect to purchase the

(Continued)

Alternative Structures International, dba Kahumana, dba Kahumana Community Center, dba
Kahumana Organic Farm & Café, dba Ohana Ola 'O Kahumana and Ulu Ke Kukui Transitional
Homeless Shelters for Families with Children

Business Office: 86-660 Lualualei Homestead Road, Waianae 96792

(808) 696-2655 Fax (808) 696-6608

property. The lot has two entrances with separate street addresses: 86-704 Lualuelei Homestead Road and 86-433 Kuwale Road, Waianae, HI 96792. The Tax Map Key is 8-6-006:001. Next to Ohana Ola is Kahumana's main campus, which includes an organic farm as well as a program for people with developmental disabilities. The attached Aerial View shows Kahumana's proximity to Ohana Ola.

Project Background: Ohana Ola is located in an AG-1 Restricted Agricultural District. It was developed in two phases with City Council Resolutions exempting the projects from certain planning, zoning, and development standards. Resolution 89-351 for Phase I was adopted on August 9, 1989, and Resolution 00-198, CD1 for Phase II was adopted on October 18, 2000.

Together, Phases I and II occupy a little less than half of the 12.382 acre property, leaving approximately 6.5 acres undeveloped. We plan to create an organic farm on most of the undeveloped land while reserving a small portion for the proposed Kitchen.

The new facility will replace an existing kitchen at Kahumana's second transitional housing complex, Ulu Ke Kukui. This existing kitchen trains over 20 unemployed, homeless, or developmentally disabled people annually. Their training takes place as the kitchen fulfills meal contracts for approximately 1,100 underprivileged children per school day. It is a productive program with high potential for growth: we estimate that the kitchen could add the full-time equivalent of up to 16 vocational training positions by increasing meal contracts to 1,500 per day. Unfortunately, expansion is not possible given the existing kitchen's cramped quarters. Moreover, the lease for Ulu Ke Kukui will expire in 2019, leaving the kitchen's future uncertain. We are thus planning to build a new, larger facility at Ohana Ola.

Project Goals: The goals of this project are to gain a larger, multi-kitchen facility and to have long-term site control of that facility in order to retain and expand our kitchen program. A comprehensive vision for the new facility includes three sections:

1. A Central Kitchen that accommodates a vocational training program, where participants fulfill meal contracts for underprivileged children;
2. An Instructional Kitchen for culinary/vocational skills training and healthy cooking classes that benefit participants in our programs for homeless families and people with developmental disabilities, and other low-income residents;
3. Community Incubator Training Kitchens (up to three kitchens with storage) used by low-income or unemployed residents developing food-based micro-enterprises.

Project Site Advantages: Situating the new facility at Ohana Ola will offer several advantages to residents in the transitional housing complex, who often cannot afford to own cars or pay for bus fare. They will be able to walk to the Kitchen for work, culinary/vocational skills training, and healthy cooking classes. They will also be within walking distance of two organic farms: one that is being planned for the remaining undeveloped land at Ohana Ola, and Kahumana's existing six-acre farm adjacent to Ohana Ola. The close proximity of the new Kitchen, housing complex, and farms will create innumerable opportunities for educating participants about the farm-to-table process. It will also streamline the process of incorporating fresh farm produce into the Kitchen's meals for underprivileged children.

(continued)

Councilmember Kymberly Pine
September 9, 2015
Page 3 of 3

Further Benefits: In addition, the new facility will enable Kahumana to support unemployed, low-income, and/or homeless residents who are trying to improve their financial future by developing food-based micro-enterprises. We continue to receive inquiries from local residents seeking the use of a licensed kitchen to develop small businesses such as food trucks. The new facility will respond to this need by providing up to three Community Incubator Training Kitchens (with accompanying cold/dry storage) that will be rented on an hourly basis for a minimal fee to low-income or unemployed individuals. These individuals will need to qualify under income guidelines similar to those used by the transitional housing program.

Coordination with Government Agencies: We have received a conditional letter of approval to proceed with this project from DCS. Final DCS approval will depend on obtaining all necessary permits and approvals from the Department of Planning and Permitting (DPP), and submitting final drawings that meet DCS' requirements. We anticipate working with DCS in the coming months to draft a City Council Resolution exempting the project from certain planning, zoning, and development standards.

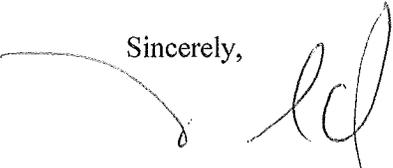
Our initial meeting with DPP was also encouraging. Director George Atta and several other staff members were receptive to the project concept and to working with us as we navigate the permitting process.

Further, we are pleased to report that the area should have sufficient water for the new facility. This determination is based on an engineer's consultation with the Board of Water Supply.

Next Steps: Our next steps are to arrange for an environmental assessment of the proposed site and seek input from Ohana Ola's neighbors. We are also contacting elected officials such as you to explain the merits of this project. Once we have gained significant community support, we will make a presentation to the Waianae Coast Neighborhood Board and launch a capital campaign.

I would like to meet with you to discuss our proposed Community Training Kitchen. Someone from my staff will be contacting you shortly to set up a meeting. In the meantime, if you have any questions regarding this letter, please feel free to call me at 696-2655.

Sincerely,



Tom McDonald
Executive Director

Attachments

1. Project Site Plan
2. Aerial View of Ohana Ola O Kahumana and Kahumana's Main Campus



September 9, 2015

Senator Maile Shimabukuro
Senate District 21
Hawaii State Capitol, Room 222
415 S. Beretania Street
Honolulu, HI 96813

SUBJECT: Project to Build a Community Training Kitchen

Dear Senator Shimabukuro:

I am writing to ask you to support Alternative Structures International, dba Kahumana, in our efforts to build a Community Training Kitchen in Waianae. The proposed Kitchen will provide opportunities for homeless, extremely low-income, or developmentally disabled people to gain vocational skills and work experience. As Oahu's homeless population continues to swell, this program will offer a crucial stepping stone to people working toward financial independence.

The proposed site for the new facility is Ohana Ola O Kahumana (Ohana Ola). You may recall that Ohana Ola is one of Kahumana's two transitional housing programs for homeless families with minor, dependent children. At any given time, Ohana Ola provides housing and wrap-around services for 48 homeless families. It is a successful program that enables 70% of participants to secure permanent housing in two or less years, and to remain in permanent housing at least 6 months after leaving the program.

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(continued)

Senator Maile Shimabukuro
September 9, 2015
Page 3 of 3

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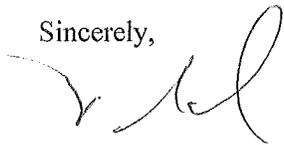
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I would like to meet with you to discuss our proposed Community Training Kitchen. Someone from my staff will be contacting you shortly to set up a meeting. In the meantime, if you have any questions regarding this letter, please feel free to call me at 696-2655.

Sincerely,

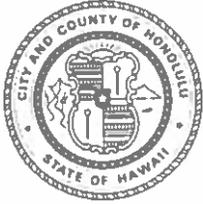


Tom McDonald
Executive Director

Mahalo, Maile!

Attachments

1. Project Site Plan
2. Aerial View of Ohana Ola O Kahumana and Kahumana's Main Campus



CITY COUNCIL
CITY AND COUNTY OF HONOLULU
530 SOUTH KING STREET, ROOM 202
HONOLULU, HAWAII 96813-3065
TELEPHONE: (808) 768-5010 • FAX: (808) 768-5011

KYMBERLY MARCOS PINE
COUNCILMEMBER, DISTRICT 1
TELEPHONE: (808) 768-5001
EMAIL: kmpine@honolulu.gov

Jun 3, 2016

Tom McDonald
Executive Director
Kahumana
86-660 Luualualei Homestead Road
Waianae, HI 96792

SUBJECT: Letter of Support for Proposed Community Training Kitchen

Dear Tom,

It is my pleasure to provide this letter of support for the proposed Community Training Kitchen at Ohana Ola O Kahumana in Waianae.

This project to expand vocational training opportunities for homeless or extremely low-income residents, and to increase Kahumana's meal service for underprivileged children addresses the growing need for these types of programs on the Waianae Coast. I am extremely pleased with the opportunities this project will provide.

The proposed project site on an undeveloped portion of the Ohana Ola property (located in an AG-1 Restricted Agricultural District) is an appropriate use to support ongoing agricultural operations at the farm. Its proximity to the existing array of social services, social ventures, and training venues operated by Kahumana is a perfect fit for the overall program.

Kahumana continues to serve the community with great vision; they understand the needs of the community and are creating opportunities that will provide long-term benefits.

I greatly appreciate and support the commitment of Kahumana to the Waianae Coast and I look forward to their continued success in our community.

Sincerely,

A handwritten signature in black ink, appearing to read "Kymberly", is written over a faint, larger version of the same signature.

KyMBERLY MARCOS PINE
Councilmember, District 1



The Senate

STATE CAPITOL
HONOLULU, HAWAII 96813

October 26, 2015

Waianae Coast Neighborhood Board No. 24
c/o Neighborhood Commission
530 South King Street, Room 406
Honolulu, HI 96813

RE: Support for Kahumana's Proposed Community Training Kitchen in Waianae

Dear WCNB Members:

I am writing to express my support for the project by Alternative Structures International, dba Kahumana, to build a Community Training Kitchen in Waianae. The proposed kitchen will provide much-needed opportunities for homeless, extremely low-income, or developmentally disabled people to gain vocational skills and work experience. As our island community continues to struggle with the homeless crisis, this program will offer a crucial stepping stone to people working toward financial independence.

Kahumana is a well-respected non-profit organization in the Waianae community. Kahumana has helped thousands of residents through its transitional housing programs for homeless families (Ohana Ola O Kahumana and Ulu Ke Kukui) and holistic program for people with developmental disabilities (Hale Lana O Kahumana). Kahumana is also experienced in providing program participants with culinary and food service training at its café and small commercial kitchen. This new multi-kitchen facility will enable Kahumana to train larger numbers of unemployed/low-income individuals while also providing incubator kitchens for low-income residents developing food-based micro-enterprises.

Kahumana will ask the Waianae Coast Neighborhood Board to be put on the agenda in the next few months. I urge you to join me in supporting this project when they make their presentation. If you would like to learn more about the project before then, please contact Susan Austin in Kahumana's Development Office at 696-2655 or saustin@ASI-Hawaii.org.

Sincerely,

Maile S.L. Shimabukuro
Senator
Hawaii State District 21

Office of State Senator Maile S.L. Shimabukuro - Hawaii Senate District 21
Wai'anae Coast ❖ Ko Olina ❖ Honokai Hale ❖ Kalaeloa
415 S. Beretania Street, Room 222, Honolulu, Hawaii 96813
(808) 586-7793 ❖ (808) 586-7797 FAX ❖ senshimabukuro@capitol.hawaii.gov ❖ 21maile.com



November 3, 2015

Herb Farm Inc.
c/o Tak Fai Ho
1074 Rue Des Trappistes
Winnipeg, Manitoba R3V-1B8
CANADA

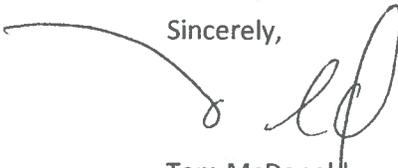
Dear Mr. Ho:

We are contacting you as the land owner of the lot next to Ohana Ola O Kahumana, which is located at 86-433 Kuwale Road. As you may be aware, Ohana Ola O Kahumana is a transitional housing program for homeless families with children. We are currently making plans for the unfinished portion of the property, and we would like an opportunity to inform you about our plans.

If you are interested in receiving information about our plans for Ohana Ola O Kahumana, please contact Susan Austin at saustin@asi-hawaii.org or at the mailing address below.

Your input is very important to us. We look forward to hearing from you.

Sincerely,



Tom McDonald
Executive Director

Alternative Structures International, dba Kahumana, dba Kahumana Community Center, dba
Kahumana Organic Farm & Café, dba Ohana Ola 'O Kahumana and Ulu Ke Kukui Transitional
Homeless Shelters for Families with Children
Business Office: 86-660 Lualualei Homestead Road, Waianae 96792
(808) 696-2655 Fax (808) 696-6608



November 3, 2015

Mr. George K. Asato
2508 Awalii St.
Pearl City, HI 96782

Dear Mr. Asato:

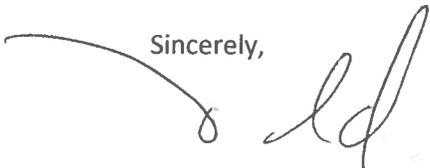
We are contacting you as a land owner of a property on Kuwale Road. Our transitional housing program for homeless families with children, Ohana Ola O Kahumana, is located at 86-433 Kuwale Road. We are currently making plans for the unfinished portion of Ohana Ola O Kahumana, and we would like an opportunity to speak with you about our plans.

We could either visit you at your home or meet you at your property on Kuwale Road. We will be visiting homes on Kuwale Road on Tuesday, November 17, between 12:30 p.m. – 3:30 p.m. If you would rather have us stop by your home, we will be making house calls outside of Waianae on Wednesday, November 18, between 1:00 p.m. – 3:00 p.m.

Please call Susan Austin at 696-2655 to let us know the best way to contact you. You may also request an alternate date and time, or leave a phone number if you prefer to be reached by phone.

Your input is very important to us. We look forward to hearing from you.

Sincerely,


Tom McDonald
Executive Director

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November 3, 2015

Mr. Chi Jen Su
91-1002 Hooilo Place
Ewa Beach, HI 96706

Dear Mr. Su:

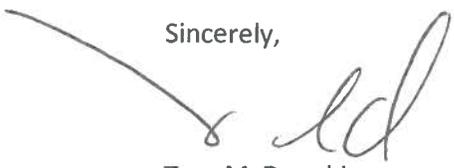
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Sincerely,



Tom McDonald
Executive Director

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November 3, 2015

Mr. Ronald F. Timbreza
91-1019 Waaula St., #C
Kapolei, HI 96707

Dear Mr. Timbreza:

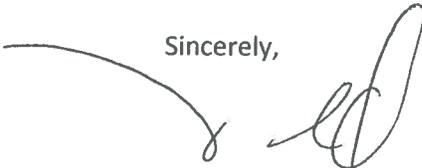
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November 3, 2015

The Divine Church of God
c/o Leatrice Maiava
92-554 Akaula Street
Kapolei, HI 96707

Dear Ms Maiava:

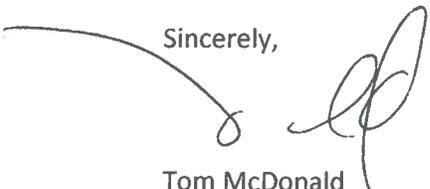
We are contacting you as a land owner of a property on Kuwale Road. Our transitional housing program for homeless families with children, Ohana Ola O Kahumana, is located at 86-433 Kuwale Road. We are currently making plans for the unfinished portion of Ohana Ola O Kahumana, and we would like an opportunity to speak with you about our plans.

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Please call Susan Austin at 696-2655 to let us know the best way to contact you. You may also request an alternate date and time, or leave a phone number if you prefer to be reached by phone.

Your input is very important to us. We look forward to hearing from you.

Sincerely,


Tom McDonald
Executive Director

Alternative Structures International, dba Kahumana, dba Kahumana Community Center, dba
Kahumana Organic Farm & Café, dba Ohana Ola 'O Kahumana and Ulu Ke Kukui Transitional
Homeless Shelters for Families with Children
Business Office: 86-660 Lualualei Homestead Road, Waianae 96792
(808) 696-2655 Fax (808) 696-6608



November 3, 2015

Neighbor
86-445 Kuwale Rd.
Waianae, HI 96792

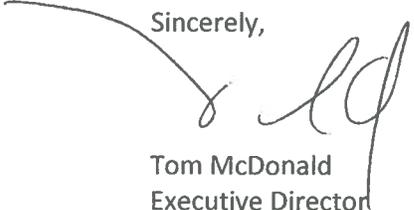
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Executive Director

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November 3, 2015

Neighbor
86-401 Kuwale Rd.
Waianae, HI 96792

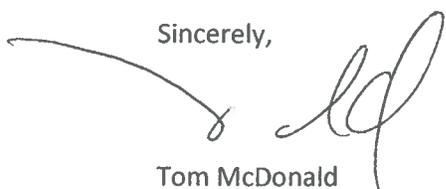
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Executive Director

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November 3, 2015

Neighbor
86-446A Kuwale Rd.
Waianae, HI 96792

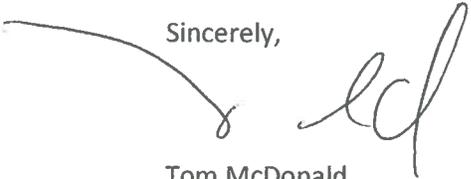
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November 3, 2015

Neighbor
86-440 Kuwale Rd.
Waianae, HI 96792

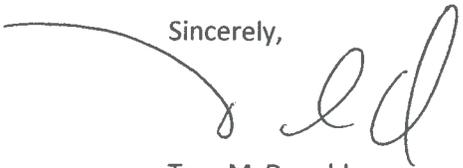
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Homeless Shelters for Families with Children
Business Office: 86-660 Lualualei Homestead Road, Waianae 96792
(808) 696-2655 Fax (808) 696-6608



November 3, 2015

Gwendolyn F. Akau
86-430 Kuwale Rd.
Waianae, HI 96792

Dear Ms Akau:

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Homeless Shelters for Families with Children
Business Office: 86-660 Lualualei Homestead Road, Waianae 96792
(808) 696-2655 Fax (808) 696-6608



November 3, 2015

Roy & Mary Yoshikawa
86-424 Kuwale Rd.
Waianae, HI 96792

Dear Mr. & Mrs. Yoshikawa:

As you may know, Ohana Ola O Kahumana is a transitional housing program for homeless families with children. We are located in your neighborhood at 86-433 Kuwale Road. We are currently making plans for the unfinished portion of our property and we would like an opportunity to speak with you about our plans.

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Homeless Shelters for Families with Children
Business Office: 86-660 Lualualei Homestead Road, Waianae 96792
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November 3, 2015

Mr. Jimmy Lorenzo
86-416 Kuwale Rd.
Waianae, HI 96792

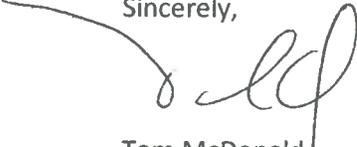
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(808) 696-2655 Fax (808) 696-6608



May 31, 2016

Herb Farm Inc.
c/o Tak Fai Ho
1074 Rue Des Trappistes
Winnipeg, Manitoba
R3V 1B8
CANADA

Dear Mr. Ho:

Our presentation to the Waianae Coast Neighborhood Board has been changed from their meeting on June 7th to their meeting on July 5th. We will be discussing our plans to add a Community Training Kitchen to Ohana Ola O Kahumana (Ohana Ola) transitional housing for homeless families. The project site is located on an undeveloped portion of Ohana Ola, at 86-433 Kuwale Road.

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If you are interested in learning more about our project, please join us at the Waianae Coast Neighborhood Board meeting:

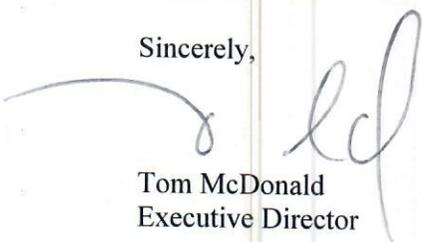
Tuesday, July 5, 2016

7:00 p.m.

Waianae District Park – Multi-Purpose Room
85-601 Farrington Highway

We look forward to seeing you there!

Sincerely,



Tom McDonald
Executive Director



May 31, 2016

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Tuesday, July 5, 2016

7:00 p.m.

Waianae District Park – Multi-Purpose Room
85-601 Farrington Highway

We look forward to seeing you there!

Sincerely,

Tom McDonald
Executive Director



May 31, 2016

Ronald F Timbreza
91-1019 Waaula Street, #C
Kapolei, HI 96707

Dear Mr. Timbreza:

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Tom McDonald
Executive Director



May 31, 2016

Neighbor
86-445 Kuwale Road
Waianae, HI 96792

Dear Neighbor:

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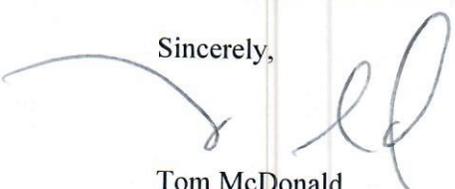
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Waianae District Park – Multi-Purpose Room
85-601 Farrington Highway

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Sincerely,



Tom McDonald
Executive Director



May 31, 2016

Neighbor
86-401 Kuwale Road
Waianae, HI 96792

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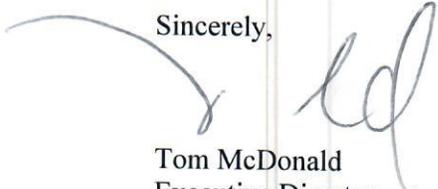
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85-601 Farrington Highway

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Sincerely,



Tom McDonald
Executive Director



May 31, 2016

Neighbor
86-446A Kuwale Road
Waianae, HI 96792

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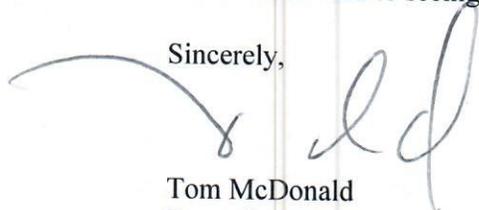
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85-601 Farrington Highway

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Tom McDonald
Executive Director



May 31, 2016

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86-440 Kuwale Road
Waianae, HI 96792

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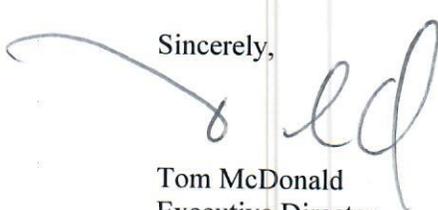
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Waianae District Park – Multi-Purpose Room
85-601 Farrington Highway

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Sincerely,



Tom McDonald
Executive Director



May 31, 2016

The Divine Church of God
c/o Leatrice Maiava
92-554 Akaula Street
Kapolei, HI 96707

Dear Ms Maiava:

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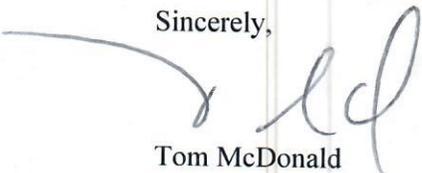
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Tuesday, July 5, 2016
7:00 p.m.
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85-601 Farrington Highway

We look forward to seeing you there!

Sincerely,



Tom McDonald
Executive Director



May 31, 2016

Mr. Jimmy C. Lorenzo
96-416 Kuwale Road
Waianae, HI 96792

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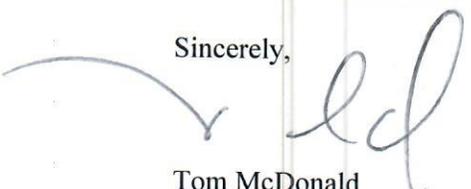
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85-601 Farrington Highway

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Sincerely,



Tom McDonald
Executive Director



May 31, 2016

Gwendolyn F. Akau
86-430 Kuwale Road
Waianae, HI 96792

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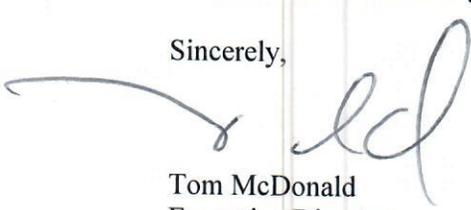
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7:00 p.m.

Waianae District Park – Multi-Purpose Room
85-601 Farrington Highway

We look forward to seeing you there!

Sincerely,



Tom McDonald
Executive Director



May 31, 2016

Mr. George K. Asato
2508 Awalii Street
Pearl City, HI 96782

Dear Mr. Asato:

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Tuesday, July 5, 2016

7:00 p.m.

Waianae District Park – Multi-Purpose Room
85-601 Farrington Highway

We look forward to seeing you there!

Sincerely,

Tom McDonald
Executive Director



May 31, 2016

Chi Jen Su
91-1002 Hooilo Place
Ewa Beach, HI 96706

Dear Mr. Su:

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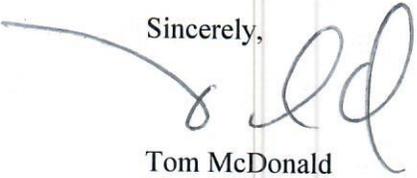
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Tom McDonald
Executive Director



May 31, 2016

Herb Farm Inc.
c/o Tak Fai Ho
1074 Rue Des Trappistes
Winnipeg, Manitoba
R3V 1B8
CANADA

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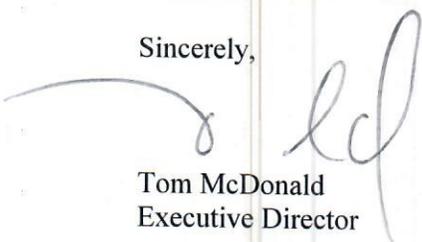
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Waianae District Park – Multi-Purpose Room
85-601 Farrington Highway

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Sincerely,


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Executive Director



May 31, 2016

Roy & Mary Yoshikawa
86-424 Kuwale Road
Waianae, HI 96792

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Tuesday, July 5, 2016

7:00 p.m.

Waianae District Park – Multi-Purpose Room
85-601 Farrington Highway

We look forward to seeing you there!

Sincerely,

Tom McDonald
Executive Director



May 31, 2016

Ronald F Timbreza
91-1019 Waaula Street, #C
Kapolei, HI 96707

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Tom McDonald
Executive Director



May 31, 2016

Neighbor
86-445 Kuwale Road
Waianae, HI 96792

Dear Neighbor:

Our presentation to the Waianae Coast Neighborhood Board has been changed from their meeting on June 7th to their meeting on July 5th. We will be discussing our plans to add a Community Training Kitchen to Ohana Ola O Kahumana (Ohana Ola) transitional housing for homeless families. The project site is located on an undeveloped portion of Ohana Ola, at 86-433 Kuwale Road.

The Community Training Kitchen will provide job training primarily for residents of Ohana Ola. Trainees will gain food-preparation skills and work experience that will help them find jobs in the larger community. This is a crucial step in securing financial independence and permanent housing for families in transition.

If you are interested in learning more about our project, please join us at the Waianae Coast Neighborhood Board meeting:

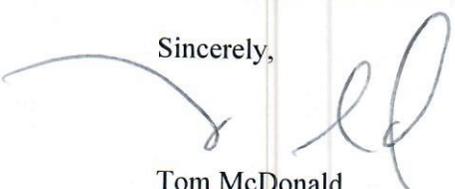
Tuesday, July 5, 2016

7:00 p.m.

Waianae District Park – Multi-Purpose Room
85-601 Farrington Highway

We look forward to seeing you there!

Sincerely,



Tom McDonald
Executive Director



May 31, 2016

Neighbor
86-401 Kuwale Road
Waianae, HI 96792

Dear Neighbor:

Our presentation to the Waianae Coast Neighborhood Board has been changed from their meeting on June 7th to their meeting on July 5th. We will be discussing our plans to add a Community Training Kitchen to Ohana Ola O Kahumana (Ohana Ola) transitional housing for homeless families. The project site is located on an undeveloped portion of Ohana Ola, at 86-433 Kuwale Road.

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If you are interested in learning more about our project, please join us at the Waianae Coast Neighborhood Board meeting:

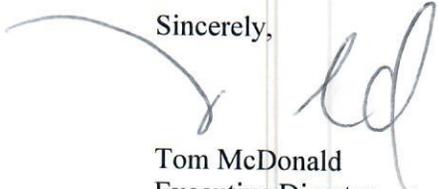
Tuesday, July 5, 2016

7:00 p.m.

Waianae District Park – Multi-Purpose Room
85-601 Farrington Highway

We look forward to seeing you there!

Sincerely,



Tom McDonald
Executive Director



May 31, 2016

Neighbor
86-446A Kuwale Road
Waianae, HI 96792

Dear Neighbor:

Our presentation to the Waianae Coast Neighborhood Board has been changed from their meeting on June 7th to their meeting on July 5th. We will be discussing our plans to add a Community Training Kitchen to Ohana Ola O Kahumana (Ohana Ola) transitional housing for homeless families. The project site is located on an undeveloped portion of Ohana Ola, at 86-433 Kuwale Road.

The Community Training Kitchen will provide job training primarily for residents of Ohana Ola. Trainees will gain food-preparation skills and work experience that will help them find jobs in the larger community. This is a crucial step in securing financial independence and permanent housing for families in transition.

If you are interested in learning more about our project, please join us at the Waianae Coast Neighborhood Board meeting:

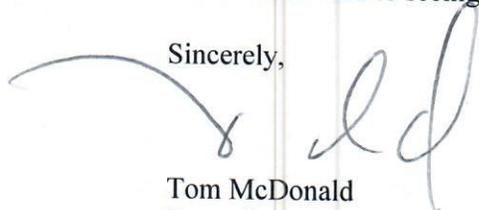
Tuesday, July 5, 2016

7:00 p.m.

Waianae District Park – Multi-Purpose Room
85-601 Farrington Highway

We look forward to seeing you there!

Sincerely,



Tom McDonald
Executive Director



May 31, 2016

Neighbor
86-440 Kuwale Road
Waianae, HI 96792

Dear Neighbor:

Our presentation to the Waianae Coast Neighborhood Board has been changed from their meeting on June 7th to their meeting on July 5th. We will be discussing our plans to add a Community Training Kitchen to Ohana Ola O Kahumana (Ohana Ola) transitional housing for homeless families. The project site is located on an undeveloped portion of Ohana Ola, at 86-433 Kuwale Road.

The Community Training Kitchen will provide job training primarily for residents of Ohana Ola. Trainees will gain food-preparation skills and work experience that will help them find jobs in the larger community. This is a crucial step in securing financial independence and permanent housing for families in transition.

If you are interested in learning more about our project, please join us at the Waianae Coast Neighborhood Board meeting:

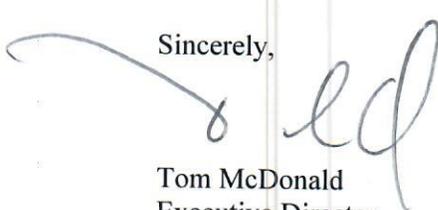
Tuesday, July 5, 2016

7:00 p.m.

Waianae District Park – Multi-Purpose Room
85-601 Farrington Highway

We look forward to seeing you there!

Sincerely,



Tom McDonald
Executive Director



May 31, 2016

The Divine Church of God
c/o Leatrice Maiava
92-554 Akaula Street
Kapolei, HI 96707

Dear Ms Maiava:

Our presentation to the Waianae Coast Neighborhood Board has been changed from their meeting on June 7th to their meeting on July 5th. We will be discussing our plans to add a Community Training Kitchen to Ohana Ola O Kahumana (Ohana Ola) transitional housing for homeless families. The project site is located on an undeveloped portion of Ohana Ola, at 86-433 Kuwale Road.

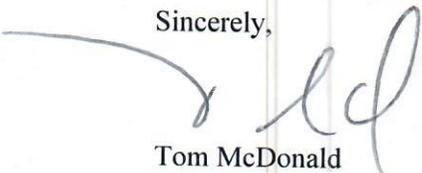
The Community Training Kitchen will provide job training primarily for residents of Ohana Ola. Trainees will gain food-preparation skills and work experience that will help them find jobs in the larger community. This is a crucial step in securing financial independence and permanent housing for families in transition.

If you are interested in learning more about our project, please join us at the Waianae Coast Neighborhood Board meeting:

Tuesday, July 5, 2016
7:00 p.m.
Waianae District Park – Multi-Purpose Room
85-601 Farrington Highway

We look forward to seeing you there!

Sincerely,



Tom McDonald
Executive Director



May 31, 2016

Mr. Jimmy C. Lorenzo
96-416 Kuwale Road
Waianae, HI 96792

Dear Mr. Lorenzo:

Our presentation to the Waianae Coast Neighborhood Board has been changed from their meeting on June 7th to their meeting on July 5th. We will be discussing our plans to add a Community Training Kitchen to Ohana Ola O Kahumana (Ohana Ola) transitional housing for homeless families. The project site is located on an undeveloped portion of Ohana Ola, at 86-433 Kuwale Road.

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If you are interested in learning more about our project, please join us at the Waianae Coast Neighborhood Board meeting:

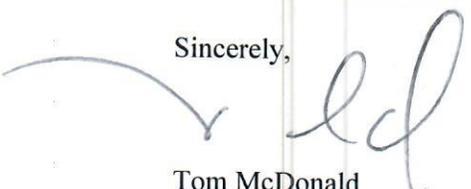
Tuesday, July 5, 2016

7:00 p.m.

Waianae District Park – Multi-Purpose Room
85-601 Farrington Highway

We look forward to seeing you there!

Sincerely,



Tom McDonald
Executive Director



May 31, 2016

Gwendolyn F. Akau
86-430 Kuwale Road
Waianae, HI 96792

Dear Ms Akau:

Our presentation to the Waianae Coast Neighborhood Board has been changed from their meeting on June 7th to their meeting on July 5th. We will be discussing our plans to add a Community Training Kitchen to Ohana Ola O Kahumana (Ohana Ola) transitional housing for homeless families. The project site is located on an undeveloped portion of Ohana Ola, at 86-433 Kuwale Road.

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If you are interested in learning more about our project, please join us at the Waianae Coast Neighborhood Board meeting:

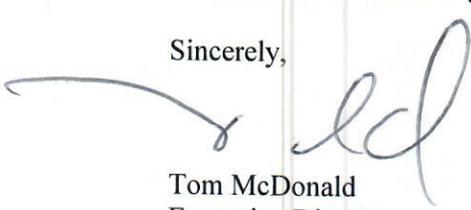
Tuesday, July 5, 2016

7:00 p.m.

Waianae District Park – Multi-Purpose Room
85-601 Farrington Highway

We look forward to seeing you there!

Sincerely,



Tom McDonald
Executive Director



May 31, 2016

Mr. George K. Asato
2508 Awalii Street
Pearl City, HI 96782

Dear Mr. Asato:

Our presentation to the Waianae Coast Neighborhood Board has been changed from their meeting on June 7th to their meeting on July 5th. We will be discussing our plans to add a Community Training Kitchen to Ohana Ola O Kahumana (Ohana Ola) transitional housing for homeless families. The project site is located on an undeveloped portion of Ohana Ola, at 86-433 Kuwale Road.

The Community Training Kitchen will provide job training primarily for residents of Ohana Ola. Trainees will gain food-preparation skills and work experience that will help them find jobs in the larger community. This is a crucial step in securing financial independence and permanent housing for families in transition.

If you are interested in learning more about our project, please join us at the Waianae Coast Neighborhood Board meeting:

Tuesday, July 5, 2016

7:00 p.m.

Waianae District Park – Multi-Purpose Room
85-601 Farrington Highway

We look forward to seeing you there!

Sincerely,

Tom McDonald
Executive Director



May 31, 2016

Chi Jen Su
91-1002 Hooilo Place
Ewa Beach, HI 96706

Dear Mr. Su:

Our presentation to the Waianae Coast Neighborhood Board has been changed from their meeting on June 7th to their meeting on July 5th. We will be discussing our plans to add a Community Training Kitchen to Ohana Ola O Kahumana (Ohana Ola) transitional housing for homeless families. The project site is located on an undeveloped portion of Ohana Ola, at 86-433 Kuwale Road.

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If you are interested in learning more about our project, please join us at the Waianae Coast Neighborhood Board meeting:

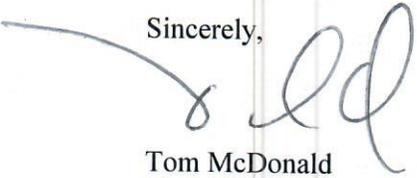
Tuesday, July 5, 2016

7:00 p.m.

Waianae District Park – Multi-Purpose Room
85-601 Farrington Highway

We look forward to seeing you there!

Sincerely,



Tom McDonald
Executive Director

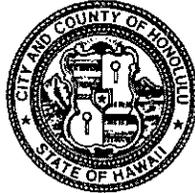
Appendix H: Draft EA Comments & Responses



DEPARTMENT OF PLANNING AND PERMITTING
CITY AND COUNTY OF HONOLULU

650 SOUTH KING STREET, 7TH FLOOR • HONOLULU, HAWAII 96813
PHONE: (808) 768-8000 • FAX: (808) 768-6041
DEPT. WEB SITE: www.honolulu.gov • CITY WEB SITE: www.honolulu.gov

KIRK CALDWELL
MAYOR



ARTHUR D. CHALLACOMBE
ACTING DIRECTOR

KATHY K. SOKUGAWA
ACTING DEPUTY DIRECTOR

2016/ELOG-1874(ASK)

September 27, 2016

Ms. Catie Cullison, AICP
PBR Hawaii
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813

Dear Ms. Cullison:

SUBJECT: Draft Environmental Assessment (EA)
Ohana Ola O Kahumana Community Trailing Kitchen
86-433 Kuwale Road - Waianae
Tax Map Key 8-6-6: 1

This is in response to the request for comments on the Draft EA for the above Project. We are currently evaluating the proposal under our rules for processing affordable housing projects under Chapter 201-H Hawaii Revised Statutes (HRS). We concur that the proposal is not anticipated to result in significant environmental impacts and that a Finding of No Significant Impact (FONSI) would be appropriate. We offer the following comments:

1. Plans

The Site Plan, Figure 9 in the Draft EA, shows a foot bridge. The Final EA should clarify if the foot bridge is existing or proposed. If it's a new structure the Final EA should include a description.

Also the Final EA should address whether meals will be served in the kitchen, or if the kitchen facility will be primarily for training and meal preparation. If available, a floor plan of the kitchen depicting the general layout of the different use areas should be included in the Final EA.

2. Land Use Policies

Section 3 of the Draft EA, "Relation to Plans and Policies," should indicate whether the Project will comply with the various plans and policies discussed. For example, the Final EA should state whether the kitchen will comply with the development standards of the AG-1 Restricted Agricultural District.

Page 36 of the Draft EA states that "agricultural products processing, minor" is permitted in the AG-1 Restricted Agricultural. While this is a correct statement, the proposed use, as described in the Draft EA, is not considered an Agricultural products processing

facility. Therefore, a more detailed discussion of the proposed use should be provided or that sentence should be removed.

Section 3.1.2 of the Draft EA related to Chapter 205, HRS should indicate if the proposal will comply with the provisions Chapter 205, HRS or if an exemption will be sought, as has been done in the past for the residential component of Ohana Ola 'O Kahumana.

3. Infrastructure and Services

The Final EA should describe the current method of solid waste disposal. Page 72 of the Draft EA indicates that refuse generated from operation of the kitchen will be recycled, composted or removed by a private contractor to a city facility. The Final EA should discuss the composting operation, its location and vector control, if needed.

We note that Kuwale Road is a 20-foot-wide city roadway. Tables 3 and 4 of the Draft EA provide "current" supply and delivery schedules for vehicles. The Final EA should provide a schedule anticipating the planned increase in meal production. Refuse collection trips should also be included.

4. Visual Impacts

Page 64 of the Draft EA discusses the visual impact of the structure, stating that landscaping will mitigate visual impacts of the proposed structure. The Final EA should provide an elevation drawing of the structure as viewed from Kuwale Road, if available, and describe the location and type of landscaping that will be provided. Also, the Final EA should state whether the parking lot will comply with landscape screening requirements of Section 21-4.70 of the Land Use Ordinance.

5. Permits and Approvals

The listed permits and approval, found in Table 1 of the Draft EA, should identify the Honolulu City Council as the approving agency for the exemptions requested under the provisions of Chapter 201H, HRS.

Please contact Ardis Shaw-Kim of our staff at (808) 768-8021, should you have any questions.

Very truly yours,



For: Arthur D. Challacombe
Acting Director



PBR HAWAII & ASSOCIATES, INC.

October 17, 2016

PRINCIPALS

THOMAS S. WITTEN, FASLA
Chairman

L. STAN DUNCAN, ASLA
President

RUSSELL Y. J. CHUNG, FASLA, LEED[®]AP BD+C
Executive Vice-President

TINCENT SHIGEKUNI
Vice-President

BRANT T. MURAKAMI, AICP, LEED[®]AP BD+C
Vice-President

DOM SCHNELL, AICP
Principal

JIMMI KAMI YUEN, LEED[®]AP BD+C
Principal

V. FRANK BRANDT, FASLA
Chairman Emeritus

ASSOCIATES

RAYMOND T. HIGA, ASLA
Senior Associate

KATIE CULLISON, AICP
Senior Associate

ROY TAKEMOTO
Managing Director - Hilo

COTT MURAKAMI, ASLA, LEED[®]AP
Associate

JACHENG DONG, LEED[®]AP
Associate

MARC SHIMATSU, ASLA
Associate

Art Challacombe
City and County of Honolulu
Department of Planning & Permitting
650 S. King Street
Honolulu, HI 96813
Attn: Ardis Shaw-Kim

SUBJECT: COMMENTS ON THE DRAFT ENVIRONMENTAL ASSESSMENT FOR COMMUNITY TRAINING KITCHEN AT OHANA OLA 'O KAHUMANA, TMK (1) 8-6-006:001

Dear Mr. Challacombe,

Thank you for your letter dated September 27, 2016 (2016/Elog-1874(ASK)) in regard to the Draft Environmental Assessment for the proposed community training kitchen.

As the planning consultant for the project proponent, Alternative Structures, Inc. (dba Kahumana), we acknowledge your comments and provide the following responses.

Plans

Your letter suggests that if the footbridge is a proposed structure that it be described in the Final EA. We confirm that it is a proposed structure and we have added this to the Final EA. Exact materials and dimensions are not known at this time.

Your letter asks if meals will be served in the Kitchen and suggests that if available, a floor plan of the kitchen be provided in the Final EA. The Kitchen will not serve meals on site. An interior floor plan will be provided in the Final EA.

Land Use Policies

We acknowledge that your letter suggests that the “Plans and Policies” section of the Final EA include discussion of compliance with the plans and policies discussed. We note that throughout this section of the Draft EA, “discussion” follows each of the stated plans and policies. We have augmented the “discussion” section pertaining to the County’s Land Use Ordinance in the FEA to better describe compliance with the Development Standards of the AG-1 Restricted Agricultural District.

We acknowledge that page 36 of the Draft EA stated that, “agricultural products processing, minor” is permitted in the AG-1 Restricted Agriculture District. We have deleted this statement from the Final EA, as it is our understanding that the Kitchen is not interpreted to be “agricultural products processing”. More accurately, the Kitchen is an extension of the Ohana Ola housing development, which was approved by the City and County of Honolulu Council (Resolutions 89-351 and 00-198, CD1). The 201H resolutions specifically identify the need for education and life skill classes as integral to Ohana Ola. An amendment to the 201H application will be submitted to the City and County of Honolulu to permit the Kitchen as a community facility. The community facility will involve training of Ohana Ola residents, and the preparation of meals for distribution to underprivileged children. It will involve small-scale processing of products from Kahumana's three organic farms located nearby: one that is being planned for the remaining undeveloped land at Ohana Ola, Kahumana's existing nine-acre farm that is adjacent to Ohana Ola, and a third farm to be developed farther up Kuwale Road.

HONOLULU OFFICE
801 Bishop Street, Suite 650
Honolulu, Hawai'i 96813-3484
Tel: (808) 521-5631
Fax: (808) 523-1402
E-mail: sysadmin@pbrhawaii.com

HILO OFFICE
719 Haleloke Street
Hilo, Hawai'i 96720-1553
Tel/Cel: (808) 315-6878

Printed on recycled paper

Mr. Art Challacombe

SUBJECT: COMMENTS ON THE DRAFT ENVIRONMENTAL ASSESSMENT FOR
COMMUNITY TRAINING KITCHEN AT OHANA OLA 'O KAHUMANA, TMK (1) 8-6-
006:001

Page 2 of 2

We acknowledge your recommendation to identify whether or not an exemption to Chapter 205 HRS will be sought. We have affirmed in the Final EA that an exemption will be sought to Chapter 205, HRS.

Infrastructure and Services

We acknowledge your request for a description of the current and proposed solid waste disposal program at Ohana Ola and the future Kitchen, including vector control, if needed. This information has been added to the Final EA.

We also acknowledge your request for an estimate of trips generated by the Kitchen given the projected increase in meals prepared. We have added this information to the Final EA.

We value your participation in the environmental review process. Your letter will be included in the forthcoming Final Environmental Assessment.

Permits and Approvals

We acknowledge that the Honolulu City Council is the approving agency for exemptions requested under the provisions of Chapter 201H, HRS, and have updated Table 1 of the FEA accordingly.

Visual Impacts

We acknowledge your request for an elevation drawing of the structure as viewed from Kuwale Road if available. Building elevation drawings will be provided in the Final EA. Your letter also asks if the landscape screening requirements of Section 21-4.70 of the LUO will be satisfied. We anticipate that all parking lot landscaping (LUO Sec. 21-4.70) and screening (LUO Sec. 21-4.70-1) will be met with the Kitchen and at this time, exemptions to these standards are not anticipated.

We thank you for your participation in the Environmental Review process.

Sincerely,



Catie Cullison, AICP

Sr. Associate

cc: Kahumana
City and County of Honolulu, Department of Community Services

HONOLULU FIRE DEPARTMENT
CITY AND COUNTY OF HONOLULU

636 South Street
Honolulu, Hawaii 96813-5007
Phone: 808-723-7139 Fax: 808-723-7111 Internet: www.honolulu.gov/hfd

KIRK CALDWELL
MAYOR



MANUEL P. NEVES
FIRE CHIEF

LIONEL CAMARA JR.
DEPUTY FIRE CHIEF

August 23, 2016

Ms. Catie Cullison, AICP
Senior Associate
PBR Hawaii & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

Subject: Draft Environmental Assessment
Community Training Kitchen at Ohana Ola O Kahumana
86-704 Lualualei Homestead Road and 86-433 Kauwale Road
Waianae, Hawaii 96792
Tax Map Key: 8-6-006: 001

In response to your letter dated July 27, 2016, regarding the above-mentioned subject, the Honolulu Fire Department will apply Chapter 50, Commercial Cooking Equipment of the Fire Code of the City and County of Honolulu and other pertinent chapters of the Fire Code during the plans review.

Should you have questions, please contact Battalion Chief Terry Seelig of our Fire Prevention Bureau at 723-7151 or tseelig@honolulu.gov.

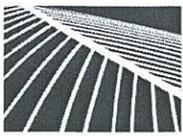
Sincerely,

A handwritten signature in blue ink that reads "Socrates D. Bratakos".

SOCRATES D. BRATAKOS
Assistant Chief

SDB/SY:bh

cc: Stephen Karel
Department of Community Services



PBR HAWAII
& ASSOCIATES, INC.

October 17, 2016

PRINCIPALS

THOMAS S. WITTEN, FASLA
Chairman

STAN DUNCAN, ASLA
President

RUSSELL Y. J. CHUNG, FASLA, LEED® AP BD+C
Executive Vice-President

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Vice-President

FRANTZ T. MURAKAMI, AICP, LEED® AP BD+C
Vice-President

TOM SCHNELL, AICP
Principal

JIMI MIKAMI YUEN, LEED® AP BD+C
Principal

V. FRANK BRANDT, FASLA
Chairman Emeritus

Mr. Socrates D. Bratakos
Assistant Chief
City and County of Honolulu
Honolulu Fire Department
636 South Street
Honolulu, HI 96813

Attn: Battalion Chief Terry Seelig, Fire Prevention Bureau

SUBJECT: COMMENTS ON THE DRAFT ENVIRONMENTAL ASSESSMENT FOR COMMUNITY TRAINING KITCHEN AT OHANA OLA O KAHUMANA, 86-433 KUWALE RD., WAI'ANAЕ, O'AHU, TMK (1) 8-6-006:001, por.

ASSOCIATES

RAYMOND T. HIGA, ASLA
Senior Associate

CATIE CULLISON, AICP
Senior Associate

ROY TAKEMOTO
Managing Director - Hilo

COTT MURAKAMI, ASLA, LEED® AP
Associate

YACHENG DONG, LEED® AP
Associate

MARC SHIMATSU, ASLA
Associate

Dear Mr. Bratakos,

Thank you for your letter dated August 23, 2016, in regard to the Draft Environmental Assessment (EA) for the proposed community training kitchen.

As the planning consultant for Alternative Structures International (dba Kahumana), we acknowledge your comment that the Honolulu Fire Department will apply Chapter 50, Commercial Cooking Equipment of the Fire Code of the City and County of Honolulu and other pertinent chapters of the Fire Code during the review of the plans.

We value your participation in the environmental review process. Your letter will be included in the forthcoming Final EA.

Sincerely,

Catie Cullison, AICP
Senior Associate

cc: Tom McDonald, Alternative Structures International
Steve Karel, City and County of Honolulu, Department of Community Services

HONOLULU OFFICE
8001 Bishop Street, Suite 650
Honolulu, Hawai'i 96813-3484
Tel: (808) 521-5631
Fax: (808) 523-1402
E-mail: sysadmin@pbrhawaii.com

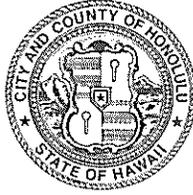
HILO OFFICE
719 Haleloke Street
Hilo, Hawai'i 96720-1553
Tel/Cel: (808) 315-6878

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POLICE DEPARTMENT
CITY AND COUNTY OF HONOLULU

801 SOUTH BERETANIA STREET · HONOLULU, HAWAII 96813
TELEPHONE · (808) 529-3111 · INTERNET: www.honolulu-pd.org

KIRK CALDWELL
MAYOR



LOUIS M. KEALOHA
CHIEF

MARIE A. McCAULEY
CARY OKIMOTO
DEPUTY CHIEFS

OUR REFERENCE MT-DK

August 12, 2016

Ms. Catie Cullison, Planner
PBR HAWAII & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813

Dear Ms. Cullison:

This is in response to your agency's letter of July 27, 2016, requesting comments on the Draft Environmental Assessment (EA) for the Community Training Kitchen at Ohana Ola 'O Kahumana project.

Based on the information provided, this project should have no significant impact on the services or operations of the Honolulu Police Department at this time.

If there are any questions, please call Major Sean C. Naito of District 8 (Kapolei) at 723-8403.

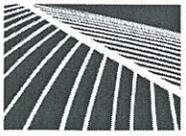
Thank you for the opportunity to review this project.

Sincerely,

LOUIS M. KEALOHA
Chief of Police

By 
MARK TSUYEMURA,
Management Analyst VI
Office of the Chief

cc: Mr. Stephen Karel
Department of Community Services



PBR HAWAII
& ASSOCIATES, INC.

October 17, 2016

Mr. Louis M. Kealoha
Chief of Police
City and County of Honolulu
801 South Beretania Street
Honolulu, HI 96813

Attn: Major Sean C. Naito, District 8 (Kapolei)

SUBJECT: COMMENTS ON THE DRAFT ENVIRONMENTAL ASSESSMENT FOR COMMUNITY TRAINING KITCHEN AT OHANA OLA O KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK (1) 8-6-006:001, por.

Dear Mr. Kealoha,

Thank you for your letter dated August 12, 2016 (Reference MT-DK) in regard to the Draft Environmental Assessment (EA) for the proposed community training kitchen.

As the planning consultant for Alternative Structures International (dba Kahumana), we acknowledge your comment that the project should have no significant impact on the services or operations of the Honolulu Police Department.

We value your participation in the environmental review process. Your letter will be included in the forthcoming Final EA.

Sincerely,

Catie Cullison, AICP
Senior Associate

cc: Tom McDonald, Alternative Structures International
Steve Karel, City and County of Honolulu, Department of Community Services

PRINCIPALS

THOMAS S. WITTEN, FASLA
Chairman

STAN DUNCAN, ASLA
President

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Executive Vice-President

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BRANT T. MURAKAMI, AICP, LEED® AP BD+C
Vice-President

TOM SCHNELL, AICP
Principal

JIMI MIKAMI YUEN, LEED® AP BD+C
Principal

V. FRANK BRANDT, FASLA
Chairman Emeritus

ASSOCIATES

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Senior Associate

CATIE CULLISON, AICP
Senior Associate

ROY TAKEMOTO
Managing Director - Hilo

COTT MURAKAMI, ASLA, LEED® AP
Associate

YACHENG DONG, LEED® AP
Associate

MARC SHIMATSU, ASLA
Associate

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Hilo, Hawaii 96720-1553
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printed on recycled paper



BA/G

September 7, 2016

Ms. Catie Cullison
PBR Hawaii & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813

Dear Mr. Cullison:

Subject: Community Training Kitchen at Ohana Ola O Kahumana

Thank you for the opportunity to comment on the subject project. Hawaiian Electric Company has no objection to the project. Should HECO have existing easements and facilities on the subject property, we will need continued access for maintenance of our facilities.

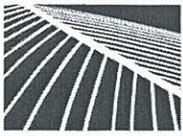
We appreciate your efforts to keep us apprised of the subject project in the planning process. As the proposed Community Training Kitchen at Ohana Ola O Kahumana Project comes to fruition, please continue to keep us informed. Further along in the design, we will be better able to evaluate the effects on our system facilities. Going forward, please send all comments and reviews Attention: Kerstan Wong.
If you have any questions, please call me at 543-7245

Sincerely,

Rouen Q.W. Liu
Permits Engineer

RL:kmk

Enclosure



PBR HAWAII
& ASSOCIATES, INC.

October 17, 2016

PRINCIPALS

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Principal

V. FRANK BRANDT, FASLA
Chairman Emeritus

Rouen Q.W. Liu
Hawaiian Electric
PO Box 2750
Honolulu, HI 96840-0001
Attn: Kerstan Wong

SUBJECT: COMMENTS ON THE DRAFT ENVIRONMENTAL ASSESSMENT FOR COMMUNITY TRAINING KITCHEN AT OHANA OLA 'O KAHUMANA, TMK (1) 8-6-006:001

ASSOCIATES

RAYMOND T. HIGA, ASLA
Senior Associate

CATIE CULLISON, AICP
Senior Associate

ROY TAKEMOTO
Managing Director - Hilo

COTT MURAKAMI, ASLA, LEED®AP
Associate

YACHENG DONG, LEED®AP
Associate

MARC SHIMATSU, ASLA
Associate

Dear Mr. Liu,

Thank you for your letter dated September 7, 2016 in regard to the Draft Environmental Assessment for the proposed community training kitchen.

As the planning consultant for the project proponent, Alternative Structures, Inc. (dba Kahumana), we acknowledge that you have no objection to the project at this time.

We value your participation in the environmental review process. Your letter will be included in the forthcoming Final Environmental Assessment.

Sincerely,

Catie Cullison, AICP
Sr. Associate

cc: Kahumana
City and County of Honolulu, Department of Community Services

HONOLULU OFFICE
001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484
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DAVID Y. IGE
GOVERNOR



DOUGLAS MURDOCK
COMPTROLLER

AUDREY HIDANO
Deputy Comptroller

STATE OF HAWAII
DEPARTMENT OF ACCOUNTING AND GENERAL SERVICES
P.O. BOX 119, HONOLULU, HAWAII 96810-0119

(P)1227.6

AUG 8 2016

Ms. Catie Cullison, Planner
PBR Hawaii & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813

Dear Ms. Cullison:

Subject: Community Training Kitchen at Ohana Ola'O Kahumana
Waianae, Oahu, Hawaii
TMK: (1) 8-6-006:001 por.

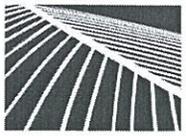
Thank you for the opportunity to comment on the subject project. The proposed project does not impact any of the Department of Accounting and General Services' projects or existing facilities and we have no comments to offer at this time.

If you have any questions, your staff may call Ms. Dora Choy of the Public Works Division at 586-0488.

Sincerely,


for DOUGLAS MURDOCK
Comptroller

c: Mr. Stephen Karel, Dept. of Community Services



PBR HAWAII
& ASSOCIATES, INC.

October 17, 2016

Mr. Douglas Murdock, Comptroller
State of Hawai'i
Department of Accounting and General Services
P.O. Box 119
Honolulu, HI 96810-0119

Attn: Ms. Dora Choy, Public Works Division

SUBJECT: COMMENTS ON THE DRAFT ENVIRONMENTAL ASSESSMENT FOR COMMUNITY TRAINING KITCHEN AT OHANA OLA O KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK (1) 8-6-006:001, por.

Dear Mr. Murdock,

Thank you for your letter dated August 8, 2016 [Reference number: (P)1227.6] in regard to the Draft Environmental Assessment (EA) for the proposed community training kitchen.

As the planning consultant for Alternative Structures International (dba Kahumana), we acknowledge your comment that the proposed project does not impact any of the Department of Accounting and General Services' projects or existing facilities and that you have no further comments to offer at this time.

We value your participation in the environmental review process. Your letter will be included in the forthcoming Final EA.

Sincerely,

Catie Cullison, AICP
Senior Associate

cc: Tom McDonald, Alternative Structures International
Steve Karel, City and County of Honolulu, Department of Community Services

PRINCIPALS

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Chairman

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Managing Director - Hilo

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DAVID Y. IGE
GOVERNOR



RACHAEL WONG, DrPH
DIRECTOR

PANKAJ BHANOT
DEPUTY DIRECTOR

STATE OF HAWAII
DEPARTMENT OF HUMAN SERVICES
Benefit, Employment and Support Services Division
820 Mililani Street, Suite 606
Honolulu, Hawaii 96813

August 15, 2016

Re: 16-0414

PBR Hawaii & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813
Attn: Catie Cullison, Planner

Re: Draft Environmental Assessment (EA) for the Community Training Kitchen
at Ohana Ola 'O Kahumana

Dear Ms. Cullison:

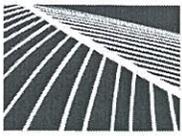
This is in response to your letter dated July 27, 2016 requesting the Department of Human Services (DHS) comment upon the above-named project. As stated in our letters dated February 29, 2016 and March 23, 2016, the DHS has no comment on the proposed project.

If you have any questions or need further information, please contact Ms. Jill Arizumi, program specialist at (808) 586-5240.

Sincerely,

Scott Nakasone
Assistant Division Administrator

c: Rachael Wong, DrPH, Director



PBR HAWAII
& ASSOCIATES, INC.

October 17, 2016

PRINCIPALS

THOMAS S. WITTEN, FASLA
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Vice-President

TOM SCHNELL, AICP
Principal

JIMMI MIKAMI YUEN, LEED® AP BD+C
Principal

V. FRANK BRANDT, FASLA
Chairman Emeritus

Mr. Scott Nakasone
Assistant Division Administrator
State of Hawai‘i
Department of Human Services
Benefit, Employment and Support Services Division
820 Mililani Street, Suite 606
Honolulu, HI 96813

Attn: Ms. Jill Arizumi, Program Specialist

SUBJECT: COMMENTS ON THE DRAFT ENVIRONMENTAL ASSESSMENT FOR COMMUNITY TRAINING KITCHEN AT OHANA OLA O KAHUMANA, 86-433 KUWALE RD., WAI‘ANAE, O‘AHU, TMK (1) 8-6-006:001, por.

ASSOCIATES

RAYMOND T. HIGA, ASLA
Senior Associate

CATIE CULLISON, AICP
Senior Associate

ROY TAKEMOTO
Planning Director - Hilo

COTT MURAKAMI, ASLA, LEED® AP
Associate

YACHENG DONG, LEED® AP
Associate

MARC SHIMATSU, ASLA
Associate

Dear Mr. Nakasone,

Thank you for your letter dated August 15, 2016 (Reference number 16-0414) in regard to the Draft Environmental Assessment (EA) for the proposed community training kitchen.

As the planning consultant for Alternative Structures International (dba Kahumana), we acknowledge that you have no comments to offer at this time.

We value your participation in the environmental review process. Your letter will be included in the forthcoming Final EA.

Sincerely,

Catie Cullison, AICP
Senior Associate

cc: Tom McDonald, Alternative Structures International
Steve Karel, City and County of Honolulu, Department of Community Services

HONOLULU OFFICE
801 Bishop Street, Suite 650
Honolulu, Hawai‘i 96813-3484
Tel: (808) 521-5631
Fax: (808) 523-1402
E-mail: sysadmin@pbrhawaii.com

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719 Haleloke Street
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DAVID Y. IGE
GOVERNOR OF HAWAII



SUZANNE D. CASE
CHAIRPERSON
BOARD OF LAND AND NATURAL RESOURCES
COMMISSION ON WATER RESOURCE
MANAGEMENT

STATE OF HAWAII
DEPARTMENT OF LAND AND NATURAL RESOURCES
LAND DIVISION

POST OFFICE BOX 621
HONOLULU, HAWAII 96809

September 6, 2016

City and County of Honolulu
Department of Community Services
Attention: Mr. Stephen Karel
715 South King Street, Suite 311
Honolulu, Hawaii 96813

via email: skarel@honolulu.gov

PBR Hawaii & Associates, Inc.
Attention: Ms. Catie Cullison
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813-3484

via email: ccullison@pbrhawaii.com

Dear Mr. Karel and Ms. Cullison:

SUBJECT: Draft Environmental Assessment (DEA) for the Community Training Kitchen at Ohana Ola 'O Kahumana

Thank you for the opportunity to review and comment on the subject matter. The Department of Land and Natural Resources' (DLNR) Land Division distributed or made available a copy of your report pertaining to the subject matter to DLNR Divisions for their review and comments.

At this time, enclosed are comments from the (a) Engineering Division and (b) Land Division – Oahu District on the subject matter. Should you have any questions, please feel free to call Lydia Morikawa at 587-0410. Thank you.

Sincerely,

A handwritten signature in blue ink, appearing to read "Russell Y. Tsuji".

Russell Y. Tsuji
Land Administrator

Enclosure(s)
cc: Central Files



STATE OF HAWAII
DEPARTMENT OF LAND AND NATURAL RESOURCES
LAND DIVISION

POST OFFICE BOX 621
HONOLULU, HAWAII 96809

August 8, 2016

MEMORANDUM

TO:
FR:

DLNR Agencies:

- Div. of Aquatic Resources
- Div. of Boating & Ocean Recreation
- Engineering Division**
- Div. of Forestry & Wildlife
- Div. of State Parks
- Commission on Water Resource Management
- Office of Conservation & Coastal Lands
- Land Division – Oahu District
- Historic Preservation

RECEIVED
LAND DIVISION
2016 AUG 17 AM 11:17
DEPT. OF LAND &
NATURAL RESOURCES
STATE OF HAWAII

TO:

FROM: Russell Y. Tsuji, Land Administrator

SUBJECT: Draft Environmental Assessment (DEA) for the Community Training Kitchen at Ohana Ola 'O Kahumana

LOCATION: Waianae, Island of Oahu; TMK No. (1) 8-6-006:001 (por.)

APPLICANT: City and County of Honolulu, Department of Community Services

Transmitted for your review and comment is information on the above-referenced project. We would appreciate your comments on this project. Please submit any comments by **September 2, 2016**.

The DEA can be found on-line at: <http://health.hawaii.gov/oeqc/> (Click on the Current Environmental Notice under Quick Links on the right.)

If no response is received by this date, we will assume your agency has no comments. If you have any questions about this request, please contact Lydia Morikawa at 587-0410. Thank you.

Attachments

- We have no objections.
- We have no comments.
- Comments are attached.

Signed: _____

Print Name: **Carty S. Chang, Chief Engineer**

Date: 8/10/16

cc: Central Files

**DEPARTMENT OF LAND AND NATURAL RESOURCES
ENGINEERING DIVISION**

To: Land Division

Ref: DEA for the Community Training Kitchen at Ohana Ola 'O Kahumana, Oahu

COMMENTS

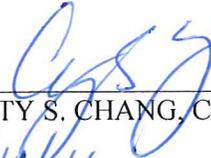
The rules and regulations of the National Flood Insurance Program (NFIP), Title 44 of the Code of Federal Regulations (44CFR), are in effect when development falls within a designated Flood Hazard.

The owner or the project property and/or their representative is responsible to research the Flood Hazard Zone designation for the project. Flood Hazard Zone designations can be found using the Flood Insurance Rate Map (FIRM), which can be accessed through the Flood Hazard Assessment Tool (FHAT) (<http://gis.hawaiiinfip.org/FHAT>).

National Flood Insurance Program establishes the rules and regulations of the NFIP - Title 44 of the Code of Federal Regulations (44CFR). The NFIP Zone X is a designation where there is no perceived flood impact. Therefore, the NFIP does not regulate any development within a Zone X designation.

Be advised that 44CFR reflects the minimum standards as set forth by the NFIP. Local community flood ordinances may take precedence over the NFIP standards as local designations prove to be more restrictive. If there are questions regarding the local flood ordinances, please contact the applicable County NFIP Coordinators below:

- o Oahu: City and County of Honolulu, Department of Planning and Permitting (808) 768-8098.
- o Hawaii Island: County of Hawaii, Department of Public Works (808) 961-8327.
- o Maui/Molokai/Lanai County of Maui, Department of Planning (808) 270-7253.
- o Kauai: County of Kauai, Department of Public Works (808) 241-4846.

Signed: 
CARTY S. CHANG, CHIEF ENGINEER

Date: 2/10/14



STATE OF HAWAII
DEPARTMENT OF LAND AND NATURAL RESOURCES
LAND DIVISION

POST OFFICE BOX 621
HONOLULU, HAWAII 96809

August 8, 2016

MEMORANDUM

RECEIVED
LAND DIVISION
2016 AUG 11 AM 8:00
DEPT. OF LAND &
NATURAL RESOURCES
STATE OF HAWAII

TO: **DLNR Agencies:**
 ___ Div. of Aquatic Resources
 ___ Div. of Boating & Ocean Recreation
X Engineering Division
 ___ Div. of Forestry & Wildlife
 ___ Div. of State Parks
X Commission on Water Resource Management
 ___ Office of Conservation & Coastal Lands
X Land Division – Oahu District
X Historic Preservation

FROM: Russell Y. Tsuji, Land Administrator

SUBJECT: Draft Environmental Assessment (DEA) for the Community Training Kitchen at Ohana Ola 'O Kahumana

LOCATION: Waianae, Island of Oahu; TMK No. (1) 8-6-006:001 (por.)

APPLICANT: City and County of Honolulu, Department of Community Services

Transmitted for your review and comment is information on the above-referenced project. We would appreciate your comments on this project. Please submit any comments by **September 2, 2016**.

The DEA can be found on-line at: <http://health.hawaii.gov/oeqc/> (Click on the Current Environmental Notice under Quick Links on the right.)

If no response is received by this date, we will assume your agency has no comments. If you have any questions about this request, please contact Lydia Morikawa at 587-0410. Thank you.

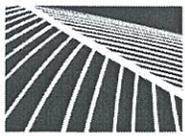
Attachments

- We have no objections.
- We have no comments.
- Comments are attached.

Signed: Tsui

Print Name: Tracy Ch...

Date: 8/10/2016



PBR HAWAII & ASSOCIATES, INC.

October 17, 2016

PRINCIPALS

THOMAS S. WITTEN, FASLA
Chairman

STAN DUNCAN, ASLA
President

RUSSELL Y. J. CHUNG, FASLA, LEED® AP BD+C
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Vice-President

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JIMMI MIKAMI YUEN, LEED® AP BD+C
Principal

V. FRANK BRANDT, FASLA
Chairman Emeritus

Mr. Russell Y. Tsuji, Land Administrator
Department of Land and Natural Resources
Land Division
State of Hawai'i
P.O. Box 621
Honolulu, HI 96809

Attn: Ms. Lydia Morikawa

SUBJECT: COMMENTS ON THE DRAFT ENVIRONMENTAL ASSESSMENT FOR COMMUNITY TRAINING KITCHEN AT OHANA OLA O KAHUMANA, 86-433 KUWALE RD., WAI'ANAЕ, O'AHU, TMK (1) 8-6-006:001, por.

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Senior Associate

CATIE CULLISON, AICP
Senior Associate

ROY TAKEMOTO
Managing Director - Hilo

COTT MURAKAMI, ASLA, LEED® AP
Associate

JACHENG DONG, LEED® AP
Associate

MARC SHIMATSU, ASLA
Associate

Dear Mr. Tsuji,

Thank you for your letter dated September 6, 2016, in regard to the Draft Environmental Assessment (EA) for the proposed community training kitchen. As the planning consultant for Alternative Structures International (dba Kahumana), we provide the following responses to the comments from the Department of Land and Natural Resources (DLNR) Divisions listed below:

1. **Engineering Division.** We acknowledge the Engineering Division's comments regarding Flood Hazard Zone designations. As noted in the Draft EA, the Flood Hazard Assessment Report prepared by the DLNR shows that the proposed project is located within Flood Zone D, which are unstudied areas where flood hazards are possible, but undetermined.
2. **Land Division – O'ahu District.** We acknowledge that the Land Division – O'ahu District has no comments.

We value your participation in the environmental review process. Your letter will be included in the forthcoming Final EA.

Sincerely,

Catie Cullison, AICP
Senior Associate

HONOLULU OFFICE
001 Bishop Street, Suite 650
Honolulu, Hawai'i 96813-3484
Tel: (808) 521-5631
Fax: (808) 523-1402
E-mail: sysadmin@pbrhawaii.com

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719 Haleloke Street
Hilo, Hawai'i 96720-1553
Tel/Cel: (808) 315-6878

cc: Tom McDonald, Alternative Structures International
Steve Karel, City and County of Honolulu, Department of Community Services

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DAVID Y. IGE
Governor

SHAN S. TSUTSUI
Lt. Governor



State of Hawaii
DEPARTMENT OF AGRICULTURE
1428 South King Street
Honolulu, Hawaii 96814-2512
Phone: (808) 973-9600 FAX: (808) 973-9613

SCOTT E. ENRIGHT
Chairperson, Board of Agriculture

PHYLLIS SHIMABUKURO-GEISER
Deputy to the Chairperson

September 7, 2016

Mr. Gary Nakata, Director
Department of Community Services
Community-Based Development Division
City and County of Honolulu
715 South King Street, Suite 311
Honolulu, Hawaii 96813

Attention: Mr. Stephen Karel

Dear Mr. Nakata:

Subject: Draft Environmental Assessment (Draft EA)
Community Training Kitchen at Ohana Ola 'O Kahumana
Alternative Structures International (dba Kahumana)
TMK: 8-6-06; por. 1 Waianae, Oahu
Area: approximately 12.38 acres of which one acre will be used

Thank you for the opportunity to provide our comments on the subject project. We understand that the City is the landowner and the Department of Community Services is the approving agency for this Draft EA.

Project Site and Proposed Development

The 12.38-acre property is leased to Alternative Structures International (Kahumana) who operates a transitional housing facility for 48 homeless families. They are seeking to develop a "community training kitchen" and related improvements on a one-acre portion of the property. The area not occupied by transitional housing or the proposed kitchen will be the site of a 5-acre organic farm (Draft EA, page 24). We note that the project has been substantially downsized from what was proposed earlier – the incubator and training kitchens have been removed from consideration. According to the letter from PBR Hawaii (dated July 27, 2016), the proposed kitchen will "...qualify as one of Ohana Ola's "community facilities" which is defined under 201H-1 as "buildings, equipment, lands, and grounds for recreational or social assemblies, or educational, health, or welfare purposes."



Mr. Gary Nakata
September 7, 2016
Page 2

Developing the proposed project under Chapter 201H, HRS exempts qualifying activities from certain City and State laws, in particular the special use permit requirement of Chapter 205, HRS. The proposed kitchen is to replace an existing kitchen located on land leased from Department of Hawaiian Home Lands (DHHL) located elsewhere on the leeward coast. That lease expires in 2018.

Characteristics of the Amended Proposed Project

By downsizing from the original proposed facilities, the current project may be approved by a new Chapter 201H application. The footprint of the project is entirely within the existing Ohana Ola property. While seeking approval via an amended Chapter 201H application avoids seeking continued exemption via City Council Resolution as was initially proposed, the Department of Agriculture continues to prefer projects like this to seek approval through the special permit process in light of the many agricultural operations adjacent to and in the vicinity of the Ohana Ola facilities.

The objectives of the community training kitchen are to create 20 part-time temporary trainee positions, and for trainees to transition to outside jobs within three to six months. Thus, for every 12-month period, the facility is expected to train 50-60 individuals. The primary (but not sole) source of candidates for filling these trainee positions will be adults at Ohana Ola (Draft EA, page 23).

The aforementioned existing kitchen on land leased from DHHL by Kahumana (Ulu Ke Kukui) trains 20 people a year and fulfills school lunch meal contracts for underprivileged children by serving about 1,100 meals per weekday during the school year (Draft EA, page 19). The proposed facility at Ohana Ola will make it possible to increase the number of school lunches made to meet "increasing demand" (Draft EA, page 23). The produce grown on the 9-acre Kahumana Farm will be used in the school lunches "...to the extent possible to strengthen connections with and stewardship of the a'ina in the farm-to-table process." (Draft EA, page 23) Kahumana also plans to develop a 16-acre farm further up Kuwale Road in late 2016. The three farming areas (16, 9 and 5 acres) "...are expected to supply a steady stream of fresh organic produce and eggs for the meals prepared by the Kitchen..." These statements by Kahumana represent a substantial and positive commitment as they link the proposed community training kitchen and the production of school lunch meals under contract to Kahumana's 30 acres of agricultural production area.

The Department of Agriculture has long supported the inclusion of locally grown agricultural products into meals meant to be consumed within institutional settings such as schools and prisons. We recommend that the Final EA identify the permits and approvals Kahumana needs to acquire in order to use its agricultural crop and egg (protein) production within their school meals. We also recommend that the approval of the new 201H application contain an expectation that Kahumana make every reasonable effort to carry out their representations regarding the incorporation of their

Mr. Gary Nakata
September 7, 2016
Page 3

agricultural crops and protein production in the meals produced in the proposed community training kitchen.

The Draft EA does identify the total acreage currently and proposed to be farmed (about 30 acres), and the number of workers currently employed (20 part-time, at least 14 full-time at Ulu Ke Kukui kitchen; Draft EA, pages 23-24) and the number of part-time workers to be employed at the proposed kitchen (50 to 60 per year) (Draft EA, page 23). Pursuant to Kahumana's representations about using the agricultural crops and protein in the meals to be prepared in the community training kitchen, the Department no longer requests responses to our questions that were not addressed in the Draft EA (what portion of each meal is planned to be sourced from the applicant's agricultural production, the estimated amount of agricultural products the farms are expected to produce per month, the estimated amount of agricultural products to be used at the proposed commercial kitchen, the list of current and potential clients the meals are being produced for, and a plan to address applicable food safety standards for fresh produce in their meals).

Land Use Designations and Surrounding Uses

State and City land use zoning and plans for the site and the surrounding area are all agriculture. Active agricultural operations abut the project site to the north, northwest, west, and south. This is clearly seen on Figure 3 (Aerial Photo) in the Draft EA. To the southwest is Kahumana's organic farm (9 acres) and a cafe and offices of Alternative Structures International. Eastward, along Kuwale Road, are a few Country-zoned parcels that are more residential in nature and a church (Figure 6, City and County Zoning). The Department of Agriculture notes that most of the properties immediately adjacent to the two Kahumana properties have been contacted regarding the proposal. We recommend that the owners of 86-412 and 86-424 Puhawai Road, and 86-365 Kuwale Road also be contacted, if not done so already.

This concludes our comments and recommendations on the Draft EA. Should you have any questions, please contact Earl Yamamoto at 973-9466 or by email at earl.j.yamamoto@hawaii.gov.

Sincerely,



Scott E. Enright, Chairperson
Board of Agriculture

c: PBR Hawaii & Associates, Inc.
Attn: Ms. Catie Cullison



PBR HAWAII & ASSOCIATES, INC.

October 17, 2016

PRINCIPALS

THOMAS S. WITTEN, ASLA
Chairman

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Executive Vice-President

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Chairman Emeritus

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Senior Associate

CATIE CULLISON, AICP
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ROY TAKEMOTO
Managing Director - Hilo

SCOTT MURAKAMI, ASLA, LEED® AP
Associate

DACHENG DONG, LEED® AP
Associate

MARC SHIMATSU, ASLA
Associate

Mr. Scott Enright, Chairperson
Department of Agriculture, State of Hawai'i
1428 South King Street
Honolulu, HI 96814-2512

SUBJECT: COMMENTS ON THE DRAFT ENVIRONMENTAL ASSESSMENT FOR COMMUNITY TRAINING KITCHEN AT OHANA OLA O KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK (1) 8-6-006:001, por.

Dear Mr. Enright,

Thank you for your letter dated September 7, 2016, in regard to the Draft Environmental Assessment (EA) for the proposed community training kitchen. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your input and provide the following responses:

We acknowledge that the Hawai'i Department of Agriculture (HDOA) recognizes that Chapter 201H, HRS exempts qualifying activities from certain City and State laws, in particular the special use permit requirement of Chapter 205, HRS. We acknowledge that the HDOA further recognizes that the project scope has been considerably downsized through the planning process. We also acknowledge that the HDOA continues to prefer that the subject project seek approval through the special permit process in light of the many agricultural operations adjacent to and in the vicinity of the Ohana Ola facilities. The Final EA will note this preference expressed by your Department.

We acknowledge the HDOA's encouragement and recommended approval condition of the 201H application include every reasonable effort will be made to incorporate Kahumana's agricultural crops and protein production in the meals produced in the proposed community training kitchen.

We acknowledge that you suggest that the Final EA identify the permits and approvals Kahumana needs to acquire in order to use its agricultural crop and egg (protein) production within their school meals. Kahumana is committed to being fully compliant with the U. S. Department of Agriculture, Child and Adult Care Food Program (CACFP) regulations.

We acknowledge your notation that the remaining area of the Ohana Ola parcel will be developed with an organic farm. The draft EA did not provide a specific acreage for this farm. To clarify, the anticipated area of the arable land for the farm is approximately 2.5 acres. We have added this specificity throughout the Final EA.

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Mr. Scott Enright

**COMMENTS ON THE DRAFT ENVIRONMENTAL ASSESSMENT FOR COMMUNITY TRAINING
KITCHEN AT OHANA OLA 'O KAHUMANA, TMK (1) 8-6-006:001**

October 17, 2016

Page 2 of 2

We further clarify the number of kitchen employees in the FEA. This number has fluctuated between eight and ten employees over the years. However, the objectives for the new kitchen remain the same: to create 20 part-time, temporary trainee positions, and to transition trainees to permanent jobs in three to six months. This will result in the kitchen training approximately 50 to 60 individuals every year.

Finally, to follow your suggestion that the the owners of 86-412 and 86-424 Puhawai Road, and 86-365 Kuwale Road be informed of the project, we will distribute a copy of the Final EA to the owners of these properties.

We value your participation in the environmental review process. Your letter will be included in the forthcoming Final EA.

Sincerely,



Catie Cullison, AICP
Senior Associate

cc: Tom McDonald, Alternative Structures International
Steve Karel, City and County of Honolulu, Department of Community Services



OFFICE OF ENVIRONMENTAL QUALITY CONTROL

DEPARTMENT OF HEALTH | 235 South Beretania Street, Suite 702, Honolulu, HI 96813 | oeqchawaii@doh.hawaii.gov

DAVID Y. IGE
GOVERNOR

SCOTT GLENN
DIRECTOR

(808) 586-4185

August 16, 2016

Stephen Karel
Community Based Development Division
Department of Community Services
City and County of Honolulu
715 S. King Street, Suite 311
Honolulu, HI 96813

Dear Mr. Karel,

Subject: Draft Environmental Assessment (EA) for the Community Training Kitchen at Ohana Ola
'O Kahumana, Wai'anae, O'ahu

The Office of Environmental Quality Control (OEQC) has reviewed the Draft EA prepared for the subject project and offers the following comments for your consideration:

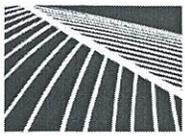
1. We note numerous instances of confusing or conflicting information regarding the proposing entity of this project. At various places within the document, either your agency or Alternative Structures International, dba Kahumana is indicated as the proposer of the project (Section 1.1 Project Summary: Proposing Agency; Section 1.3.1: Identification of the Proposing Agency; Section 2: Project Description). The statute and the administrative rules establishing and implementing Hawai'i's environmental review process (Chapter 343 Hawai'i Revised Statutes and Chapter 11-200 Hawai'i Administrative Rules, respectively) lay out two distinct pathways depending upon whether the project is being proposed by an agency or a private applicant; it must be one or the other. Please clarify this situation in the Final EA for the project and ensure the appropriate administrative rules are followed.
2. Perhaps related to the conflicting situation referenced above, we observe the TMK Map (Figure 2) suggests the subject parcel is privately owned, yet the Project Summary in Section 1.1 and the Land Ownership discussion in Section 1.3 state the project is being developed on lands owned by the City and County of Honolulu. Please clarify the land ownership of the parcel.

Thank you for the opportunity to comment on the Draft EA. We look forward to a response that will also be included in the Final EA. If you have any questions, please contact our office at (808) 586-4185.

Sincerely,

Scott Glenn, Director

cc: Catie Cullison (PBR Hawaii), Tom McDonald (Kahumana)



PBR HAWAII

& ASSOCIATES, INC.

October 17, 2016

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HACHENG DONG, LEED® AP
Associate

MARC SHIMATSU, ASLA
Associate

Mr. Scott Glenn, Director
Office of Environmental Quality Control
Department of Health, State of Hawai'i
235 South Beretania Street, Suite 702
Honolulu, HI 96813

SUBJECT: COMMENTS ON THE DRAFT ENVIRONMENTAL ASSESSMENT FOR COMMUNITY TRAINING KITCHEN AT OHANA OLA O KAHUMANA, 86-433 KUWALE RD., WAI'ANA'E, O'AHU, TMK (1) 8-6-006:001, por.

Dear Mr. Glenn,

Thank you for your letter dated August 16, 2016 (Reference number 17-064) in regard to the Draft Environmental Assessment (EA) for the proposed community training kitchen. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your input and provide the following responses:

We acknowledge your suggestions to: 1) clarify the proposer of the project such that it is consistent throughout the document and therefore follows the appropriate administrative rules; and 2) clarify the land ownership of the parcel, particularly in its representation on the TMK Map presented in the document. The appropriate adjustments will be made to address these conflicting points of information in the Final EA.

We value your participation in the environmental review process. Your letter will be included in the forthcoming Final EA.

Sincerely,

Catie Cullison, AICP
Senior Associate

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801 Bishop Street, Suite 650
Honolulu, Hawai'i 96813-3484
Tel: (808) 521-5631
Fax: (808) 523-1402
E-mail: sysadmin@pbrhawaii.com

cc: Tom McDonald, Alternative Structures International
Steve Karel, City and County of Honolulu, Department of Community Services

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VIRGINIA PRESSLER, M.D.
DIRECTOR OF HEALTH

STATE OF HAWAII
DEPARTMENT OF HEALTH
P. O. BOX 3378
HONOLULU, HI 96801-3378

In reply, please refer to:
File:

LUD - 1 8 6 006 001 DEA Prop
Comm Training Kitchen-ID2957

August 30, 2016

DCS/Admin
4136

Mr. Gary K. Nakata, Director
Department of Community Services
City & County of Honolulu
715 South King Street Suit 311
Honolulu, Hawaii 96813

Dear Mr. Nakata:

Subject: Draft Environmental Assessment, Proposed Community Training Center
Ohana Ola O Kahumana 86-433 Kuwale Road, Waianae, Oahu 96792
TMK (1) 8-6-006: 001

Thank you for allowing us the opportunity to provide comments on the subject project. Please be informed that the wastewater plans for the subject project shall comply with our Chapter 11-62, Hawaii Administrative Rules, "Wastewater Systems".

Should you have any questions, please call Mark Tomomitsu of my staff at 586-4294.

Sincerely,

SINA PRUDER, P.E., CHIEF
Wastewater Branch

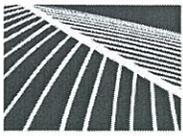
LM/MST:lmj

c: Ms. Laura McIntyre, DOH-Environmental Planning Office, via email
Mr. George I. Atta, C&C of Honolulu, Dept. of Planning & Permitting 7th Floor

DEPT OF COMMUNITY
SERVICES

16 SEP -2 AM 1:34

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& ASSOCIATES, INC.

October 17, 2016

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MACHENG DONG, LEED® AP
Associate

MARC SHIMATSU, ASLA
Associate

Ms. Sina Pruder, P.E., Chief
Department of Health, Wastewater Branch
State of Hawai'i
P.O. Box 3378
Honolulu, HI 96801-3378

Attn: Mr. Mark Tomomitsu

SUBJECT: COMMENTS ON THE DRAFT ENVIRONMENTAL ASSESSMENT FOR COMMUNITY TRAINING KITCHEN AT OHANA OLA O KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK (1) 8-6-006:001, por.

Dear Ms. Pruder,

Thank you for your letter dated August 30, 2016 (Reference number 4136) in regard to the Draft Environmental Assessment (EA) for the proposed community training kitchen.

As the planning consultant for Alternative Structures International (dba Kahumana), we acknowledge your comments noting that wastewater plans for the subject project shall comply with Chapter 11-62, Hawaii Administrative Rules, "Wastewater Systems".

We value your participation in the environmental review process. Your letter will be included in the forthcoming Final EA.

Sincerely,

Catie Cullison, AICP
Senior Associate

cc: Tom McDonald, Alternative Structures International
Steve Karel, City and County of Honolulu, Department of Community Services

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DEPARTMENT OF HEALTH
P. O. BOX 3378
HONOLULU, HI 96801-3378

In reply, please refer to:
EMD/CWB

08033PMHK.16

August 22, 2016

Mr. Stephen Karel
City and County of Honolulu
Department of Community Services
Community Based Development Division
715 South King Street, Suite 311
Honolulu, Hawaii 96813

Dear Mr. Karel:

**SUBJECT: Comments on the Draft Environmental Assessment (DEA) -
Anticipated Finding of No Significant Impact (AFONSI) for a
Community Training Kitchen at Ohana Ola O Kahumana
TMK: (1) 8-6-006:001
Waianae, Island of Oahu, Hawaii**

The Department of Health (DOH), Clean Water Branch (CWB), has reviewed the subject document and has no comments at this time. The DOH-CWB provided comments on the proposed DEA for this project (Letter No. 03009PNN.16, dated March 7, 2016).

Please note that our review is based solely on the information provided in the subject document and its compliance with Hawaii Administrative Rules (HAR), Chapters 11-54 and 11-55. You may be responsible for fulfilling additional requirements related to our program. We recommend that you also read our standard comments on our website at: <http://health.hawaii.gov/epo/files/2013/05/Clean-Water-Branch-Std-Comments.pdf>.

If you have any questions, please visit our website at: <http://health.hawaii.gov/cwb>, or contact the Engineering Section, CWB, at (808) 586-4309.

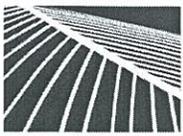
Sincerely,

A handwritten signature in cursive script that reads "Alec Wong".

ALEC WONG, P.E., CHIEF
Clean Water Branch

MHK

c: EPO # 16-280 [via e-mail laura.mcintyre@doh.hawaii.gov only]
Mr. Stephen Karel, CCH, Dept. of Community Services, [via e-mail skarel@honolulu.gov]
Mr. Tom McDonald, Alternative Structures Int'l, [via e-mail kahumana.tom@gmail.com only]
Ms. Catie Cullison, PBR Hawaii & Associates, Inc. [via e-mail ccullison@pbrhawaii.com only]



PBR HAWAII & ASSOCIATES, INC.

October 17, 2016

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Mr. Alec Wong, P.E., Chief
Department of Health, Clean Water Branch
State of Hawai'i
P.O. Box 3378
Honolulu, HI 96801-3378

Attn: Engineering Section, CWB

SUBJECT: COMMENTS ON THE DRAFT ENVIRONMENTAL ASSESSMENT FOR COMMUNITY TRAINING KITCHEN AT OHANA OLA O KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK (1) 8-6-006:001, por.

Dear Mr. Wong,

Thank you for your letter dated August 22, 2016 (Reference number 08033PMHK.16) in regard to the Draft Environmental Assessment (EA) for the proposed community training kitchen.

As the planning consultant for Alternative Structures International (dba Kahumana), we acknowledge that you have no further comments to offer at this time.

We have also reviewed and understand the standard comments provided by the Clean Water Branch (CWB) and offer the following responses:

- **Potential Impacts to State Waters.** The Final EA will state that any potential impacts to the waters near the project site caused by the construction and/or operation of the proposed project will meet the provisions of the: a) anti-degradation policy (Chapter 11-54-1.1, HAR); b) designated uses (Chapter 11-54-3, HAR); and c) water quality criteria (Chapter 11.54-4 through 11-54-8, HAR).
- **National Pollutant Discharge Elimination System permit coverage.** The Final EA will examine the impacts this project may have with regards to pollutant discharge, and will state that necessary permits will be obtained and mitigation measures will be implemented pursuant to the standards outlined in this standard of the Clean Water Branch.
- **Clean Water Act.** The Final EA will state that, pursuant to the "Clean Water Act," a Section 401 Water Quality Certification from the State Department of Health, Clean Water Branch will be obtained if it is determined that the project may result in any discharge into navigable waters or as otherwise triggered.

We value your participation in the environmental review process. Your letter will be included in the forthcoming Final EA.

Sincerely,

Catie Cullison, AICP
Senior Associate

cc: Tom McDonald, Alternative Structures International
Steve Karel, City and County of Honolulu, Department of Community Services

DAVID Y. IGE
GOVERNOR



ARTHUR J. LOGAN
MAJOR GENERAL
ADJUTANT GENERAL

KENNETH S. HARA
BRIGADIER GENERAL
DEPUTY ADJUTANT GENERAL

STATE OF HAWAII
DEPARTMENT OF DEFENSE
OFFICE OF THE ADJUTANT GENERAL
3949 DIAMOND HEAD ROAD
HONOLULU, HAWAII 96816-4495

September 21, 2016

PBR Hawaii & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813

Attn.: Ms. Catie Cullison, Planner

Subject: Draft Environmental Assessment/FONSI Consultation for a Community Training
Kitchen at Ohana Ola O Kahumana, 86-600 Lualualei Homestead, Waianae, Oahu,
TMK: 8-6-001:001

Dear Ms. Cullison:

Thank you for the opportunity to comment on the above project, and please accept our apologies for this late response. The State of Hawaii Department of Defense has no comments to offer relative to the project.

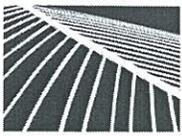
If you have any questions or concerns, please have your staff contact Mr. Lloyd Maki, Assistant Chief Engineering Officer at (808) 733-4250.

Sincerely,

A handwritten signature in blue ink, appearing to read "Neal S. Mitsuyoshi".

NEAL S. MITSUYOSHI
Colonel, Hawaii National Guard
Chief Engineering Officer

c: Ms. Havinne Okamura, Hawaii Emergency Management Agency



PBR HAWAII & ASSOCIATES, INC.

October 17, 2016

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Neal S. Mitsuyoshi, P.E.
Colonel, Hawai'i National Guard
Chief Engineering Officer
State of Hawai'i Department of Defense
Office of the Adjutant General
3949 Diamond Head Road
Honolulu, Hawai'i 96816-4495

Attn: Mr. Lloyd Maki, Assistant Chief Engineering Officer

**SUBJECT: COMMENTS ON THE DRAFT ENVIRONMENTAL
ASSESSMENT FOR COMMUNITY TRAINING KITCHEN AT
OHANA OLA O KAHUMANA, 86-433 KUWALE RD.,
WAI'ANAЕ, O'AHU, TMK (1) 8-6-006:001**

Dear Colonel Mitsuyoshi,

Thank you for your letter dated September 21, 2016, in regard to the Draft Environmental Assessment (EA) for the proposed community training kitchen.

As the planning consultant for the project proponent, Alternative Structures, Inc. (dba Kahumana), we acknowledge that you have no further comments to offer at this time.

We value your participation in the environmental review process. Your letter will be included in the forthcoming Final EA.

Sincerely,

Catie Cullison, AICP
Senior Associate

cc: Tom McDonald, Alternative Structures International
Steve Karel, City and County of Honolulu, Department of Community Services

ASSOCIATES

RAYMOND T. HIGA, ASLA
Senior Associate

CATIE CULLISON, AICP
Senior Associate

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MARC SHIMATSU, ASLA
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C:\Job32\3252.01 Kahumana Community Training Kitchen\343 EA\DEA Comments and Responses\Responses\HI - DOD Response.docx

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FORD N. FUCHIGAMI
DIRECTOR

Deputy Directors
JADE T. BUTAY
ROSS M. HIGASHI
EDWIN H. SNIFFEN
DARRELL T. YOUNG
IN REPLY REFER TO:

DIR 1063
HWY-PS 2.3283

September 27, 2016

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OCT 03
PBR HAWAII

Ms. Catie Cullison
Planner
PBR HAWAII & Associates, Inc.
1001 Bishop Street, Suite 650
Honolulu, Hawaii 96813

Dear Ms. Cullison:

Subject: Draft Environmental Assessment (EA)
Community Training Kitchen at Ohana Ola 'O Kahumana
Waianae, Oahu, Hawaii
TMK: (1) 8-6-006:001

Thank you for the opportunity to review the Draft EA for the proposed Community Training Kitchen at Ohana Ola 'O Kahumana, which will consist of a 2,800 to 3,000 sq ft kitchen facility and a parking/loading area with an entrance from Kuwale Road. The project site is located approximately 2-miles northeast of Farrington Highway, State Route 93, with a functional classification of principal arterial.

Based on information provided in the Draft EA, the subject Community Training Kitchen is not expected to have a significant transportation impact on Farrington Highway.

If you have any questions, please contact Nami Wong, Systems Planning Engineer, Highways Division, Planning Branch, at (808) 587-6336. Please reference file review number PS 2016-144 in all contacts and correspondence regarding these comments.

Sincerely,

A handwritten signature in blue ink, appearing to read "Ford N. Fuchigami".

FORD N. FUCHIGAMI
Director of Transportation



