

DEPARTMENT OF COMMUNITY SERVICES  
CITY AND COUNTY OF HONOLULU

715 SOUTH KING STREET, SUITE 311 • HONOLULU, HAWAII 96813 • AREA CODE 808 • PHONE: 768-7762 • FAX: 768-7792

FILE COPY

AUG 09 2016

KIRK CALDWELL  
MAYOR



GARY K. NAKATA  
DIRECTOR

BARBARA YAMASHITA  
DEPUTY DIRECTOR

July 22, 2016

Mr. Scott Glenn  
Director  
Office of Environmental Quality Control  
State of Hawaii, Department of Health  
235 South Beretania Street, Room 702  
Honolulu, Hawaii 96813

RECEIVED  
16 JUL 27 P 3:42  
OFC. OF ENVIRONMENTAL  
QUALITY CONTROL

Dear Mr. Glenn:

SUBJECT: Draft Environmental Assessment  
Proposed Community Training Kitchen  
Ohana Ola`O Kahumana (TMK: 8-6-006:001)

With this letter, the City and County of Honolulu, Department of Community Services (DCS), hereby transmits the Draft Environmental Assessment and anticipated finding of no significant impact (DEA-AFONSI) for the proposed Community Training Kitchen at Ohana Ola`O Kahumana situated on parcel TMK: 8-6-006:001, Waianae district of Honolulu County, Oahu, for publication in the next available edition of the Environmental Notice.

Attached are a completed OEQC Publication Form, one (1) copy of the DEA-AFONSI, an Adobe Acrobat PDF file of the same, and an electronic copy of the publication form in MS Word. Simultaneous with this letter, we have submitted the summary of the action in a text file by electronic mail to your office.

If there are any questions, please contact Mr. Stephen Karel, Department of Community Services at 768-7753, or Ms. Catie Cullison, PBR Hawaii, the authorized consultant for this project at 521-5631.

Sincerely,

A handwritten signature in blue ink, appearing to read "Gary K. Nakata".

Gary K. Nakata  
Director

GKN:sgk

Attachments

cc: Tom McDonald, ASI Kahumana (w/o attach)  
Catie Cullison, PBR Hawaii (w/o attach)

17-042

**APPLICANT  
PUBLICATION FORM**

AUG 08 2016

Project Name:	Community Training Kitchen at Ohana Ola 'O Kahumana
Project Short Name:	Kitchen at Ohana Ola
HRS §343-5 Trigger(s):	Use of County lands
Island(s):	'Oahu
Judicial District(s):	Wai'anae
TMK(s):	186006001
Permit(s)/Approval(s):	Section 6E HRS review, individual wastewater system permit, DOT Highways Division permit, 201H application, site development approval, grading permit, trenching permit, building permit, construction dewatering permit, noise permit, Traffic Review Branch approval, drainage connection approval, street usage permit, water availability approval, Chapter 50 commercial cooking equipment of the Fire Code.
Approving Agency:	Department of Community Services
<i>Contact Name, Email, Telephone, Address</i>	ATTN: Mr. Stephen Karel Community Based Development Division City and County of Honolulu Department of Community Services 715 South King Street, Suite 311 Honolulu, Hawai'i 96813 Phone: (808) 768-7753 Fax: (808) 768-7792 Email: <a href="mailto:skarel@honolulu.gov">skarel@honolulu.gov</a>
Applicant:	Alternative Structures International (dba Kahumana)
<i>Contact Name, Email, Telephone, Address</i>	ATTN: Mr. Tom McDonald, Executive Director 86-660 Luualalei Homestead Road Waianae, HI 96792 Phone: (808) 696-2655 Email: <a href="mailto:kahumana.tom@gmail.com">kahumana.tom@gmail.com</a>
Consultant:	PBR HAWAII & Associates, Inc.
<i>Contact Name, Email, Telephone, Address</i>	ATTN: Ms. Catie Cullison, AICP, Senior Associate PBR HAWAII 1001 Bishop Street, Suite 650 Honolulu, Hawai'i 96813 Phone: (808) 521-5631 Fax: (808) 523-1402 Email: <a href="mailto:ccullison@pbrhawaii.com">ccullison@pbrhawaii.com</a>

**Status (select one)** DEA-AFNSI**Submittal Requirements**

Submit 1) the approving agency notice of determination/transmittal letter on agency letterhead, 2) this completed OEQC publication form as a Word file, 3) a hard copy of the DEA, and 4) a searchable PDF of the DEA; a 30-day comment period follows from the date of publication in the Notice.

 FEA-FONSI

Submit 1) the approving agency notice of determination/transmittal letter on agency letterhead, 2) this completed OEQC publication form as a Word file, 3) a hard copy of the FEA, and 4) a searchable PDF of the FEA; no comment period follows from publication in the Notice.

 FEA-EISPN

Submit 1) the approving agency notice of determination/transmittal letter on agency letterhead, 2) this completed OEQC publication form as a Word file, 3) a hard copy of the FEA, and 4) a searchable PDF of the FEA; a 30-day comment period follows from the date of publication in the Notice.

 Act 172-12 EISPN  
("Direct to EIS")

Submit 1) the approving agency notice of determination letter on agency letterhead and 2) this completed OEQC publication form as a Word file; no EA is required and a 30-day comment period follows from the date of publication in the Notice.

 DEIS

Submit 1) a transmittal letter to the OEQC and to the approving agency, 2) this completed OEQC

publication form as a Word file, 3) a hard copy of the DEIS, 4) a searchable PDF of the DEIS, and 5) a searchable PDF of the distribution list; a 45-day comment period follows from the date of publication in the Notice.

- FEIS Submit 1) a transmittal letter to the OEQC and to the approving agency, 2) this completed OEQC publication form as a Word file, 3) a hard copy of the FEIS, 4) a searchable PDF of the FEIS, and 5) a searchable PDF of the distribution list; no comment period follows from publication in the Notice.
- FEIS Acceptance Determination The approving agency simultaneously transmits to both the OEQC and the applicant a letter of its determination of acceptance or nonacceptance (pursuant to Section 11-200-23, HAR) of the FEIS; no comment period ensues upon publication in the Notice.
- FEIS Statutory Acceptance The approving agency simultaneously transmits to both the OEQC and the applicant a notice that it did not make a timely determination on the acceptance or nonacceptance of the applicant's FEIS under Section 343-5(c), HRS, and therefore the applicant's FEIS is deemed accepted as a matter of law.
- Supplemental EIS Determination The approving agency simultaneously transmits its notice to both the applicant and the OEQC that it has reviewed (pursuant to Section 11-200-27, HAR) the previously accepted FEIS and determines that a supplemental EIS is or is not required; no EA is required and no comment period ensues upon publication in the Notice.
- Withdrawal Identify the specific document(s) to withdraw and explain in the project summary section.
- Other Contact the OEQC if your action is not one of the above items.

### Project Summary

Provide a description of the proposed action and purpose and need in 200 words or less.

The proposed action is construction of a Kitchen facility that will serve an existing job training program at the Ohana Ola 'O Kahumana transitional housing community. The Kitchen and associated development will occupy approximately one acre and will include a 2,800-to-3,000 sq. ft. building, an individual wastewater system, a parking/loading area for about twelve vehicles, and an entrance off Kuwale Road. The proposed project will utilize previously disturbed vacant land and is not expected to substantially degrade environmental quality. All construction activities will comply with applicable regulations and appropriate mitigation measures will be implemented as necessary.

During the school year, the kitchen prepares approximately 1,100 healthy keiki meals per weekday from the Kitchen at Ulu Ke Kukui, a Department of Hawaiian Home Lands property located in Mā'ili. The lease for the Kitchen expires in 2018. The project objective is to: maintain and grow the part-time, temporary trainee positions that prepare the lunches. The primary source for filling these trainee positions are adults at Ohana Ola. Secondary objectives include: Uninterrupted continuation of a school lunch program, which feeds 1,100 underprivileged children every day; expand the school lunch program to respond to increasing demand; and utilize produce grown at Kahumana Farms to strengthen stewardship of the 'āina.

# Community Training Kitchen at Ohana Ola 'O Kahumana

## Draft Environmental Assessment – *Anticipated Finding of No Significant Impact*

§343 Hawai'i Revised Statutes,  
§11-200 Hawai'i Administrative Rules

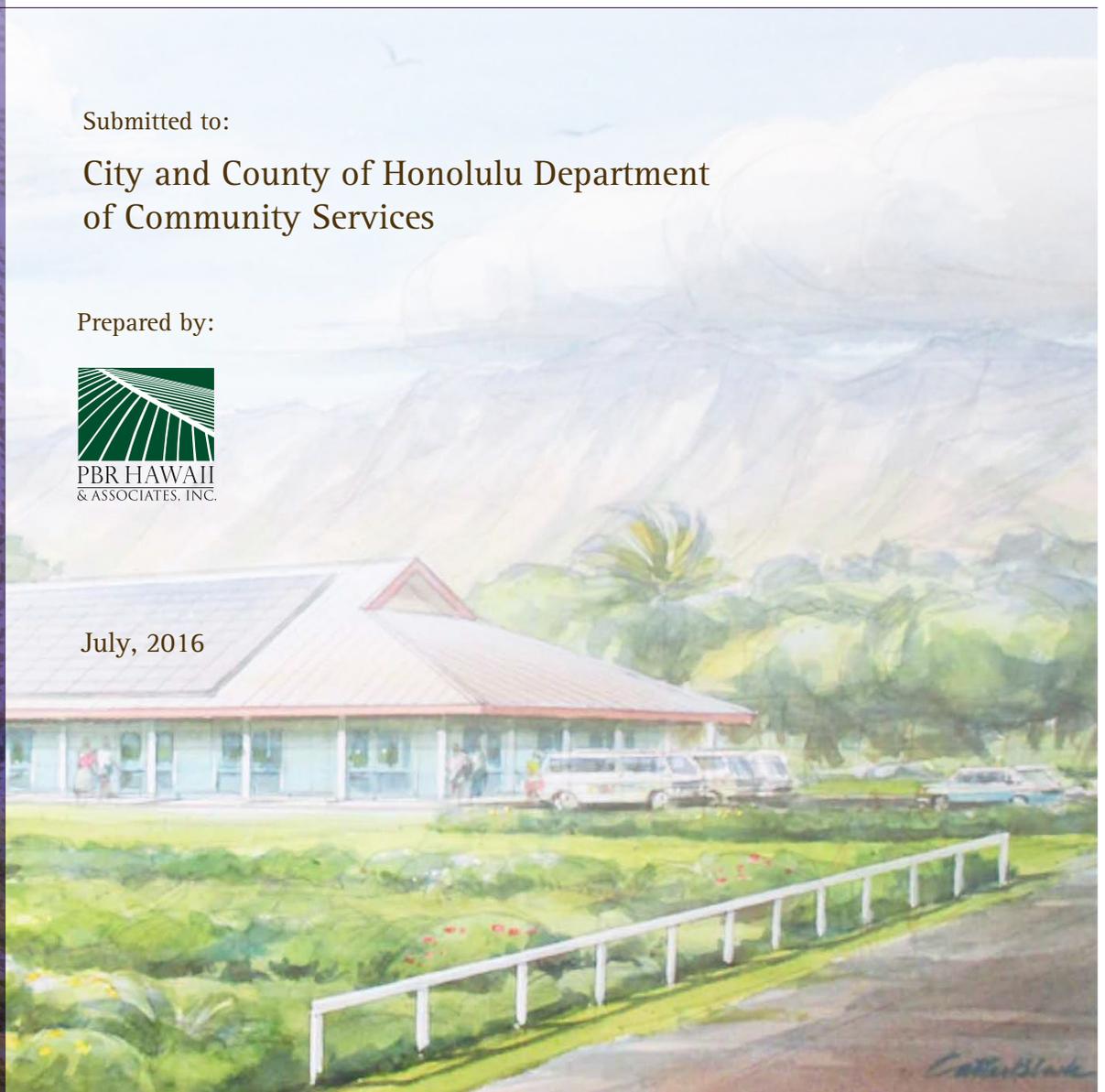
Submitted to:

City and County of Honolulu Department  
of Community Services

Prepared by:



July, 2016





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- Appendix B: City Council Resolution 00-198, CD1
- Appendix C: Archaeological Inventory Survey
- Appendix D: Historic and Cultural Consultation Materials
- Appendix E: Pre-Assessment Consultation Comment Letters and Responses
- Appendix F: Wai‘anae Coast Neighborhood Board Meeting Notes

## **LIST OF ABBREVIATIONS**

ALISH	Agricultural Lands of Importance to the State of Hawai‘i
ASI	Alternative Structures International
BMPs	best management practices
CACFP	Child and Adult Care Food Program
dB	decibel(s)
DCS	Department of Community Services (City and County of Honolulu)
DEA	Draft Environmental Assessment
DHS	Department of Human Services (State of Hawai‘i)
DLNR	Department of Land and Natural Resources (State of Hawai‘i)
DOA	Department of Agriculture (State of Hawai‘i)
DPP	Department of Planning and Permitting (City and County of Honolulu)
EA	Environmental Assessment
FEA	Final Environmental Assessment
FIRM	Flood Insurance Rate Map
HAR	Hawai‘i Administrative Rules
HIEMA	Hawai‘i Emergency Management Agency
HRS	Hawai‘i Revised Statutes
KUK	Kitchen at Ulu Ke Kukui
LSB	Land Study Bureau
NAAQS	National Ambient Air Quality Standards
NPDES	National Pollutant Discharge Elimination System
NRCS	Natural Resources Conservation Service
OOOK	Ohana Ola ‘O Kahumana
USDA	United States Department of Agriculture
USFWS	United States Fish and Wildlife Service
WSCP	Wai‘anae Sustainable Community Plan

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## 1 INTRODUCTION

This Environmental Assessment (EA) is prepared in accordance with the environmental review requirements of Hawai‘i Revised Statutes (HRS) Chapter 343, and Hawai‘i Administrative Rules (HAR), Title 11, Chapter 200. Section 343-5, HRS, establishes nine “triggers” that require compliance with these regulations, one of which is use of County or State lands or funds. The proposed Community Training Kitchen is located on City and County of Honolulu owned property, and therefore, an EA to consider the impacts of the proposed action on the human and natural environment is being prepared.

### 1.1 PROJECT SUMMARY

<b>Project Name:</b>	Community Training Kitchen at Ohana Ola ‘O Kahumana
<b>Location:</b>	Wai‘anae, O‘ahu (Figure 1)
<b>Judicial District:</b>	Wai‘anae
<b>Tax Map Key (TMK):</b>	Portion of 8-6-006: 001 (Figure 2)
<b>Proposing Agency:</b>	City and County of Honolulu Department of Community Services
<b>Landowner:</b>	City and County of Honolulu
<b>Existing Uses:</b>	Undeveloped land within a parcel that is currently developed with transitional housing called Ohana Ola ‘O Kahumana (OOOK), operated by Alternative Structures International (Figure 3)
<b>Proposed Action:</b>	The proposed project consists of constructing a 2,800-3,000 square foot kitchen facility, a parking/loading area for about a dozen vehicles, and an entrance off Kuwale Road.
<b>Project Area:</b>	Approximately one acre of 12.5-acre parcel
<b>Land Use Designations:</b>	<i>State Land Use:</i> Agriculture (Figure 4) <i>Wai‘anae Sustainable Community Plan:</i> Agriculture (Figure 5) <i>City and County of Honolulu Zoning:</i> Restricted Agricultural (AG-1) (Figure 6)
<b>Special Management Area:</b>	Not within the Special Management Area (SMA) (Figure 7)
<b>Actions Requested:</b>	Compliance with Chapter 343, Hawai‘i Revised Statutes Compliance with Hawai‘i Administrative Rules Title 11, Chapter 200

**Approving Agency:** City and County of Honolulu, Department of Community Services

**Determination:** Anticipated Finding of No Significant Impact (AFNSI)

## **1.2 LOCATION**

The proposed project is located on an approximately one acre portion of undeveloped land within a 12-acre TMK parcel in Lualualei Valley on the Wai‘anae Coast of O‘ahu. The TMK parcel has two entrances with separate street addresses: 86-704 Lualualei Homestead Road and 86-433 Kuwale Road, Wai‘anae, HI 96792. The project site’s location is shown in Figure 1 and Figure 3. The southern portion of the parcel is currently developed with the Ohana Ola ‘O Kahumana transitional housing. Photographs of the project site are included as Figure 8.

## **1.3 LAND OWNERSHIP AND MAJOR APPROVALS REQUIRED**

The property is owned by the City and County of Honolulu, and is identified as Tax Map Key (TMK) 8-6-006: 001. The TMK plat map for the property is provided as Figure 2.

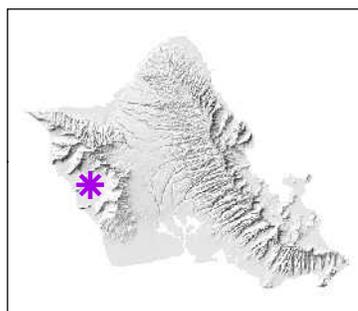
Alternative Structures International (dba Kahumana) leases the Ohana Ola ‘O Kahumana property from the City & County of Honolulu, Department of Community Services (DCS).



DATE: 5/12/2016

**LEGEND**

-  Project Site
-  Ohana Ola 'O Kahumana Community



**FIGURE 1:  
Regional Location Map**

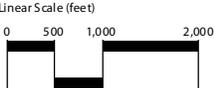
**Kahumana Community  
Training Kitchen**

Alternative Structures International Island of Oahu

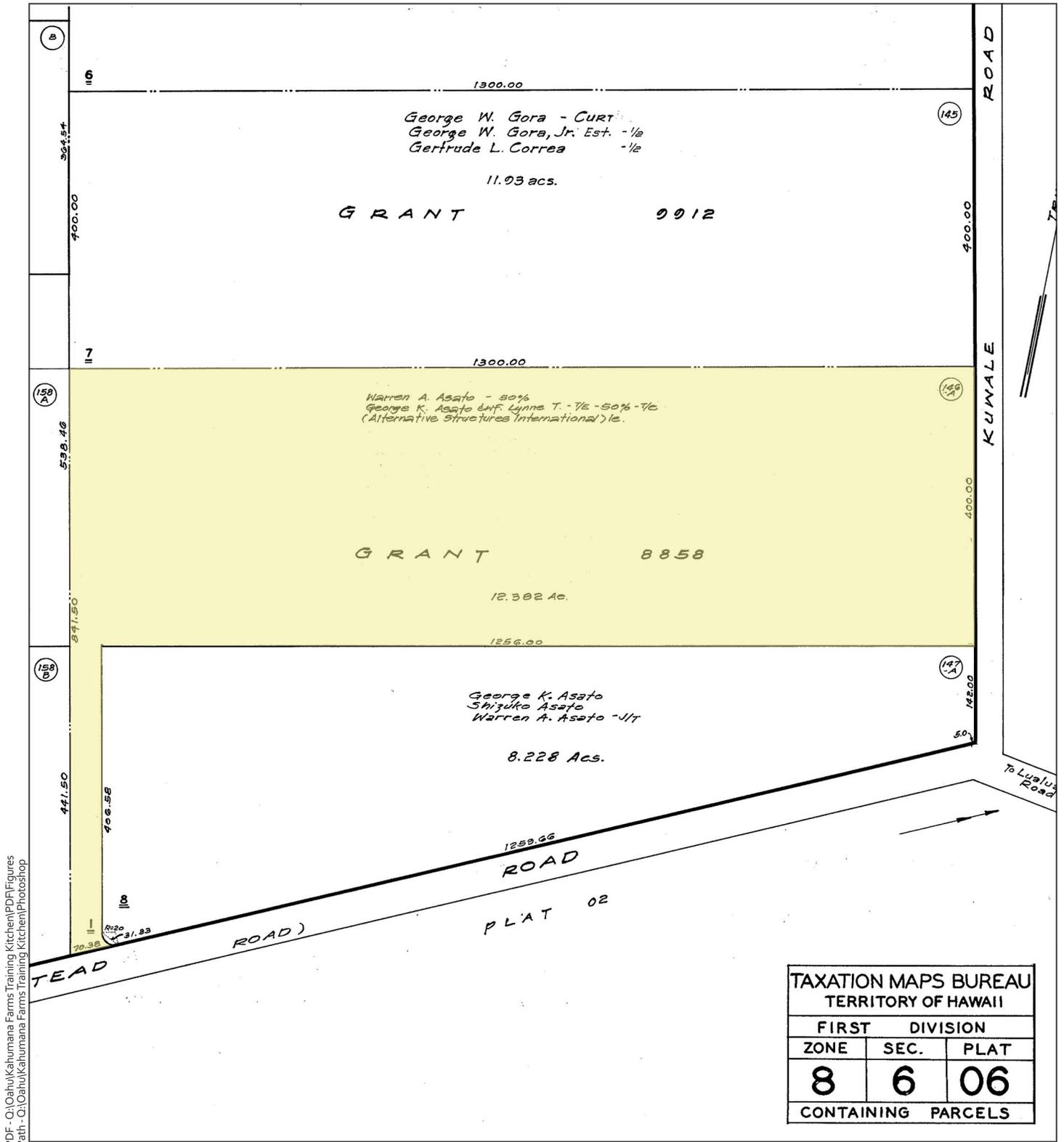
North



Linear Scale (feet)




Source: ESRI Online Basemaps.  
Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.



PDF - C:\Oahu\Kahumana Farms Training Kitchen\PDF\Figures Path - C:\Oahu\Kahumana Farms Training Kitchen\Photoshop

DRAFT 5/2/2016

**LEGEND**

Ohana Ola 'O Kahumana Community

**FIGURE 2:**  
**Tax Map Key**

**Kahumana Community Training Kitchen**

Alternative Structures International Island of O'ahu  
North

Linear Scale (in feet)

PBR HAWAII & ASSOCIATES, INC.

Source: State of Hawai'i

Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis beyond the limitations of the data.

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DATE: 5/2/2016

**LEGEND**

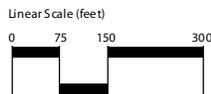
-  Ohana Ola 'O Kahumana Community
-  Project Site
-  Tax Map Key Parcels

**FIGURE 3:  
Aerial Photograph**

**Kahumana Community  
Training Kitchen**

Alternative Structures International Island of Oahu

North 

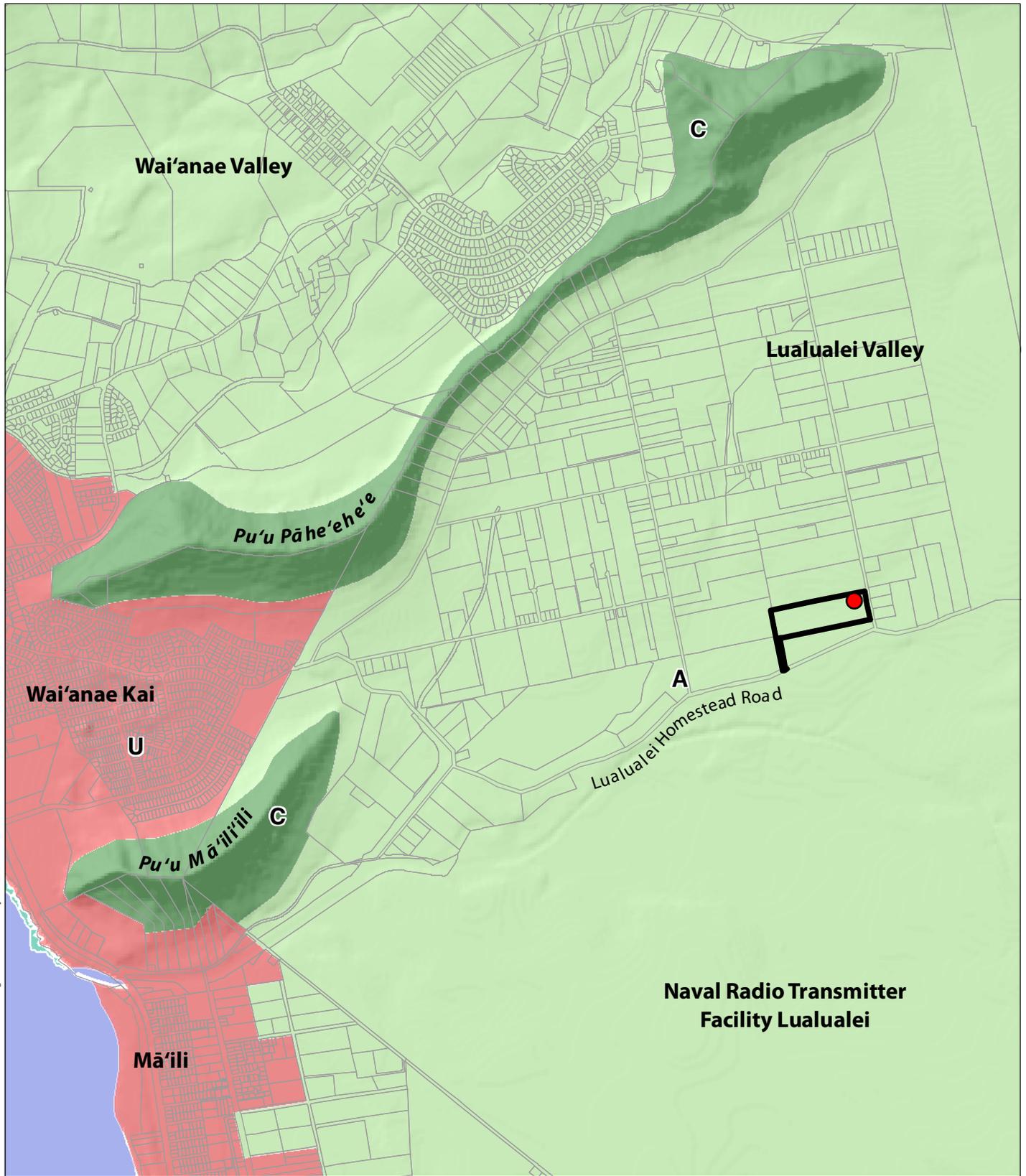
Linear Scale (feet) 



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

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DATE: 5/12/2016

### LEGEND

- Project Site
- Ohana Ola'O Kahumana Community
- Tax Map Key Parcels
- A - Agriculture
- C - Conservation
- U - Urban

**FIGURE 4:**  
**State Land Use Districts**

## **Kahumana Community Training Kitchen**

Alternative Structures International Island of Oahu

North

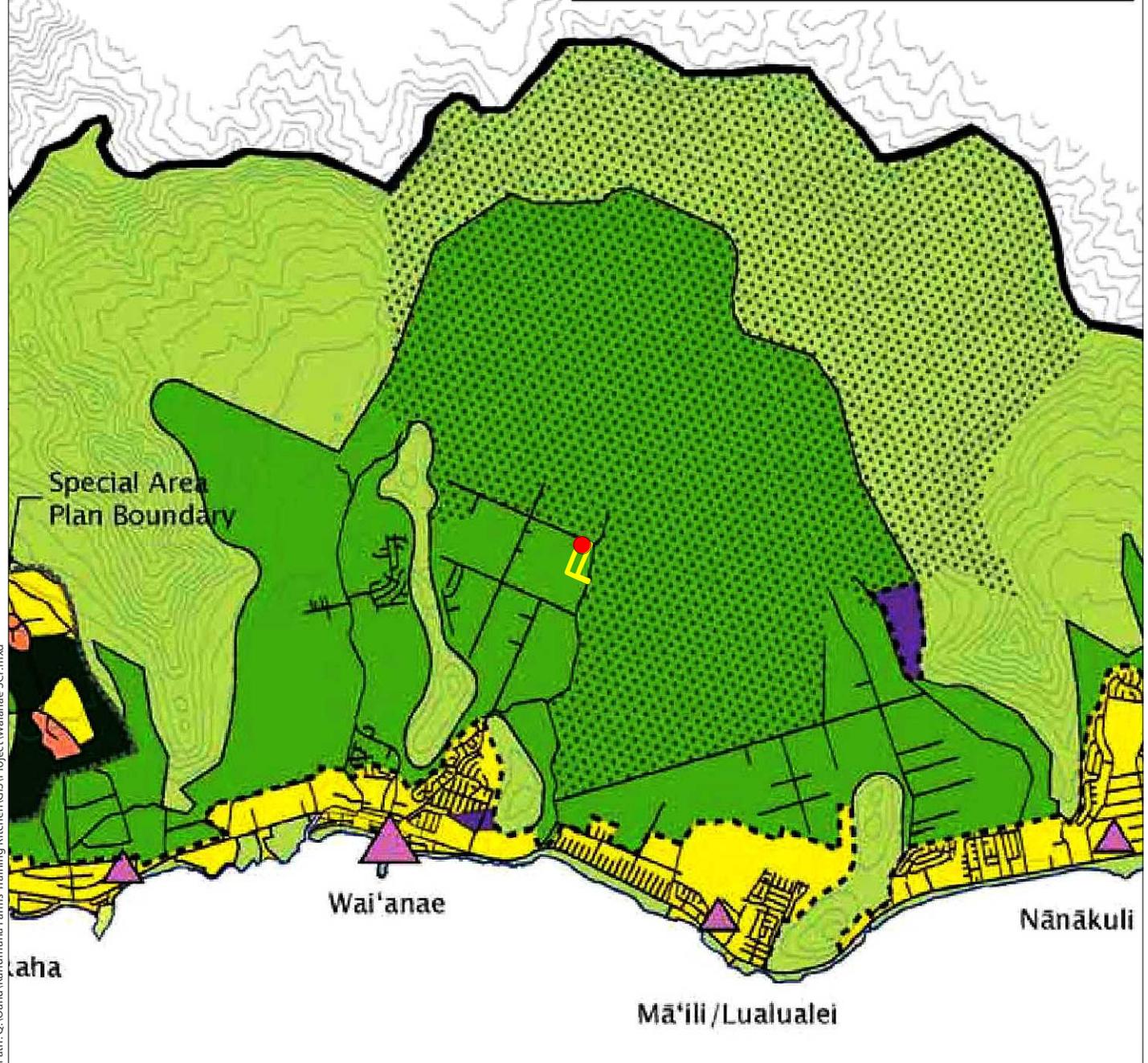
Linear Scale (feet)

0 500 1,000 2,000

Source: Hawai'i State Land Use Commission; City and County of Honolulu  
 Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.

**Legend**

----- Community Growth Boundary	■ Golf Course
..... Special Area Plan Boundary	■ Agriculture
■ Rural Residential	■ Preservation
■ Medium Density Residential	■ Military
■ Resort	▲ Country Town
■ Industrial	▲ Rural Community Commercial Center



DATE: 5/13/2016

**LEGEND**

- Project Site
- Ohana Ola 'O Kahumana Community

**FIGURE 5:**  
**Wai'anae Sustainable Communities Plan**  
**Land Use Map**

**Kahumana Community**  
**Training Kitchen**

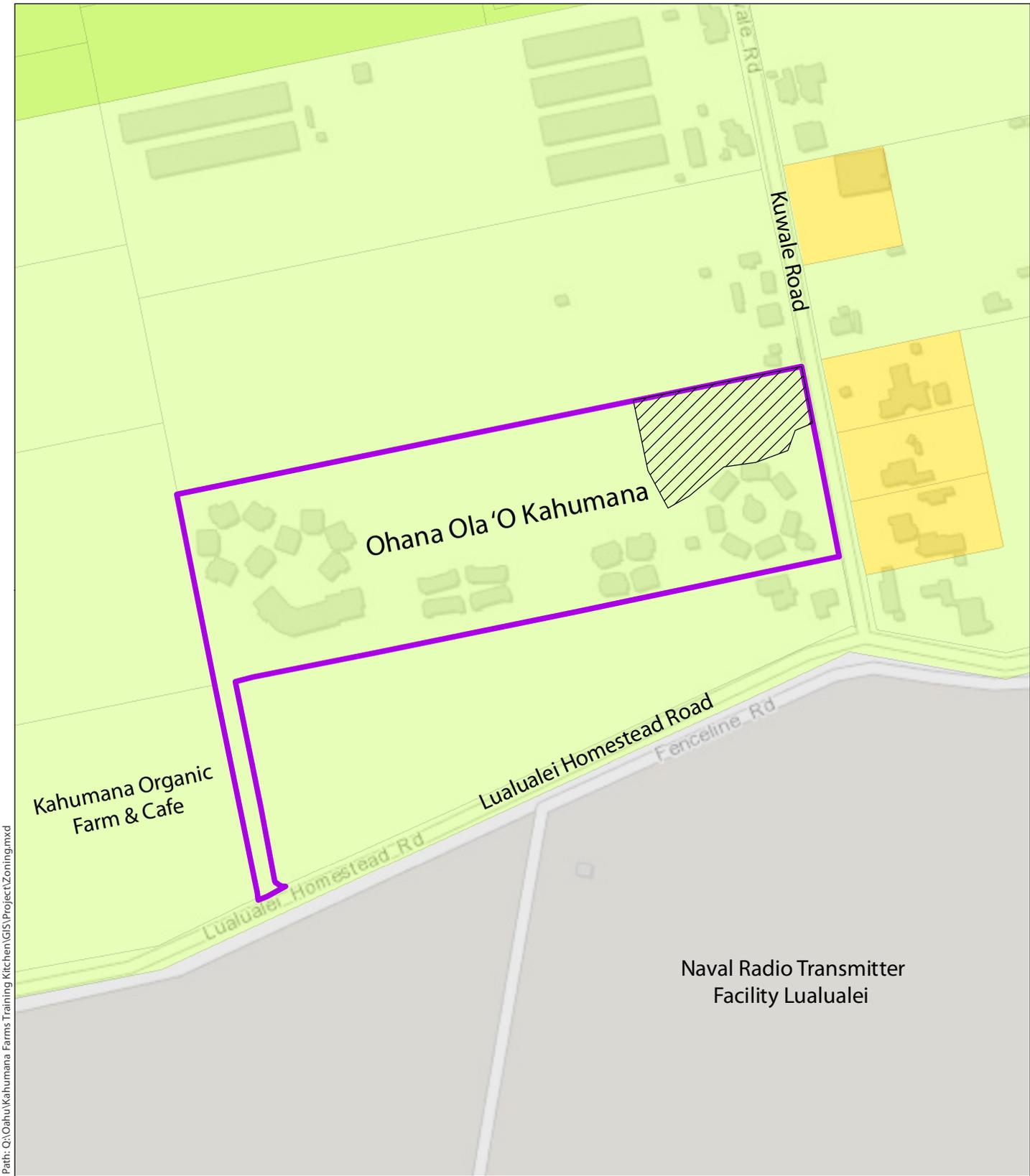
Alternative Structures International Island of O'ahu

North

Linear Scale (feet)

0 1,500 3,000 6,000

Source: City and County of Honolulu (2012).  
 Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.



DATE: 5/2/2016

**LEGEND**

-  Project Site
-  Ohana Ola 'O Kahumana Community
-  Tax Map Key Parcels
-  F-1 (Military and Federal)
-  AG-1 (Restricted Agriculture)
-  AG-2 (General Agriculture)
-  Country

**FIGURE 6:**  
City and County of Honolulu Zoning

**Kahumana Community Training Kitchen**

Alternative Structures International Island of Oahu

North

Linear Scale (feet)

0 75 150 300




Source: ESRI Online Basemaps; City and County of Honolulu  
Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.



Path: Q:\Oahu\Kahumana Farms Training Kitchen\GIS\Project\SMA.mxd

DATE: 5/12/2016

**LEGEND**

- Project Site
- Ohana Ola'O Kahumana Community
- Tax Map Key Parcels
- Special Management Area

**FIGURE 7:**

**Special Management Area**

**Kahumana Community Training Kitchen**

Alternative Structures International Island of Oahu

North

Linear Scale (feet)

0 500 1,000 2,000

PBR HAWAII & ASSOCIATES, INC.

Source: City and County of Honolulu GIS database; ESRI basemaps  
 Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.

**1.3.1 Identification of Proposing Agency**

The proposing agency is the City and County of Honolulu Department of Community Services

Contact: Mr. Steve Karel  
Community Based Development Division  
City and County of Honolulu  
Department of Community Services  
715 South King Street, Suite 311  
Honolulu, Hawai'i 96813  
Phone: (808) 768-7753  
Fax: (808) 768-7792

**1.3.2 Honolulu, HI 96813 Identification of Environmental Consultant**

The environmental consultant is PBR HAWAII & Associates, Inc. (PBR HAWAII).

Contact: Ms. Catie Cullison, AICP, Senior Associate  
PBR HAWAII  
1001 Bishop Street, Suite 650  
Honolulu, Hawai'i 96813  
Phone: (808) 521-5631  
Fax: (808) 523-1402

**1.3.3 Environmental Requirements**

Preparation of this document is in accordance with the provisions of Chapter 343, HRS and Title 11, Chapter 200, HAR pertaining to Environmental Impact Statements (EIS). Section 343-5, HRS established nine “triggers” that require either an EA or an EIS. The use of County lands requires the preparation of this EA.

**Community Training Kitchen at Ohana Ola ‘O Kahumana**  
Draft Environmental Assessment – *Anticipated Finding of No Significant Impact*

**1.3.4 List of Anticipated Permits and Approvals**

A list of anticipated permits and approvals are outlined in the table below.

**Table 1: Anticipated Permits and Approvals**

Agency	Anticipated Permit/Approval
<b>State of Hawai‘i</b>	
Department of Land and Natural Resources, Historic Preservation Division	<ul style="list-style-type: none"> <li>• Section 6E, HRS Review (in process)</li> </ul>
Department of Health	<ul style="list-style-type: none"> <li>• Individual Wastewater System Permit</li> </ul>
Department of Transportation	<ul style="list-style-type: none"> <li>• If oversized loads anticipated, a permit from DOT Highways Division is required</li> </ul>
<b>City and County of Honolulu</b>	
Department of Planning and Permitting	<ul style="list-style-type: none"> <li>• 201H Application</li> <li>• Site Development approval</li> <li>• Grading permit</li> <li>• Trenching permit</li> <li>• Building permit</li> <li>• Construction Dewatering permit</li> <li>• Noise Permit for Construction Activities</li> <li>• Traffic Review Branch approval</li> <li>• Drainage Connection approval</li> </ul>
Honolulu Fire Department	<ul style="list-style-type: none"> <li>• Chapter 50 Commercial Cooking Equipment of the Fire Code during building plan review</li> </ul>
Department of Transportation Services	<ul style="list-style-type: none"> <li>• Street usage permit, if any construction work requires temporary closure of any traffic lane on a City Street</li> </ul>
Board of Water Supply	<ul style="list-style-type: none"> <li>• Water Availability approval</li> </ul>

### **1.3.5 Identification of Approving Agency**

The Department of Community Services is the approving agency.

Contact:        Mr. Stephen Karel  
                      Community Based Development Division  
                      City and County of Honolulu  
                      Department of Community Services  
                      715 South King Street, Suite 311  
                      Honolulu, Hawai‘i 96813  
                      Phone: (808) 768-7753  
                      Fax: (808) 768-7792

### **1.4 SURROUNDING LAND USES**

The proposed project is located on an undeveloped portion of TMK 8-6-006: 001, which is bordered to the north, northwest, west, and south by farms, residential, military and community uses. Immediately to the southwest is Kahumana Organic Farm & Café, where the offices of Alternative Structures International (ASI, dba Kahumana) are located. The eastern portion of the project site is bordered by Kuwale Road, across which are single family residences and the Divine Church of God. Beyond the farm to the south of the project site is Lualualei Homestead Road, across which is the Naval Radio Transmitter Facility Lualualei.

The southern portion of TMK 8-6-006: 001 is currently developed with transitional housing called Ohana Ola ‘O Kahumana, operated by Kahumana.

Farming and other agricultural activities also occur further to the north, west, and east of the proposed project.

## **2 PROJECT DESCRIPTION**

This project is being proposed by Alternative Structures International, dba Kahumana. Kahumana is a 501(c)(3) nonprofit organization founded on O‘ahu in 1974. Its mission is to co-create a healthy, inclusive and productive farm-based community with homeless families, people with disabilities, and youth. Kahumana achieves this mission through an integrated mix of social services, social ventures, and training venues (learn more at [www.kahumana.org](http://www.kahumana.org)). This section provides background information and a general description of the proposed Community Training Kitchen (Kitchen) at Ohana Ola ‘O Kahumana.

### **2.1 NEED FOR THE PROJECT**

At any given time, 122 families with minor, dependent children live in two transitional housing programs run by Kahumana. The program in Wai‘anae is called Ohana Ola ‘O Kahumana (Ohana Ola); the other, in Mā‘ili, is named Ulu Ke Kukui. Kahumana provides these families with case management and wrap-around services to help them transition to permanent housing within two years. It is a difficult journey for adults who may have low academic achievement, few job skills, or little or no work experience. Language may also pose a barrier: English is a second language for nearly half of the transitional housing residents. Other obstacles may include difficulty adjusting to structured work environments or reluctance to take on new responsibilities. These kinds of challenges make job training an essential stepping stone for families navigating their way from homelessness to self-sufficiency.

One of Kahumana’s job-training venues is the Kitchen at Ulu Ke Kukui. This kitchen trains over 20 unemployed or extremely low-income people per year. The platform for their training is the fulfillment of meal contracts for underprivileged children. During the school year, the kitchen prepares approximately 1,100 healthy keiki meals per weekday. It is a successful program with high potential for growth. Based on on-going dialogue with kitchen clients, Kahumana estimates that it could double the kitchen’s production, which would provide for triple the number of trainees.

Expansion of the program to increase production is currently not possible given the existing kitchen’s cramped quarters. The existing Kitchen at Ulu Ke Kukui is approximately 1,386 sq. ft., excluding a corner office, toilet, and storage area for warmer bins and storage racks. It was originally meant to serve only the residents at Ulu Ke Kukui, and is extremely small for producing 1,100 meals per day. Moreover, Kahumana cannot physically expand the existing facility because it does not have site control of the property. The Ulu Ke Kukui property belongs to the Department of Hawaiian Home Lands (DHHL), which leases the land to the State of Hawai‘i. In turn, the State Department of Human Services (DHS) contracts with Kahumana to run the transitional housing program and kitchen at Ulu Ke Kukui.

An additional obstacle is that the lease for Ulu Ke Kukui will expire in 2018, leaving the existing kitchen’s future uncertain. Kahumana is thus exploring the possibility of building a new, larger facility on undeveloped land at Ohana Ola.

## **Community Training Kitchen at Ohana Ola 'O Kahumana**

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By locating the Kitchen at Ohana Ola, the keiki meal production program can be maintained on land where Kahumana has greater site control providing more certainty that the program can continue uninterrupted and eventually expand. The location at Ohana Ola puts the Kitchen in immediate proximity to resident trainees and Kahumana Farm's produce which is used in meal production.



1. View from Kuwale Road of drainage ditch to the west/makai (Ohana Ola 'O Kahumana housing and parking lot on the left)



2. View from Kuwale Road of drainage ditch to the west/makai



3. Northward view up Kuwale Road (toward Pu'u Pāhe'ehe'e), with project site on the left



4. Approximate location of proposed access driveway, currently overgrown with vegetation



5. View of northeast corner of project site



6. View from Ohana Ola I overlooking drainage ditch to the northwest



**Key Map**

**Figure 8  
Site Photographs**

**Kahumana Farms Training Kitchen**

ISLAND OF O'AHU

DATE: 05/12/2016



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## **2.2 KEY ELEMENTS OF THE PROPOSED PROJECT**

### **2.2.1 Existing Facilities at Ohana Ola ‘O Kahumana**

The Ohana Ola facilities include six one-bedroom units, 36 two-bedroom units, and six three-bedroom units. All units include a full kitchen and bathroom.

Ohana Ola was developed in two phases, both of which involved City Council Resolutions exempting the projects from certain planning, zoning, and development standards. Resolution 89-351 for Phase I was adopted on August 9, 1989 (Appendix A), CD1 for Phase II was adopted on October 18, 2000 (Appendix B). The entire housing complex occupies a little less than half of the 12.4 acre property, leaving approximately 6.5 acres undeveloped.

### **2.2.2 Proposed New Facility**

Based on preliminary estimates, the new Kitchen facility will occupy approximately one acre and will include a 2,800-to-3,000 sq. ft. building, an individual wastewater system, a parking/loading area for about twelve vehicles, and an entrance off Kuwale Road. The estimated cost for this project is \$2.4 million.

### **2.2.3 Project Goals & Objectives**

The goals of this project are to retain and expand Kahumana’s kitchen training program by building a larger facility and locating it where Kahumana will have long-term site control.

The objectives are to create 20 part-time (19 hours/week), temporary trainee positions, and for trainees to transition to jobs in the larger community in three to six months. Thus, for every 12-month period, the program is expected to serve 50-to-60 individuals. The primary source for filling these trainee positions will be adults at Ohana Ola.

Secondary objectives include:

- Uninterrupted continuation of the school lunch program, which feeds 1,100 underprivileged children every day.
- Growth of the school lunch program, to respond to increasing demand.
- Utilization of produce grown at Kahumana Farms to the extent possible to strengthen connections with and stewardship of the ‘āina in the farm-to-table process.

### **2.2.4 Personnel**

On-the-job training in the kitchen will continue to be conducted by Kahumana’s Kitchen Manager. The current Kitchen Manager is a former resident of Ohana Ola who worked her way up from volunteering at the kitchen at Ulu Ke Kukui to supervising an Assistant Manager and 6-to-8 full-time employees. She is credited with significantly increasing the kitchen’s meal contracts and is a driving force behind this project.

The Kitchen Manager will be supported by an Employment Specialist who will work intensively with trainees on a one-on-one basis to help them complete their training and find permanent

employment. The Employment Specialist will, in turn, consult with Case Managers to ensure that the training process is integrated with each individual’s transitional plan. This support team will also include Kahumana’s Human Resource Manager, Child Care Director, and Housing Specialist.

### **2.2.5 Project Site Advantages**

Situating the new Community Training Kitchen (Kitchen) facility at Ohana Ola will offer several advantages over its current location at Ulu Ke Kukui. Residents in the transitional housing complex will be able to walk to the Kitchen via a short footbridge. This will make the program accessible to all housing residents, including those who cannot afford to own cars or pay for bus fare. The proposed site will be within walking distance of the organic farm that is being planned for the remaining undeveloped land at Ohana Ola, and Kahumana’s existing nine-acre farm that is adjacent to Ohana Ola. The close proximity of the new Kitchen to the farms will create innumerable opportunities for educating participants about the farm-to-table process.

Further, Kahumana plans to open a third, 16-acre farm farther up Kuwale Road from the proposed Kitchen in late 2016. Together, the three farms are expected to supply a steady stream of fresh organic produce and eggs for the meals prepared by the Kitchen for underprivileged children.

### **2.2.6 Conceptual Plan**

The current plan for the Kitchen at Ohana Ola ‘O Kahumana encompasses approximately one acre of built space that includes a 2,800- to 3,000-square-foot building, a parking/loading area with approximately 12 standard parking stalls and one loading stall, and an entrance off Kuwale Road (Figure 9).

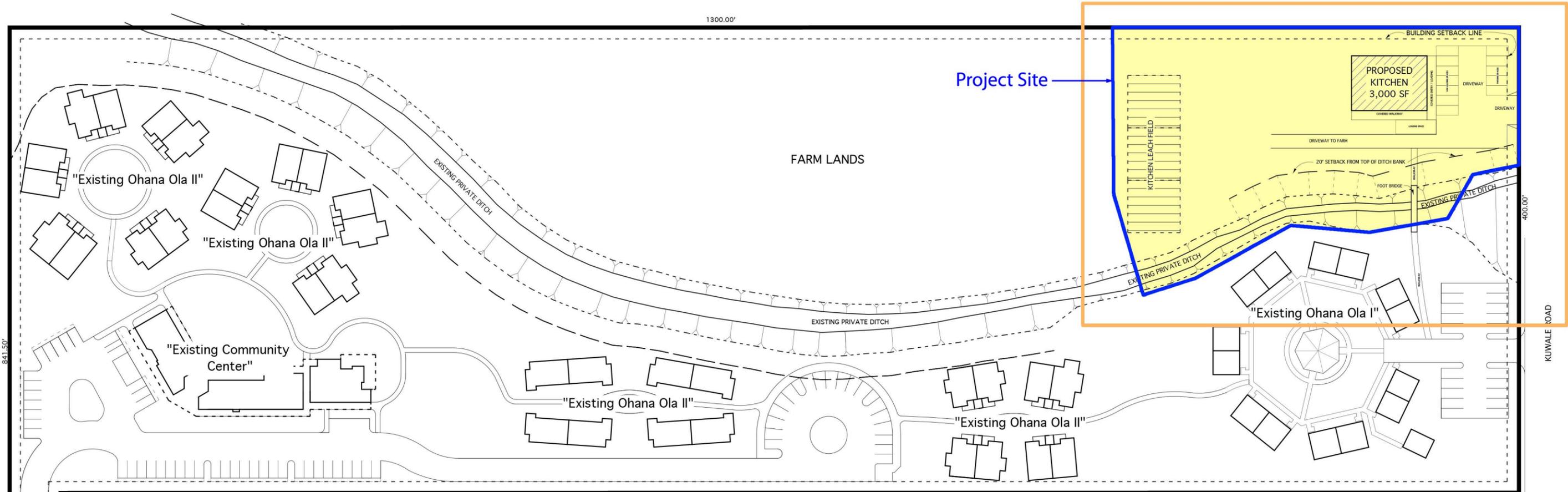
## **2.3 PROJECT IMPLEMENTATION**

### **2.3.1 Timing of Action**

Construction of the Kitchen is hoped to be completed in the spring of 2018.

### **2.3.2 Estimated Cost**

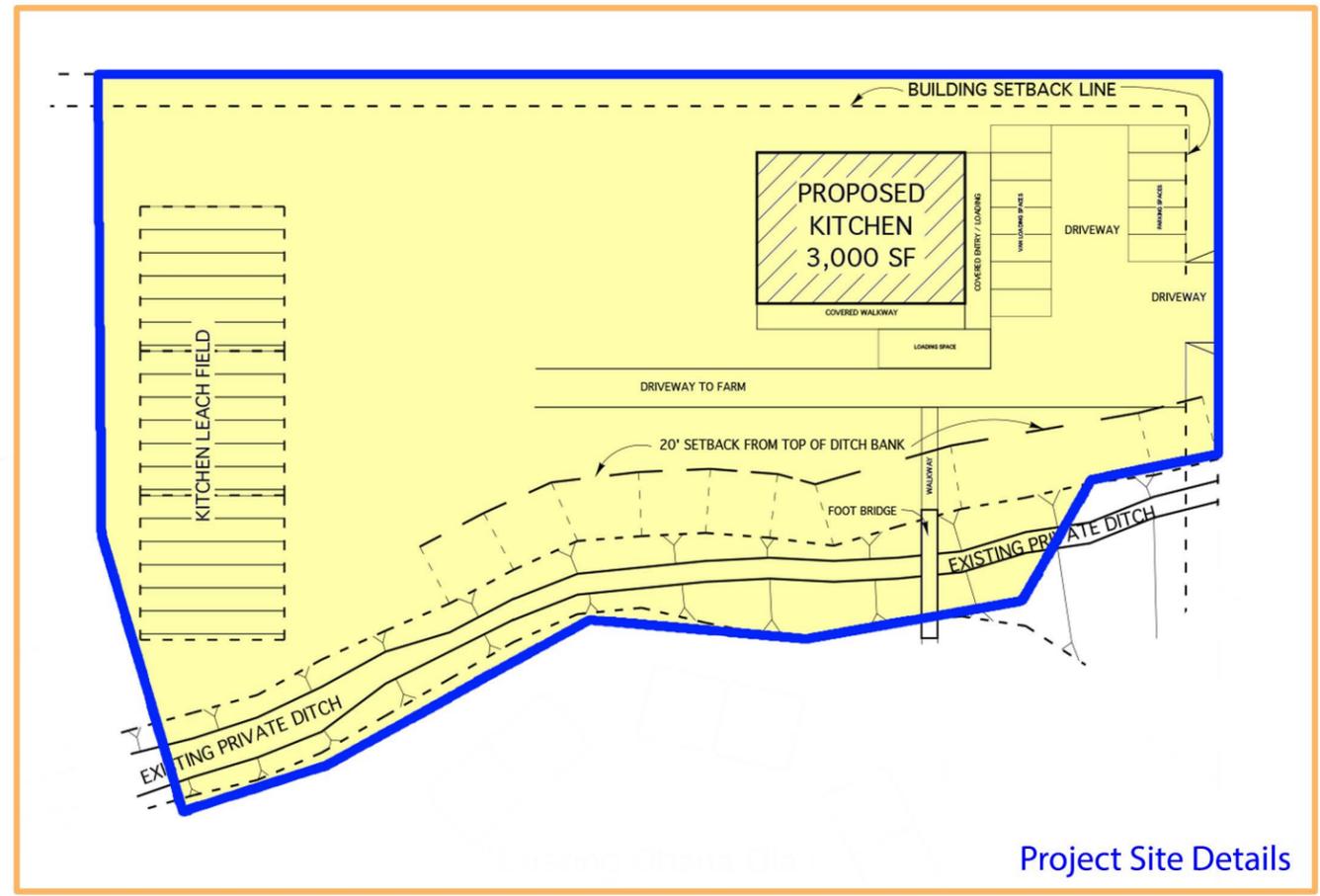
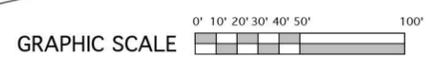
The estimated project cost is approximately \$2.4M.



Ohana Ola 'O Kahumana Community

**CODE INFORMATION**

TAX MAP KEY: 8 - 6 - 006 : 001  
 LOCATION: 86-433 Kuwale Road, Waianae, Hawaii 96792  
 ZONING: AG-1  
 OCCUPANCY: RESIDENTIAL  
 TYPE OF CONSTRUCTION: V-B



Project Site Details

JOHN VITO GRANITO  
 ARCHITECT & ASSOCIATES  
 47-635 UAKEA PLACE  
 KANEHOE, HAWAII 96744 PHONE: 239-7318

**FIGURE 9:**  
**Conceptual Site Plan**

**Kahumana Community  
 Training Kitchen**

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### **3 RELATION TO PLANS AND POLICIES**

The State of Hawai‘i and City and County of Honolulu land use plans, policies, required permits and approvals relevant to the proposed project are described below.

#### **3.1 STATE OF HAWAI‘I**

##### **3.1.1 “Aloha Spirit” Law, Chapter 5-7.5, Hawai‘i Revised Statutes**

This law directs that State of Hawai‘i executive and judicial branch leadership, in exercising their power in fulfillment of their responsibilities give consideration to the “Aloha Spirit”. As codified in Hawai‘i Revised Statutes, “Aloha Spirit” is embodied in five Native Hawaiian concepts:

*"Akahai", meaning kindness to be expressed with tenderness;*

*"Lokahi", meaning unity, to be expressed with harmony;*

*"Oluolu", meaning agreeable, to be expressed with pleasantness;*

*"Haahaa", meaning humility, to be expressed with modesty;*

*"Ahonui", meaning patience, to be expressed with perseverance.*

**Discussion:** While no discretionary approvals are being sought by State Agencies, the EIS law and State Land Use Law are governed by State Statutes. The “Aloha Spirit” law notes the “*essence of relationships in which each person is important to every other person for collective existence*”. The “Aloha Spirit” law reflects this project’s purpose and objectives in the use of land and resources to support and uplift people of Hawai‘i who are in need.

##### **3.1.2 State Land Use Law, Chapter 205, Hawai‘i Revised Statutes**

The State Land Use Law (Chapter 205, HRS), establishes the State Land Use Commission (LUC) and authorizes this body to designate all lands in the State into one of four districts: Urban, Rural, Agricultural, or Conservation. These districts are defined and mapped by the LUC in order to ensure compatibility with neighboring land uses and protection of public health.

**Discussion:** The proposed project is located within the State Agricultural District (Figure 4). As established by City Council Resolution 89-351 (adopted August 9, 1989) and City Council Resolution 00-198, CD1 (adopted October 18, 2000). Ohana Ola has been granted exemptions from the State Land Use Agricultural District Boundary to allow residential use (transitional housing) in an agricultural district. See Appendices A and B. The proposed project will be an integral part of the Ohana Ola transitional housing program, as it will provide Ohana Ola residents with vital job training that will be an essential stepping stone for families navigating their way from homelessness to self-sufficiency. By situating the new facility at Ohana Ola, residents in the transitional housing complex will be able to walk to the kitchen. This will make the program accessible to all housing residents, including those who cannot afford to own cars or pay for bus fare.

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The proposed site also will be within walking distance of three organic farms, one that is being planned for the remaining undeveloped land at Ohana Ola, Kahumana’s existing nine-acre farm that is adjacent to Ohana Ola, and a 16-acre farm initiated in 2016 on Kuwale Road. The close proximity of the new kitchen to the farms will not only complement and enhance the agricultural activities of both Kahumana and Ohana Ola, it will also streamline the process of incorporating fresh farm produce into the kitchen’s meals for underprivileged children. The proposed facility will thus provide a necessary link in the agricultural/food chain connecting farm to table.

**3.1.3 Coastal Zone Management Act, Chapter 205A, Hawai‘i Revised Statutes**

The Coastal Zone Management (CZM) Area, as defined in Chapter 205A, HRS, includes all the lands of the State of Hawai‘i. The project site sits inland from the shoreline and is located outside of the Special Management Area (SMA) (see Figure 7). The proposed project should have little to no negative impact on the goals set forth in the State’s ten management objectives. CZM Act Program management objectives and applicability to the proposed project are discussed below:

**3.1.3.1 Recreational Resources**

**Objective:** Provide coastal recreational opportunities accessible to the public.

**Policy A:** Improve coordination and funding of coastal recreational planning and management; and,

**Policy B:** Provide adequate, accessible, and diverse recreational opportunities in the coastal zone management area by:

- (i) Protecting coastal resources uniquely suited for recreational activities that cannot be provided in other areas;
- (iii) Providing and managing adequate public access, consistent with conservation of natural resources, to and along shorelines with recreational value;
- (iv) Providing an adequate supply of shoreline parks and other recreational facilities suitable for public recreation;
- (vii) Developing new shoreline recreational opportunities, where appropriate, such as artificial lagoons, artificial beaches, and artificial reefs for surfing and fishing; and
- (viii) Encouraging reasonable dedication of shoreline areas with recreational value for public use as part of discretionary approvals or permits by the land use commission, board of land and natural resources, and County authorities; and crediting such dedication against the requirements of section 46-6.

**Discussion:** The proposed project will be located inland, approximately 2 miles away from the shoreline; therefore, it is anticipated that there will be no effect on existing coastal recreational resources.

**3.1.3.2 Historic Resources**

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**Objective:** Protect, preserve and, where desirable, restore those natural and man-made historic and prehistoric resources in the coastal zone management area that are significant in Hawaiian and American history and culture.

**Policy A:** Identify and analyze significant archaeological resources;

**Policy B:** Maximize information retention through preservation of remains and artifacts or salvage operations; and

**Policy C:** Support State goals for protection, restoration, interpretation, and display of historic resources.

**Discussion:** The Archaeological Inventory Survey in Appendix C recommends no further archaeological work for the survey area. Additional information on historic, archaeological, and cultural resources is included in Section 4.7 of this EA. Should any unknown sites be encountered during project development, work in the immediate area will halt and the State Historic Preservation Division will be notified in accordance with State regulations.

#### **3.1.3.3 Scenic and Open Space Resources**

**Objective:** Protect, preserve and, where desirable, restore or improve the quality of coastal scenic and open space resources.

**Policy A:** Identify valued scenic resources in the coastal zone management area;

**Policy B:** Ensure that new developments are compatible with their visual environment by designing and locating such developments to minimize the alteration of natural landforms and existing public views to and along the shoreline;

**Policy C:** Preserve, maintain, and, where desirable, improve and restore shoreline open space and scenic resources; and

**Policy D:** Encourage those developments which are not coastal dependent to locate in inland areas.

**Discussion:** The proposed project will be located inland, approximately 2 miles away from the shoreline. This region has open space with outstanding views of the Wai‘anae Mountain Range to the north and east. The project site will be transformed from vacant land to a kitchen training facility. Best Management Practices (BMPs) will be employed during construction to reduce erosion of soils and fugitive dust during construction. It is anticipated that there will be no effect on the quality of the coastal scenic resources. See Section 4.10 for a discussion on visual resources.

#### **3.1.3.4 Coastal Ecosystems**

**Objective:** Protect valuable coastal ecosystems, including reefs, from disruption and minimize adverse impacts on all coastal ecosystems.

**Policy A:** Exercise an overall conservation ethic, and practice stewardship in the protection, use, and development of marine and coastal resources;

**Policy B:** Improve the technical basis for natural resource management;

**Policy C:** Preserve valuable coastal ecosystems, including reefs, of significant biological or economic importance;

**Policy D:** Minimize disruption or degradation of coastal water ecosystems by effective regulation of stream diversions, channelization, and similar land and water uses, recognizing competing water needs; and

**Policy E:** Promote water quantity and quality planning and management practices that reflect the tolerance of fresh water and marine ecosystems and maintain and enhance water quality through the development and implementation of point and nonpoint source water pollution control measures.

**Discussion:** Although the proposed project is located inland and approximately 2 miles away from the shoreline, its development will incorporate measures to mitigate any water quality impacts from surface runoff in accordance with applicable State and County drainage regulations. Controlling runoff particularly helps to ensure that the construction does not increase inputs of sediment into Mā'ili'ili Stream.

It is anticipated that over the long term the proposed project will not have a deleterious effect on the quality of the coastal ecosystems. Low Impact Development (LID) techniques incorporated into the site design will keep stormwater infiltrating on site. LID measures are expected to be the installation of landscaping with native plants to accept stormwater runoff from the kitchen's rooftop and parking lot. Additional measures may include use of cisterns for rainwater harvest, and use of pervious pavement in the parking lot. Specific LID techniques will be determined upon further site examination (infiltration tests) and grading design.

In the short term, construction Best Management Practices (BMPs) for stormwater will be determined by the site contractor. However, they are expected to include measures to ensure that dirt and sediment are not allowed to wash into the adjacent drainageway or be tracked on to Kuwale Road by trucks and equipment.

#### **3.1.3.5 Economic Uses**

**Objective:** Provide public or private facilities and improvements important to the State's economy in suitable locations.

**Policy A:** Concentrate coastal dependent development in appropriate areas;

**Policy B:** Ensure that coastal dependent development such as harbors and ports, and coastal related development such as visitor industry facilities and energy generating facilities, are

located, designed, and constructed to minimize adverse social, visual, and environmental impacts in the coastal zone management area; and

**Policy C:** Direct the location and expansion of coastal dependent developments to areas presently designated and used for such developments and permit reasonable long-term growth at such areas, and permit coastal dependent development outside of presently designated areas when: (i) use of presently designated locations is not feasible; (ii) adverse environmental effects are minimized; and (iii) the development is important to the State's economy.

**Discussion:** The proposed project does not directly impact the State’s coastal-dependent economy, however, during construction it will generate short-term employment (and accompanying State income and excise tax revenue). Once operational, the proposed training kitchen will provide workforce training that aims to reduce unemployment, thereby strengthening the local economy.

#### **3.1.3.6 Coastal Hazards**

**Objective:** Reduce hazard to life and property from tsunami, storm waves, stream flooding, erosion, subsidence, and pollution.

**Policy A:** Develop and communicate adequate information about storm wave, tsunami, flood, erosion, subsidence, and point and non-point source pollution hazards;

**Policy B:** Control development in areas subject to storm wave, tsunami, flood, erosion, hurricane, wind, subsidence, and point and non-point source pollution hazards;

**Policy C:** Ensure that developments comply with requirements of the Federal Flood Insurance Program; and

**Policy D:** Prevent coastal flooding from inland projects.

**Discussion:** The project site is located approximately 2 miles inland, well outside the tsunami evacuation zone (Figure 18) and within an undetermined flood zone.

The location, rural Wai‘anae may be vulnerable to wildfire. According to the City and County of Honolulu, the greatest danger of fire is where wildlands (trees and brush) border urban areas. Development of the kitchen grounds and eventual irrigated farm development of the remainder of the parcel will remove the existing fuel (overgrown grasses), providing a functional firebreak to the Kitchen. Additionally, the Kitchen facility will be subject to Ohana Ola’s established emergency plan that includes provisions for the safe evacuation of residents, staff, and visitors.

#### **3.1.3.7 Managing Development**

**Objective:** Improve the development review process, communication, and public participation in the management of coastal resources and hazards.

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**Policy A:** Use, implement, and enforce existing law effectively to the maximum extent possible in managing present and future coastal zone development;

**Policy B:** Facilitate timely processing of applications for development permits and resolve overlapping or conflicting permit requirements; and

**Policy C:** Communicate the potential short and long-term impacts of proposed significant coastal developments early in their life cycle and in terms understandable to the public to facilitate public participation in the planning and review process.

**Discussion:** Improvements will be developed in accordance with all Federal, State, and County requirements and standards affecting health and safety. Due to the project site’s inland location and relatively small size, it should not be considered a “significant coastal development.” However, this EA is intended to communicate the potential short and long-term impacts of the proposed project to the public to facilitate public participation in the planning and review process.

#### **3.1.3.8 Public Participation**

**Objective:** Stimulate public awareness, education, and participation in coastal management.

**Policy A:** Promote public involvement in coastal zone management processes;

**Policy B:** Disseminate information on coastal management issues by means of educational materials, published reports, staff contact, and public workshops for persons and organizations concerned with coastal issues, developments, and government activities; and

**Policy C:** Organize workshops, policy dialogues, and site-specific mediations to respond to coastal issues and conflicts.

**Discussion:** Kahumana has contacted various stakeholders in the community, including government agencies, public officials, Native Hawaiian Organizations, neighbors in surrounding residences, and other community members regarding the proposed project. Lists of those consulted and corresponded with regarding the Kitchen are listed in Chapter 7. Kahumana also made a presentation to the Wai’anae Coast Neighborhood Board (NB) on July 5, 2016.

#### **3.1.3.9 Beach Protection**

**Objective:** Protect beaches for public use and recreation.

**Policy A:** Locate new structures inland from the shoreline setback to conserve open space, minimize interference with natural shoreline processes, and minimize loss of improvements due to erosion;

**Policy B:** Prohibit construction of private erosion-protection structures seaward of the shoreline, except when they result in improved aesthetic and engineering solutions to erosion at the sites and do not interfere with existing recreational and waterline activities; and

**Policy C:** Minimize the construction of public erosion-protection structures seaward of the shoreline.

**Discussion:** Due to the distance from the shoreline, no adverse impact to area beaches is anticipated by the structure and infrastructure proposed as part of the project.

#### **3.1.3.10 Marine Resources**

**Objective:** Promote the protection, use, and development of marine and coastal resources to assure their sustainability.

**Policy A:** Ensure that the use and development of marine and coastal resources are ecologically and environmentally sound and economically beneficial;

**Policy B:** Coordinate the management of marine and coastal resources and activities to improve effectiveness and efficiency;

**Policy C:** Assert and articulate the interests of the State as a partner with Federal agencies in the sound management of ocean resources within the United States exclusive economic zone;

**Policy D:** Promote research, study, and understanding of ocean processes, marine life, and other ocean resources in order to acquire and inventory information necessary to understand how ocean development activities relate to and impact upon ocean and coastal resources; and

**Policy E:** Encourage research and development of new, innovative technologies for exploring, using, or protecting marine and coastal resources.

**Discussion:** The project site is located approximately 2 miles inland from the shoreline. Due to the distance from the shoreline, no adverse impact to marine resources is anticipated.

#### **3.1.4 Hawai'i State Planning Act, Chapter 226, Hawai'i Revised Statutes**

The Hawai'i State Plan, Chapter 226 HRS (2007) provides guidelines for the future growth of the State of Hawai'i. The Hawai'i State Plan identifies goals, objectives, policies, and priorities for allocating the State's resources, including public funds, services, human resources, land, energy, and water. The plan was enacted to achieve "a desired physical environment, characterized by beauty, cleanliness, quiet, stable natural systems, and uniqueness, that enhances the mental and physical well-being of the people." Chapter 226 HRS (2007).

**Discussion:** The proposed project is consistent with and implements many of the planning goals and policies specified in Chapter 226, HRS.

Section 226-7 sets forth goals relating to agriculture, directing that the industry constitute a dynamic and essential component of Hawai'i's strategic, economic, and social well-being. The proposed Kitchen provides the essential function of food production in a disadvantaged,

agricultural community, close to the food sources and with the purpose of employment training. The proposal is therefore directly supportive of Section 226-7 objectives.

Section 226-19 sets forth goals relating to the promotion of housing opportunities for the people of Hawai‘i, particularly for low- and moderate-income households. Ohana Ola is one component of a needed safety net for families who need transitional housing and employment training.

Section 226-20 sets forth goals relating to health, including health maintenance and preventive health care. Section 226-21 sets forth goals relating to the support of educational programs such as employment training programs to assist individuals experiencing critical employment problems or barriers, or undergoing employment transitions. Section 226-22 sets forth goals relating to the provision of improved public and private social services and activities that enable individuals, families, and groups to become more self-reliant and confident to improve their well-being. The proposed project is an integral component of the Ohana Ola transitional housing program whose mission is "to provide assistance for families in need so that they may become self-sufficient and attain permanent housing," as part of Kahumana's broader mission "to co-create a healthy, inclusive and productive farm-based community with homeless families, people with disabilities, and youth... through an integrated mix of social services, social ventures, and training venues." The proposed project is thus consistent with the State's goals relating to housing, health, education, and social services.

## **3.2 CITY AND COUNTY OF HONOLULU PLANS**

### **3.2.1 O‘ahu General Plan**

The O‘ahu General Plan is the policy document for the long-range development of the Island of O‘ahu. The O‘ahu General Plan is a statement of general conditions to be sought in the 20-year planning horizon and policies to help direct attainment of the plan’s objectives. Specific General Plan goals and policies relevant to the proposed project are discussed below.

#### **3.2.1.1 Economic Activity**

**Objective A** – To promote employment opportunities that will enable all the people of O‘ahu to attain a decent standard of living.

**Discussion:** The proposed kitchen facility at Ohana Ola will provide crucial job training for unemployed individuals, thereby increasing their opportunities for future employment.

#### **3.2.1.2 Health and Education**

**Objective B** – To provide a wide range of educational opportunities for the people of O‘ahu.

(1) Support education programs that encourage the development of employable skills.

**Discussion:** The proposed project will be an integral part of the Ohana Ola transitional housing program, as it will provide Ohana Ola residents with vital job training that will be an essential stepping stone for families navigating their way from homelessness to self-sufficiency.

### **3.2.2 Wai‘anae Sustainable Community Plan**

The City and County of Honolulu has adopted the Wai‘anae Sustainable Community Plan (WSCP) as one of eight community-oriented plans to guide public policy, investment and decision making through the 2025 planning horizon. The WSCP was developed by DPP and its consulting team in partnership with the community. The document contains policies specific to the Wai‘anae Coast. These policies are then adopted through ordinances. The current version of the WSCP (which includes the Public Review Draft of the Revised WSCP) was adopted on March 2, 2012 as Ordinance 12-3.

The WSCP presents a Vision Statement for the long-range future of the Wai‘anae District:

*"The vision for the future of the Wai‘anae District is that all members of our community – from the kūpuna (grandparents/elders) to the mo‘omo‘o (children, including those yet unborn) have their essential needs met. We envision our physical environment as rural and pristine, protected from degradation so that we can enjoy her elements: the kai (salt waters), wai (fresh waters), ea (air, sky and heavens), ‘āina (land, soil), and all of the animate and inanimate aspects of nature which make up our home. We have access to our mountains, valleys, and sea. We have a variety of economic opportunities. Lastly, and most importantly, our children are surrounded and guided by their strong, kind, and loving ‘ohana (family)."*

**Discussion:** The proposed kitchen facility at Ohana Ola is consistent with the WSCP’s Vision Statement and Community Values, as it will help ensure that the essential needs of the community are met, by providing not only workforce skills training and economic opportunities for adults, but also healthy meals for underprivileged children. Moreover, the proposed project will provide educational opportunities on the farm-to-table process, strengthening connections with the ‘āina. The project site is within the Agricultural Lands Boundary, which is intended to encompass the farmlands and undeveloped valley lands in the ahupua‘a of the Wai‘anae District. Construction and long-term operation of the Kitchen will incorporate a suite of avoidance, minimization, and mitigation measures to ensure that the land and soil, animate, and inanimate aspects of nature are not harmed in either the short or long term by this development.

The WSCP Land Use Map, which is intended to reflect the policy statements contained in the WSCP, designates the property as “Agriculture” (Figure 5). The Agriculture designation is intended to include commercial farms, family farms, family gardens, and other uses that are compatible with a rural landscape and country lifestyle. These compatible uses include farm dwellings, small country stores, agricultural support facilities including storage and small-scale processing of farm products, and cultural places and preserves. The proposed Kitchen at Ohana Ola is an agricultural and community support facility that will involve small-scale processing of products from Kahumana’s existing organic farm, the anticipated farm expansion on the remaining undeveloped Ohana Ola land, and a third farm that Kahumana plans to open farther up Kuwale Road.

### **3.2.3 Land Use Ordinance**

## Community Training Kitchen at Ohana Ola ‘O Kahumana

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The Land Use Ordinance (LUO) implements the goals and objectives of the O‘ahu General Plan and the *Wai‘anae SCP*. All lands within the City and County of Honolulu are zoned into specific districts. The proposed project site is zoned “AG-1 Restricted Agricultural”. The intent of the AG-1 zoning district is to conserve and protect important agricultural lands for the performance of agricultural functions by permitting only those uses which perpetuate the retention of these lands in the production of food, feed, forage, fiber crops, and horticultural plants. Only accessory agribusiness activities which meet the above intent are permitted in this district. The LUO developed the following guidelines for identifying lands for consideration for the AG-1 zoning district:

(1) Lands which are in the State-designated agricultural district and designated agricultural by adopted City land use policies; (2) Lands which are predominantly classified as prime or unique under the Agricultural Lands of Importance to the State of Hawai‘i system; and (3) Lands where a substantial number of parcels are more than five acres in size.

According to the LUO Master Use Table (Table 21-3), “agricultural products processing, minor” is a permitted use (subject to standards in LUO Article 5) in districts zoned AG-1.

**Discussion:** The land lease from the City and County of Honolulu for the development of Ohana Ola permits ASI to provide education and life skills development for the residents of Ohana Ola and other participants in Kahumana’s job training and independent living skills programs. As an extension of the Ohana Ola housing development, which was approved by the City and County of Honolulu Council (Resolutions 89-351 and 00-198, CD1, found in Appendix A and B). The 201H resolutions specifically identify the need for education and life skill classes as integral to Ohana Ola. An amendment to the 201H application will be submitted to the City and County of Honolulu to permit the Kitchen as a community facility. The community facility will involve training of Ohana Ola residents, and the preparation of meals for distribution to underprivileged children. It will involve small-scale processing of products from Kahumana’s three organic farms located nearby: one that is being planned for the remaining undeveloped land at Ohana Ola, Kahumana’s existing nine-acre farm that is adjacent to Ohana Ola, and a third farm to be developed farther up Kuwale Road.

#### 3.2.4 Special Management Area Guidelines

The proposed project is located approximately 2 miles inland, well outside of the Special Management Area (SMA) (see Figure 7). The following guidelines are from Section 25-3.2, ROH, and are used by DPP in the review of developments proposed in the special management area.

(a) All development in the special management area shall be subject to reasonable terms and conditions set by the council to ensure that:

(1) Adequate access, by dedication or other means, to publicly owned or used beaches, recreation areas and natural reserves is provided to the extent consistent with sound conservation principles;

**Discussion:** The proposed project is located well inland from publicly owned or used beaches, recreation areas and natural reserves.

(2) Adequate and properly located public recreation areas and wildlife preserves are reserved;

**Discussion:** This guideline is not applicable to the proposed project as there are no adjoining public recreation areas and wildlife preserves.

(3) Provisions are made for solid and liquid waste treatment, disposition and management which will minimize adverse effects upon special management area resources; and

**Discussion:** The proposed project includes provisions for solid and liquid waste treatment, disposition and management.

(4) Alterations to existing land forms and vegetation; except crops, and construction of structures shall cause minimum adverse effect to water resources and scenic and recreational amenities and minimum danger of floods, landslides, erosion, siltation or failure in the event of earthquake.

**Discussion:** The land alteration required for the project is not anticipated to result in an adverse effect to water resources with the implementation of BMPs. The proposed facility will be one-story in height and is unlikely to be visible from the SMA or affect recreational facilities in the SMA. The proposed project will be designed to maintain drainage on-site to current quality and quantity, as well as to minimize erosion and siltation. The future building will be designed to meet the International Building Code as a means of addressing potential damage from earthquakes.

(b) No development shall be approved unless the council has first found that:

(1) The development will not have any substantial, adverse environmental or ecological effect except as such adverse effect is minimized to the extent practicable and clearly outweighed by public health and safety, or compelling public interest. Such adverse effect shall include, but not be limited to, the potential cumulative impact of individual developments, each one of which taken in itself might not have a substantial adverse effect and the elimination of planning options;

**Discussion:** As previously mentioned, the proposed project is located well inland of the SMA, and is not expected to have either a direct or indirect adverse environmental or ecological effect, or eliminate planning options.

(2) The development is consistent with the objectives and policies set forth in Section 25-3.1 and area guidelines contained in HRS Section 205A-26;

## Community Training Kitchen at Ohana Ola 'O Kahumana

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**Discussion:** Section 25-3.1 states: “The objectives and policies of this chapter shall be those contained in HRS Section 205A-2.” The consistency of the proposed project to the objectives and policies HRS Section 205A-2 is discussed in Section 3.1.2 of this EA. The guidelines contained in HRS Section 205A-26 are copied nearly verbatim in Section 25-3.2, ROH, which is the topic of this section of the EA.

(3) The development is consistent with the county general plan, development plans and zoning. Such a finding of consistency does not preclude concurrent processing where a development plan amendment or zone change may also be required.

**Discussion:** Consistency of the proposed project with the O‘ahu General Plan, Wai‘anae Sustainable Communities Plan, and zoning are found in Sections 3.2.1, 3.2.2 and 3.2.3 of this EA.

(c) The council shall seek to minimize, where reasonable:

(1) Dredging, filling or otherwise altering any bay, estuary, salt marsh, river mouth, slough or lagoon;

**Discussion:** The proposed project will not involve actions that dredge, fill or otherwise alter any wetlands identified on the National Wetland Inventory, including bays, estuaries, salt marshes, rivers, sloughs or lagoons (see Figure 11).

(2) Any development which would reduce the size of any beach or other area usable for public recreation;

**Discussion:** The proposed project will not reduce the size of any beach or other area usable for public recreation.

(3) Any development which would reduce or impose restrictions upon public access to tidal and submerged lands, beaches, portions of rivers and streams within the special management area and the mean high tide line where there is no beach;

**Discussion:** The proposed project will not reduce or impose restrictions to public access to tidal and submerged lands, beaches, portions of rivers and streams within the Special Management Area, and the mean high tide line where there is no beach, as all actions will occur 2 miles inland from the shoreline.

(4) Any development which would substantially interfere with or detract from the line of sight toward the sea from the state highway nearest the coast; and

**Discussion:** The proposed project will be located inland, away from the shoreline.

(5) Any development which would adversely affect water quality, existing areas of open water free of visible structures, existing and potential fisheries and fishing grounds, wildlife habitats, or potential or existing agricultural uses of land.

## Community Training Kitchen at Ohana Ola 'O Kahumana

### Draft Environmental Assessment – *Anticipated Finding of No Significant Impact*

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**Discussion:** The proposed project will not occur on or next to open water free of visible structures, existing and potential fisheries and fishing grounds, wildlife habitats (Figure 16) or existing agricultural areas. As previously mentioned, BMPs will be implemented to minimize adverse effects on water quality. While portions of the project site may historically been used for various forms of agriculture, most probably sugar cane cultivation and ranching, the site has been fallow for many years. The proposed project is an agricultural and community facility that will involve small-scale processing of products from Kahumana's three organic farms located nearby: one that is being planned for the remaining undeveloped land at Ohana Ola, Kahumana's existing nine-acre farm that is adjacent to Ohana Ola, and a third farm to be developed on Kuwale Road.

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## **4 DESCRIPTION OF THE NATURAL AND HUMAN ENVIRONMENT, POTENTIAL IMPACTS, AND MITIGATIVE MEASURES**

This section describes the existing conditions of the natural and human environment, potential impacts of the proposed project to these environments, and mitigation measures to minimize impacts.

### **4.1 CLIMATE**

#### **4.1.1 Existing Conditions**

The geological features on O‘ahu heavily influence its climate. The Wai‘anae Mountain Range dominates ground-based atmospheric influences within Lualualei Valley. Located on the leeward western coastline of O‘ahu, Lualualei Valley is generally warm and dry. The average monthly temperature ranges from 70 to 78 degrees Fahrenheit with an average rainfall of approximately 25 inches per year (Giambelluca, et al., 2013). Trade winds are typical of the Hawaiian Islands, blowing predominantly from a northeast direction, and averaging approximately seven (7) miles per hour (mph). The tradewinds are generated by semi-permanent Pacific high-pressure cells; however, their impact is less prominent in Lualualei Valley, as the Wai‘anae Mountain Range obstructs winds from the O‘ahu windward coast from making their way over to the leeward side. In the absence of the trades, or winds from the southwest associated with “Kona” storms occurring predominately in the winter months, winds in Lualualei Valley are generally light to variable. For the most part, the diurnal heating and cooling of the island gives rise to light onshore sea breezes during the day, and gentle offshore land breezes at night.

#### **4.1.2 Potential Impacts and Mitigation Measures**

The proposed project is not anticipated to have significant impact on regional climatic conditions. No additional mitigation measures are planned.

### **4.2 GEOLOGY AND TOPOGRAPHY**

#### **4.2.1 Existing Conditions**

##### **4.2.1.1 Geology**

The Island of O‘ahu was formed by two volcanoes; Ko‘olau to the east, and the older Wai‘anae to the west. The volcanoes are believed to have formed during the late tertiary to early Pleistocene periods (Macdonald et al., 1983). The Wai‘anae Volcano is thought to be approximately 4 million years old with the caldera located in what is now the Lualualei Valley. Extensive erosion and stream activity carved deep valleys into the mountain range. The proposed project is located within the Lualualei Ahupua‘a, part of the Wai‘anae Mountain Range. The Lualualei Ahupua‘a features two major ridges, the Pu‘u Mā‘ili‘ili and Pu‘u o Hulu.

Fossilized coral reefs are also an important component of the geology of the Hawaiian Islands. According to Macdonald et al. (1983), “The emerged reefs on O‘ahu are more extensive than those of any other of the Hawaiian Islands”. Most of the southern edges of O‘ahu are underlain

## Community Training Kitchen at Ohana Ola 'O Kahumana

### Draft Environmental Assessment – *Anticipated Finding of No Significant Impact*

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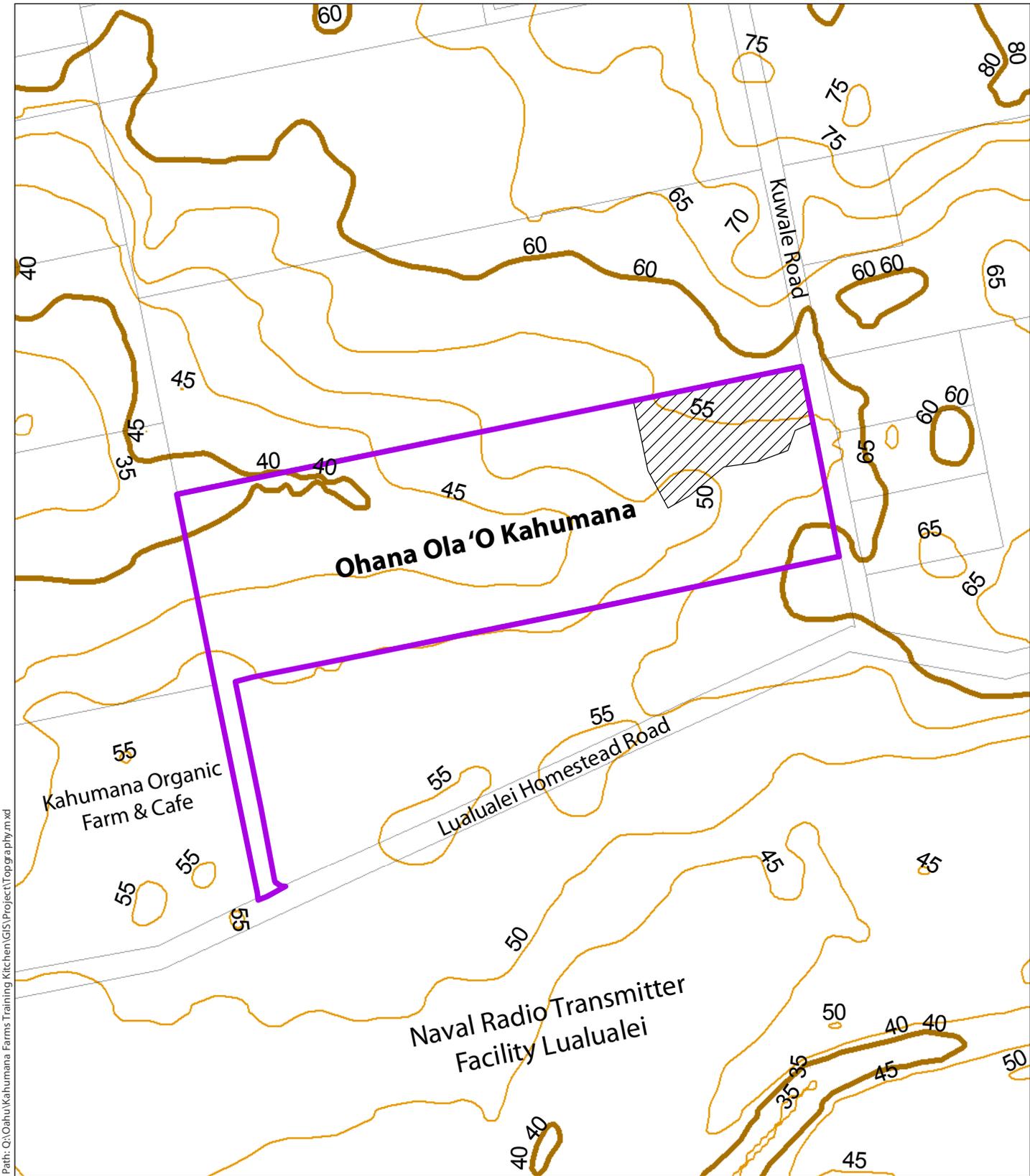
by a broad, elevated coral reef. The plains were formed from emerged coral reefs and alluvial deposits that developed along the southern edge of the island during interglacial sea level highs. Most of the fossil reefs of southern O'ahu are about 25 feet above current sea level, and reef limestone extends up to 66 feet above sea level, and covered by approximately ten feet of sand near Wai'anae (Macdonald et al., 1983). It has been suggested that, historically, sea level changes in Hawai'i may have ranged from 250 feet above present levels to as low as 300 feet below current sea levels. Various other sedimentary deposits intersperse the nearby shoreline. These include Holocene beach deposits and alluvium, which are composed mainly of unconsolidated sediment, and are mostly found along the coastline and in drainage ways.

#### **4.2.1.2 Topography**

The project site is located approximately two miles inland from the shore, within the relatively flat, broad, and gently sloping Lualualei Valley bounded by the foothills of the Wai'anae Mountain Range. Geologic features in the vicinity of the project site include Pu'u Mā'ili'ili ridge from the north to southwest, Mā'ili'ili Stream and Pu'u o Hulu to the south, and the Wai'anae mountain range to the east. No particularly prominent geologic features are present on the property. Elevations at the property range from about 40 to 60 feet above sea level. Most of the project site is relatively flat, with an average slope of approximately 1 percent. Figure 10 illustrates general slopes at the project site. An existing private ditch runs from the eastern edge of the property at Kuwale Road, southwest to a point midway across the parcel, then curves to the northwest corner of the parcel. Although it is usually dry and overgrown with vegetation, the ditch serves as a drainage channel during heavy rainfall.

#### **4.2.2 Potential Impacts and Mitigation Measures**

While some grading is likely necessary to accommodate the proposed project, much of the site is relatively flat. To the extent possible, improvements are expected to conform to the existing contours of the land to limit grading. A geotechnical engineer will be consulted to make recommendations on foundation design and construction. A grading permit will also be required by the City and County of Honolulu. Grading plans will attempt to balance excavation and embankment quantities to the extent practicable. Appropriate engineering, design, and construction measures will be undertaken to minimize potential erosion of soils during construction. All ground-altering activities are expected to incorporate appropriate erosion and sedimentation control. Adverse impact to topography and landforms, attributable to grading activity, is not anticipated as a result of the proposed project.



Path: Q:\Oahu\Kahumana Farms Training Kitchen\GIS\Project\Topography.mxd

DATE: 5/2/2016

**LEGEND**

-  Ohana Ola 'O Kahumana Community
-  Project Site
-  Tax Map Key Parcels
-  20-ft Contours
-  5-ft Contours

**FIGURE 10:**  
**Topographic Map**

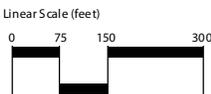
**Kahumana Community Training Kitchen**

Alternative Structures International Island of Oahu

North



Linear Scale (feet)




Source: ESRI Online Basemaps; City and County of Honolulu  
Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.

## **4.3 HYDROLOGY**

### **4.3.1 Existing Conditions**

The project site is located within the Mā'ili'ili Watershed, which encompasses approximately 12,570 acres (19.64 square miles) of the Wai'anae region of O'ahu. A watershed area captures rainfall and atmospheric moisture from the air and allows the water to drip slowly into underground aquifers or enter stream channels and eventually reach the ocean.

#### **4.3.1.1 Surface Water**

Surface water in Lualualei Valley generally flows from mauka to makai, east to west, down toward the shore at Mā'ili via Mā'ili'ili Stream and Mā'ili'ili Channel. On the project site, surface water also generally flows from east to west, via the existing private ditch described in Section 4.2.1.2 (Topography) above. The usually dry, vegetated drainage ditch continues offsite to the west, eventually connecting to Mā'ili'ili Channel and draining into the ocean. In a letter dated March 29, 2016, the Army Corps of Engineers determined that the site is absent of water of the U.S. and not subject to the Corps' regulatory jurisdiction (see Appendix E).

#### **4.3.1.2 Wetlands**

There are no streams or wetlands identified on the property. Mā'ili'ili Stream is located approximately 1,250 feet south of the project site (Figure 11). It is designated by the U.S. Fish and Wildlife Service (USFWS) wetlands map as a type PEM1Ax Freshwater Emergent Wetland, which is a wetland that is palustrine, emergent, and persistent, and which is temporarily flooded and lies within an excavated basin or channel.

A smaller tributary of the Mā'ili'ili Stream is located approximately 2,000 feet west of the project site. It is designated by the USFWS wetlands map as a type R4SBCx wetland, which is a riverine, intermittent, and streambed (i.e., completely dewatered at low tide) wetland that is seasonally flooded and lies within an excavated basin or channel.

This tributary flows into the Lualualei Reservoir, which is located approximately 2,800 feet west of the project site. The reservoir is designated as a type PFO3A and PEM1A wetland. PFO3A wetlands are palustrine, forested (broad-leaved evergreen) wetlands that are temporarily flooded. PEM1A wetlands are palustrine, emergent, persistent, and temporarily flooded.

#### **4.3.1.3 Ground Water**

The project site is located in the Lualualei Aquifer System, a subset of the Wai'anae Aquifer Sector, as designated by the Hawai'i State Department of Land and Natural Resources (DLNR).

### **4.3.2 Potential Impacts and Mitigation Measures**

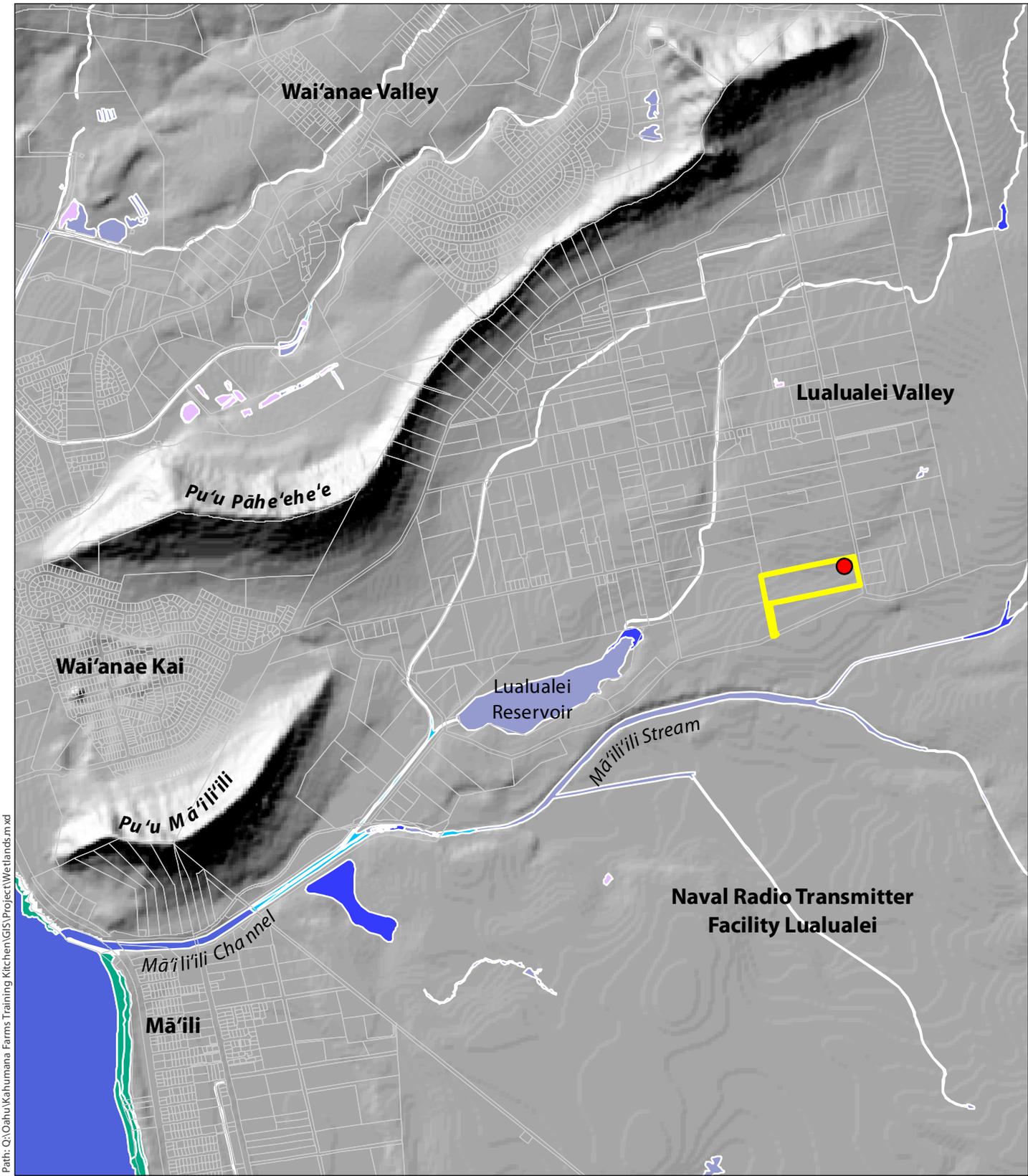
The proposed project will result in an increase in impervious area. Without mitigation, an increase in impervious area could result in a reduction in water infiltration. However, use of storm water best management practices (BMPs) during construction and Low Impact Development (LID) techniques incorporated into the site design will keep stormwater infiltrating on site in both the short and long-term. The City and County of Honolulu, Department of Planning and Permitting's Rules Relating to Storm Drainage Standards, January 2000, will be incorporated in drainage design to ensure the proposed project does not impact the existing storm water quality. Construction BMPs for stormwater will be determined by the site contractor.

## **Community Training Kitchen at Ohana Ola 'O Kahumana**

### *Draft Environmental Assessment – Anticipated Finding of No Significant Impact*

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However, they are expected to include measures to ensure that dirt and sediment are not allowed to wash into the adjacent drainageway or be tracked on to Kuwale Road by trucks and equipment. Long-term LID measures are expected to be the installation of landscaping with native plants to accept stormwater runoff from the kitchen's rooftop and parking lot. Additional measures may include use of cisterns for rainwater harvest, and use of pervious pavement in the parking lot. Specific LID techniques will be determined upon further site examination (infiltration tests) and grading design.



Path: Q:\Oahu\Kahumana Farms Training Kitchen\GIS\Project\Wetlands.mxd

DATE: 5/12/2016

**LEGEND**

- Project Site
- Ohana Ola 'O Kahumana Community
- Tax Map Key Parcels
- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland
- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond
- Riverine

**FIGURE 11:  
Wetlands & Surface Water Bodies**

**Kahumana Community  
Training Kitchen**

Alternative Structures International Island of O'ahu

North

Linear Scale (feet)

Source: U.S. Fish and Wildlife Service National Wetlands Inventory (2013).  
Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.

Protection of ground water quality is also a concern. Once operational, the Kitchen at Ohana Ola ‘O Kahumana is anticipated to establish management plans to ensure that any hazardous materials utilized are properly stored to reduce the potential for spills. Appropriate spill prevention control and counter measures planning can reduce the potential of spills and releases that may impact the groundwater.

## **4.4 SOILS AND AGRICULTURE IMPACT**

### **4.4.1.1 Regional Agriculture History**

Agriculture has helped to shape the history of the Wai‘anae region. The entire region is recognized as a Major Agricultural Area by the State of Hawai‘i (State of Hawai‘i DOA, 2010). The agricultural history of Wai‘anae goes back many generations. Traditional subsistence lifestyle methods which sought to minimize water use, while maximizing food production to grow taro and other crops in the Wai‘anae region proved successful despite the dry and hot climate. This is demonstrated through multiple agricultural remains sited throughout the region (such as irrigation channels, traces of intricate terracing, and other indications of past agricultural practices), which serve as evidence that Wai‘anae once supported a large population (State of Hawai‘i DBEDT, 2010).

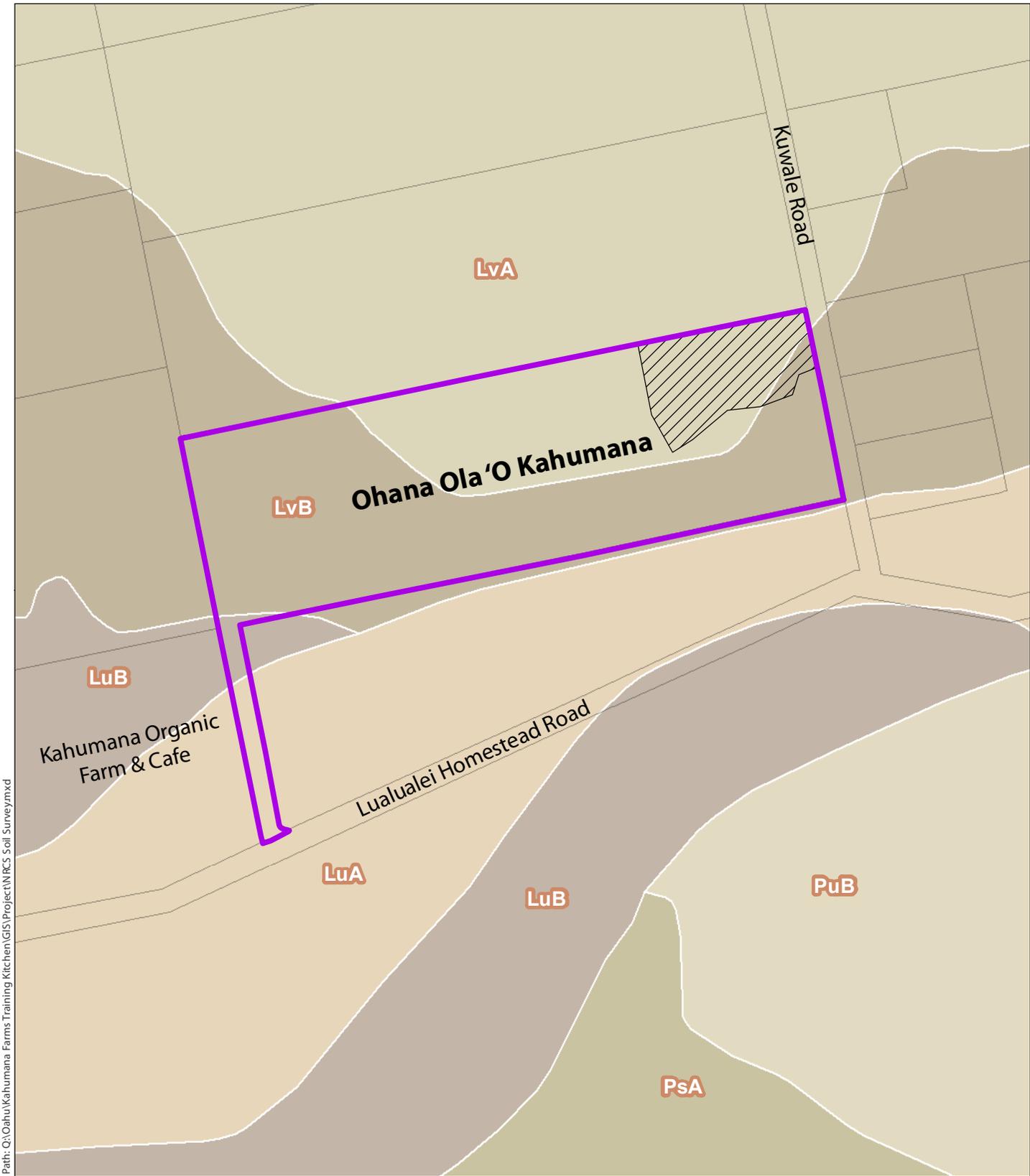
From around 1811 to 1829, the trading of sandalwood thrived in the region. Livestock then became an important operation around the mid-1800’s. Later in the century, sugar became the predominant crop. The Wai‘anae Sugar Mill was the first sugar mill on O‘ahu. Built in 1880, the Mill operated for over 70 years in Wai‘anae. In 1946, the Wai‘anae Sugar Plantation closed due to economic and environmental pressures (McGrath, 1973).

### **4.4.2 Existing Conditions**

Three soil suitability studies prepared for lands in Hawai‘i principally focus on the relative agricultural productivity of different land types. These studies are: 1) the U.S. Department of Agriculture Natural Resources Conservation Service (USDA NRCS) Soil Survey; 2) the University of Hawai‘i Land Study Bureau (LSB) Detailed Land Classification; and 3) the State Department of Agriculture’s Agricultural Lands of Importance to the State of Hawai‘i (ALISH).

#### **4.4.2.1 Natural Resources Conservation Service**

According to the USDA NRCS soil survey, two soil types are found on the project site: Lualualei stony clay, 0-2% slopes (LvA) and Lualualei stony clay, 2-6% slopes (LvB) (Figure 12).



Path: Q:\Oahu\Kahumana Farms Training Kitchen\GIS\Project\NRCS Soil\_Survey.mxd

DATE: 5/11/2016

**LEGEND**

- Ohana Ola 'O Kahumana Community
- Project Site
- Tax Map Key Parcels
- LuA: Luualalei clay, 0 to 2 percent slopes
- LuB: Luualalei clay, 2 to 6 percent slopes
- LvA: Luualalei stony clay, 0 to 2 percent slopes
- LvB: Luualalei stony clay, 2 to 6 percent slopes
- PsA: Pulehu clay loam, 0 to 3 percent slopes
- PuB: Pulehu stony clay loam, 2 to 6 percent slopes

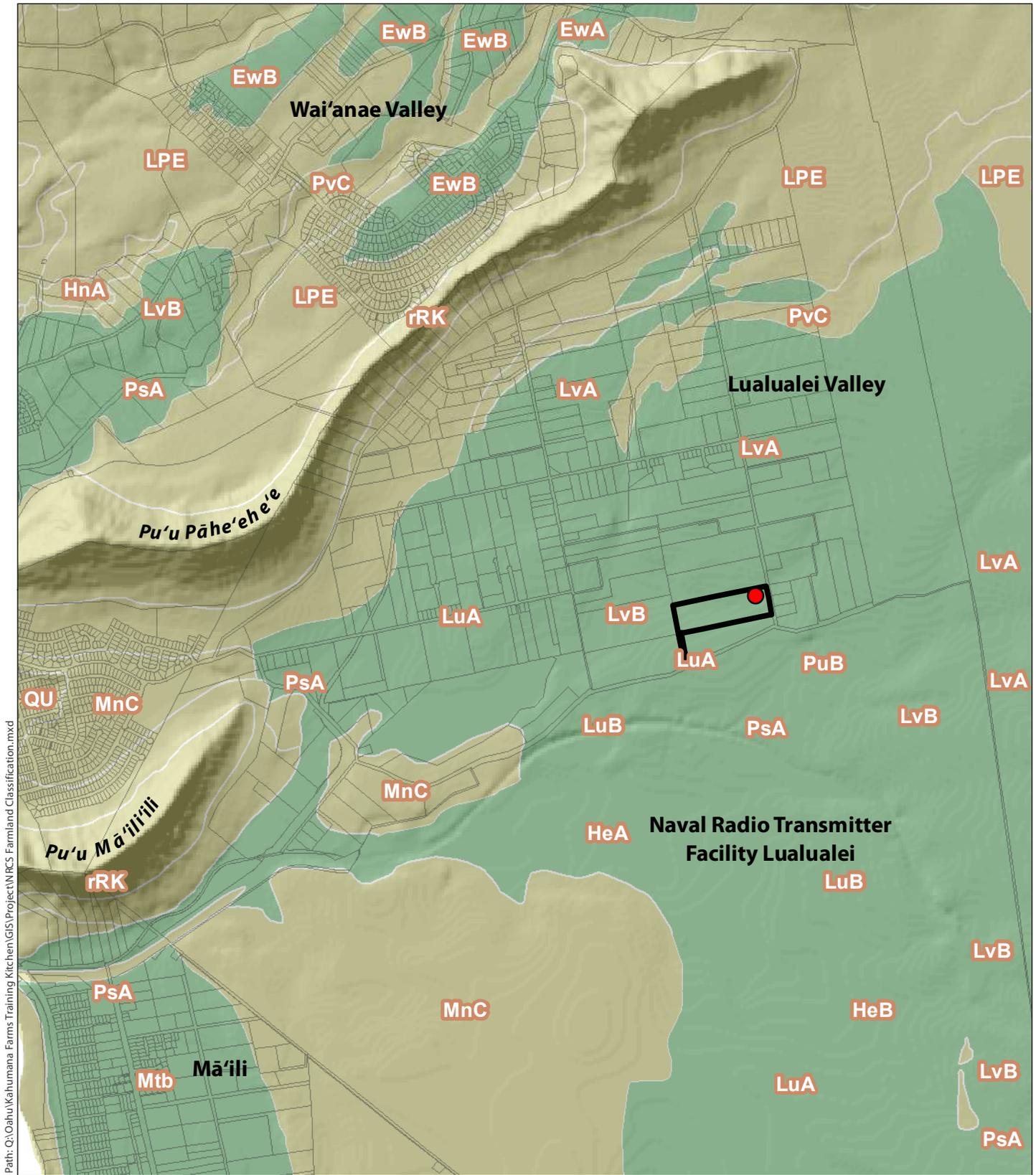
**FIGURE 12:**  
**NRCS Soil Survey Map**

**Kahumana Community Training Kitchen**

Alternative Structures International Island of Oahu

North Linear Scale (feet)

Sources: U.S. Department of Agriculture Natural Resources Conservation Service. City and County of Honolulu.  
Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.



Path: Q:\Oahu\Kahumana Farms Training Kitchen\GIS\Project\NRCS Farmland Classification.mxd

DATE: 5/12/2016

**LEGEND**

- Project Site
- Ohana Ola 'O Kahumana Community
- Tax Map Key Parcels
- Not prime farmland
- Prime farmland if irrigated

**FIGURE 13:**  
NRCS Farmland Classification

**Kahumana Community Training Kitchen**

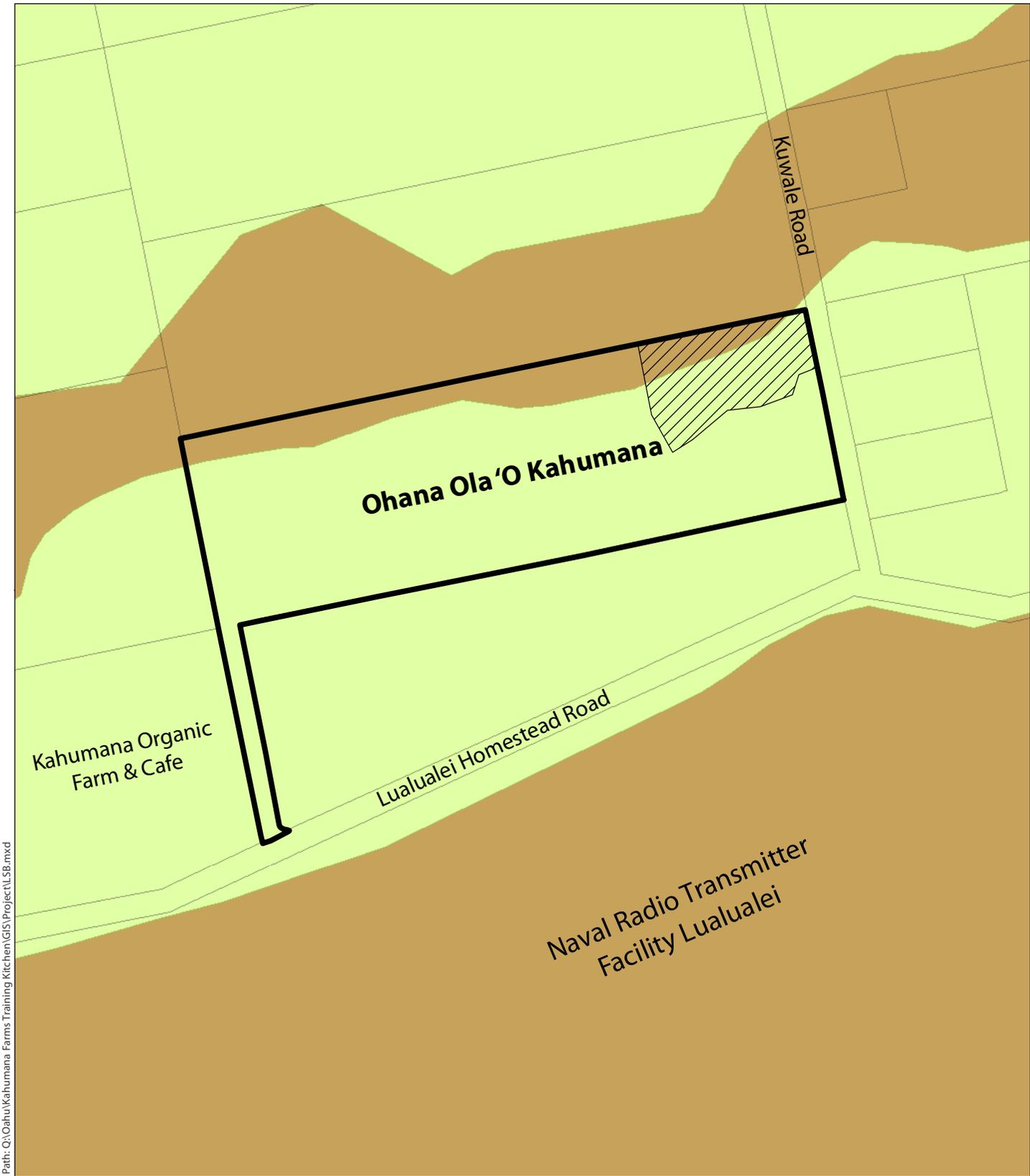
Alternative Structures International Island of O'ahu

North

Linear Scale (feet)

0 500 1,000 2,000

Sources: U.S. Department of Agriculture Natural Resources Conservation Service, 1972. City and County of Honolulu, 2014. State of Hawai'i, 2003.  
Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.



Path: Q:\Oahu\Kahumana Farms Training Kitchen\GIS\Project\LSB.mxd

DATE: 5/11/2016

**LEGEND**

Ohana Ola 'O Kahumana Community

Project Site

Tax Map Key Parcels

**LSB Productivity Rating:**

B: Good

E: Very Poor

**FIGURE 14:**  
**Land Study Bureau**  
**Detailed Land Classification**

**Kahumana Community**  
**Training Kitchen**

Alternative Structures International Island of Oahu

North

Linear Scale (feet)

Source: Land Study Bureau (1972)  
 Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.



Path: Q:\Oahu\Kahumana Farms Training Kitchen\GIS\Project\ALISH.mxd

DATE: 5/12/2016

**LEGEND**

- Project Site
- Ohana Ola 'O Kahumana Community
- Tax Map Key Parcels
- P: Prime ALISH
- O: Other ALISH

**FIGURE 15:**  
**Agricultural Lands of Importance to the State of Hawai'i (ALISH)**

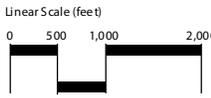
**Kahumana Community Training Kitchen**

Alternative Structures International Island of Oahu

North



Linear Scale (feet)




Source: Hawai'i State Department of Agriculture (1977). ESRI Basemaps.  
 Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.

#### **4.4.2.2 Agricultural Lands of Importance to the State of Hawai‘i**

The Agricultural Lands of Importance to the State of Hawai‘i (ALISH) system rates agricultural land into three classes: “Prime,” “Unique” or “Other”, with all remaining lands termed “Unclassified”. The project site is rated as “Prime” agricultural land (Figure 15). Lands with the “Prime” classification are considered best suited for the production of food, feed, forage, and fiber crops. The land has the soil quality, growing season, and moisture supply needed to produce sustained high yields of crops economically when treated and managed, including water management, according to modern farming methods.

#### **4.4.3 Potential Impacts and Mitigation Measures**

Although the soils of the proposed project site are considered well suited for agricultural cultivation or production (LSB rating B and D), the proposed project will not significantly reduce the availability of agricultural land in the region. Moreover, the proposed project will serve to enhance the agricultural functions of Kahumana's three organic farms located nearby: one that is being planned for the remaining undeveloped land at Ohana Ola, Kahumana's existing nine-acre farm that is adjacent to Ohana Ola, and a third farm to be developed on Kuwale Road. The close proximity of the proposed project to these farms will streamline the process of incorporating fresh farm produce into the Kitchen’s meals for underprivileged children while creating innumerable opportunities for educating kitchen trainees about the farm-to-table process. Despite the strong functional relationship with agricultural uses, the Kitchen will need approval as a community use associated with the existing housing at Ohana Ola. Therefore, an application to exempt the use from restrictions associated with HRS 205-4.5(a) is anticipated to be submitted to the City and County of Honolulu. As the proposed project will serve to augment the agricultural and social services offered by Kahumana, no mitigation measures are proposed.

The development of the Kitchen at Ohana Ola is expected to cause some land disturbance, including removal of existing vegetation (clearing and grubbing) and grading of approximately one acre. During site grading and all other construction activities, implementation of BMPs, which may include use of silt fences, sediment traps, and diversion swales, temporary groundcover, hydro-mulching, etc., will minimize erosion and the discharge of other pollutants. After construction, landscaping should provide long-term erosion control. The proposed project is not expected to have a deleterious effect on the soil within the site.

With respect to construction methods, a geotechnical engineer will be engaged to investigate site soils and to make recommendations as to the foundation construction.

### **4.5 FLORA AND FAUNA**

#### **4.5.1 Existing Conditions**

The site is dominated by non-native vegetation, including tall grasses as well as kiawe (*Prosopis pallida*) trees (see Figure 8). The site was probably used for sugarcane plantations once, but has not been used for many decades.

The U.S. Fish and Wildlife Service list of Threatened, Endangered, and Candidate Species was reviewed to consider the likelihood of a species of concern transiting the area. Additionally, a critical habitat map was developed to review the site’s relationship with the habitats that support

endangered species. The site contains no critical habitat as shown in Figure 16: Critical Habitats. However, some Threatened or endangered species may transit the area.

The endangered Hawaiian hoary bat (*Lasiurus cinereus semotus*) may be present within the proposed project area. The Hawaiian hoary bat roosts in both exotic and native woody vegetation and will leave young unattended in "nursery" trees and shrubs when they forage. If trees or shrubs suitable for bat roosting are cleared during the breeding season, there is a risk that young bats could inadvertently be harmed or killed. Additionally, Hawaiian hoary bats forage for insects from as low as three feet to higher than 500 feet above the ground. When barbed wire is used in fencing, Hawaiian hoary bats can become entangled.

Hawaiian stilt (*Himantopus mexicanus knudseni*), Hawaiian gallinule (*Gallinula chloropus sandvicensis*), Hawaiian coot (*Fulica alai*), Hawaiian duck (*Anas wyvilliana*) (collectively referred to as Hawaiian waterbirds), may occur in fresh and brackish water including streams, rivers, marshes, ponds, reservoirs, fish ponds, taro lo'i, impoundments, or other water sources.

Hawaiian dark-rumped petrel (*Pterodroma sandwichensis*) and Newell's shearwater (*Puffinus newelli*) (collectively referred to as Hawaiian Seabirds).

Hawaiian petrels and Newell's shearwaters (collectively known as seabirds) may traverse the project area at night during the breeding season. Outdoor lighting at the project site could result in seabird disorientation, fallout, and injury or mortality. Seabirds are attracted to lights and after circling the lights they may collide with nearby wires, buildings, or other structures or they may land on the ground due to exhaustion. Downed seabirds are subject to increased mortality due to collision with automobiles, starvation, and predation by dogs, cats, and other predators. Any increase in night-time lighting, particularly during each year's peak fallout period (September 15 through December 15), could result in seabird injury or mortality. Young birds (fledglings) traversing the project area between September 15 and December 15, in their first flights from their mountain nests to the sea, are particularly vulnerable.

#### **4.5.2 Potential Impacts and Mitigation Measures**

The proposed project will not have a significant negative impact on the botanical or wildlife resources of the project site, however, to ensure that any impacts from the construction or long-term use of the kitchen are avoided, the following measures are proposed.

To minimize threats from invasive species all workers will be advised to ensure their food scraps, paper wrappers, food containers, cans, bottles, and other trash from the project area are deposited in covered or closed trash containers. The trash containers shall be removed from the project area and disposed of off-site at an approved landsite at the end of each working day to prevent the attraction of non-native pests (i.e., rats). All tools, gear, and construction scrap will be removed upon completion of work in order to prevent the attraction of non-native pests (i.e., rats). No contamination (trash or debris disposal, non-native species introductions, attraction of non-native pests, etc.) of adjacent habitats will result from project-related activities.

To avoid adverse impacts to the Hawaiian hoary bat, woody plants greater than 15 feet (4.6 meters) tall will not be disturbed, removed, or trimmed during the bat birthing and pup rearing

## Community Training Kitchen at Ohana Ola 'O Kahumana

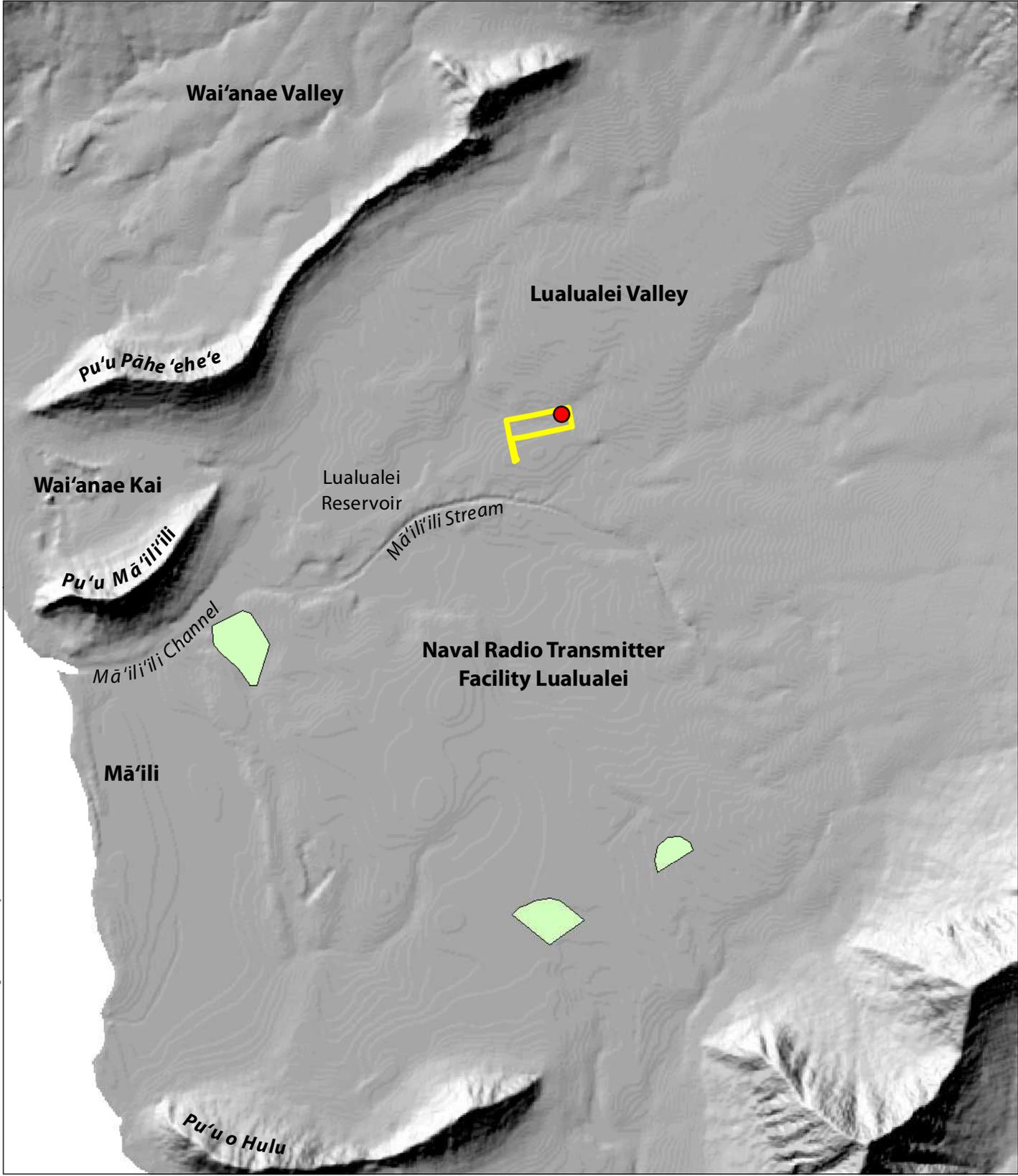
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season (June 1 through September 15). Furthermore, barbed wire fencing will not be used anywhere within the project.

To avoid impacts to Hawaiian waterbirds such as the Hawaiian stilt (*Himantopus mexicanus knudseni*), Hawaiian gallinule (*Gallinula chloropus sandvicensis*), Hawaiian coot (*Fulica alai*), Hawaiian duck (*Anas wyvilliana*), no activities in or within 100 feet of streams, rivers, marshes, ponds, reservoirs, fish ponds, taro lo'i, impoundments or other water sources are proposed.

To minimize potential project impacts to seabirds during their breeding season, all outdoor lights will be retrofitted to be fully shielded so the bulb can only be seen from below bulb height and only used when necessary. Automatic motion sensor switches and controls will be installed on all outdoor lights. Nighttime construction will be avoided during the seabird fledging period, September 15 through December 15. If nighttime construction occurs during other times of year, all lighting will be shielded and directed toward the ground to avoid attracting adult seabirds as they travel from the ocean to their breeding areas.



Path: Q:\Oahu\Kahumana Farms Training Kitchen\GIS\Project\Critical Habitat.mxd

DATE: 5/12/2016

**LEGEND**

- Project Site
- Ohana Ola 'O Kahumana Community
- Critical Plant Habitats:
- Kula wahine noho (*Isodendron pyriformium*)

**FIGURE 16:  
Critical Habitats**

**Kahumana Community  
Training Kitchen**

Alternative Structures International Island of O'ahu

North

Linear Scale (feet)

0 750 1,500 3,000

PBR HAWAII  
& ASSOCIATES, INC.

Source: U.S. Fish and Wildlife Service (2015).  
Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.

## **4.6 NATURAL HAZARDS**

### **4.6.1 Existing Conditions**

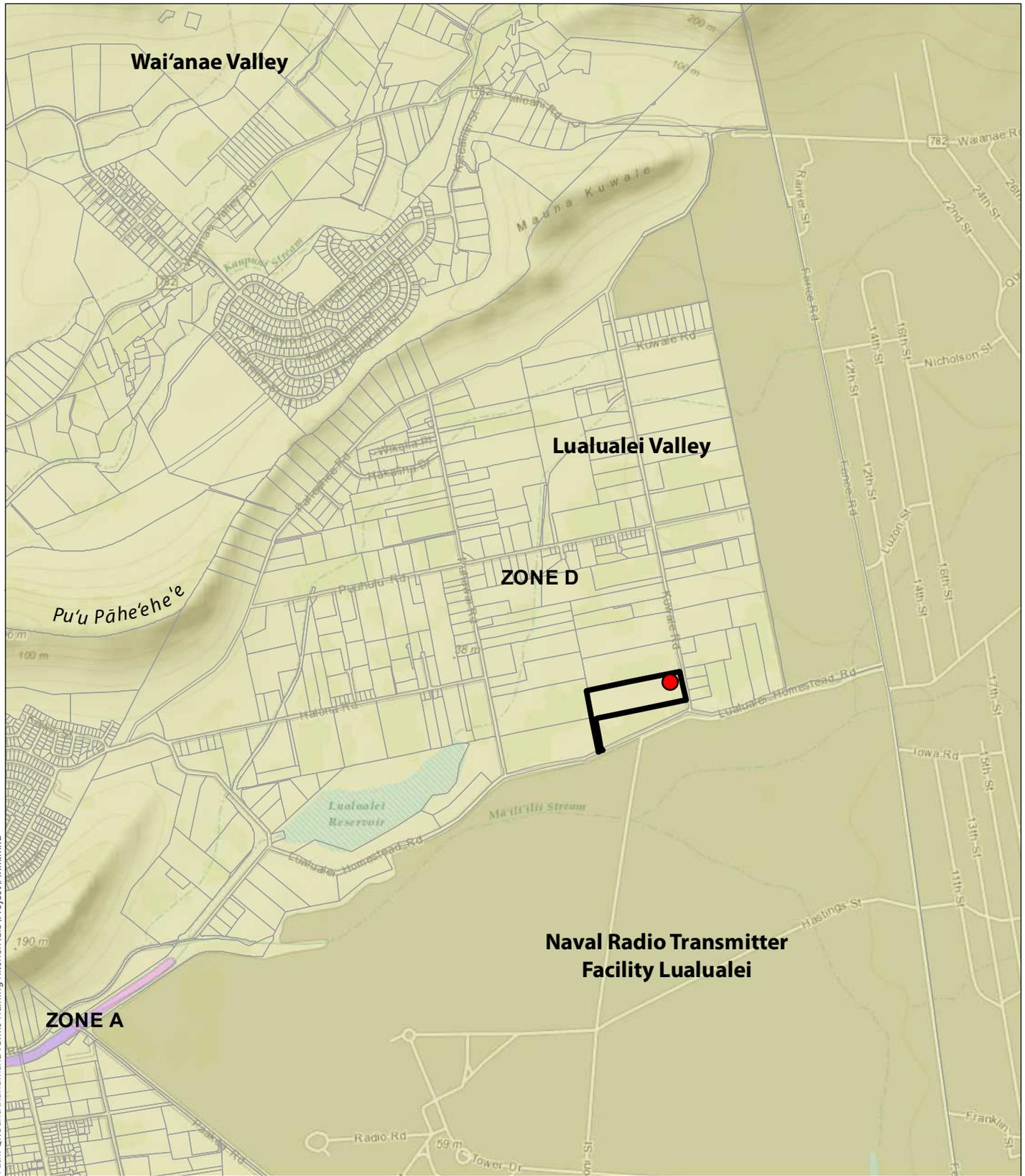
Natural hazards such as flooding, tsunami inundation, hurricanes, earthquakes, volcanic eruptions, and wildfires have historically affected the State of Hawai‘i. This section provides an assessment of the project site's vulnerability to such hazards.

#### **4.6.1.1 Flooding**

Flood Insurance Rate Maps (FIRM) indicate areas that would be flooded during 100- and 500-year flood events. Areas recognized as falling within a 100-year flood area are further divided into special flood hazard areas, which are insurance risk rate zones which range from moderate flood hazard areas (100- and 500-year flood boundaries) to minimal flood areas (for anything greater than 500-year flood level). Special flood hazard areas are further classified into zones “V” and “A”, which are zones that have the highest risk of flooding; and zone “X” which represents minimal-risk zones. Areas identified as zone “D” are unstudied areas where flood hazards are undetermined, but flooding is possible. According to the Flood Hazard Assessment Report prepared by the State Department of Land and Natural Resources, the proposed project is located in Flood Zone D. The Flood Insurance Program does not have any regulations for developments within Flood Zone D. Flood hazard classification for the project site and vicinity are shown in .

#### **4.6.1.2 Tsunami**

In 2010, the City and County of Honolulu Department of Emergency Management revised the O‘ahu tsunami evacuation zone maps. The evacuation zones were developed by taking tsunami inundation data created by the Tsunami Inundation Mapping Project and applying a public safety buffer. Those residing in a tsunami evacuation zone must leave immediately when a tsunami warning is issued. As illustrated in Figure 18, the project site is well outside the tsunami evacuation zone.



Path: Q:\Oahu\Kahumana Farms Training Kitchen\GIS\Project\FIRM.mxd

DATE: 5/12/2016

**LEGEND**

- Project Site
- Ohana Ola 'O Kahumana Community
- Tax Map Key Parcels
- Zone A: 1% Annual Chance Flood; No Base Flood Elevation
- Zone D: Undetermined

**FIGURE 17:**  
**Flood Insurance Rate Map**

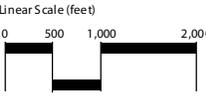
**Kahumana Community Training Kitchen**

Alternative Structures International Island of Oahu

North



Linear Scale (feet)




Source: Federal Emergency Management Agency (FEMA), 2010. City and County of Honolulu, 2015. ESRI basemaps.  
Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.



Path: Q:\Oahu\Kahumana Farms Training Kitchen\GIS\Project\Tsunami Evacuation Zone.mxd

DATE: 5/12/2016

**LEGEND**

- Project Site
- Ohana Ola 'O Kahumana Community
- Tax Map Key Parcels
- Tsunami Evacuation Zone

**FIGURE 18:**  
**Tsunami Evacuation Zone**

**Kahumana Community Training Kitchen**

Alternative Structures International Island of Oahu

North

Linear Scale (feet)

0 500 1,000 2,000

Source: City and County of Honolulu, 2010. ESRI basemaps.  
Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.

#### **4.6.1.3 Hurricanes**

The State of Hawai'i has been affected twice in the past three decades by devastating hurricanes—Hurricane 'Iwa in 1982, and Hurricane 'Iniki in 1992. While it is difficult to predict these natural occurrences, it is reasonable to assume that Hurricanes will occur again. As in other parts of O'ahu, the property would be vulnerable to destructive winds and torrential rains associated with hurricanes. The two emergency evacuation centers nearest to the property are Leihōkū Elementary School and Wai'anae Elementary School, approximately 1.7 miles and 2.7 miles away from the project site, respectively. Other emergency evacuation shelters along the Leeward Coast include Nānākuli Elementary School, Nānākuli High and Intermediate School, Kamaile Elementary School, and Mākaha Elementary School.

#### **4.6.1.4 Earthquake & Volcanic Hazards**

In Hawai'i, volcanic activity produces more earthquakes than most other areas sitting on tectonic plate margins. Thousands of earthquakes occur in Hawai'i each year. However, the vast majority of them are undetectable through normal human senses. A few historical earthquakes have reached moderate and even disastrous magnitudes.

The last earthquakes felt statewide were magnitudes of 6.7 and 6.0. These earthquakes occurred at Kīholo Bay along Hawai'i Island's Kona Coast on October 15, 2006. These earthquakes resulted in more than \$100 million in damages to the northwest area of Hawai'i Island and minimal damage on O'ahu. From that same event, O'ahu was also subject to an earthquake-induced electrical blackout that paralyzed the City and County of Honolulu and shut down the Honolulu International Airport for nearly a day. While it is difficult to predict such natural occurrences, it is reasonable to assume that future incidents are probable, given historical events.

#### **4.6.1.5 Wildfires**

According to the City and County of Honolulu, the greatest danger of fire is where wildlands (trees and brush) border urban areas. Although all the Hawaiian Islands are vulnerable to wildland fires (especially during the summer months, prolonged drought and/or high winds), the great majority of wildfires are human-caused (intentionally caused or by negligence) and start along roadsides. Wildfires can and do also occur naturally. Fires occur frequently on the Wai'anae Coast, particularly along the hillsides and mountains, but also on unoccupied properties. As a result, the Wai'anae Fire Station is one of the busiest stations on the island.

### **4.6.2 Potential Impacts and Mitigation Measures**

The project site is located in an area of undetermined flood hazards. This area has been designated as zone D on the FIRM. The project site is located outside the tsunami evacuation zone.

Fire hazards, particularly on undeveloped lands, are always a possibility during summer months, periods of drought and/or high winds. Ohana Ola has an evacuation plan in the event of emergencies. The Kitchen facility will be subject to this established plan that includes provisions for the safe evacuation of residents, staff, and visitors. Development of the kitchen grounds and eventual irrigated farm development of the remainder of the parcel will remove the existing fuel (overgrown grasses), providing a functional firebreak to the Kitchen.

## Community Training Kitchen at Ohana Ola 'O Kahumana

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The State of Hawai'i Department of Defense, Hawai'i Emergency Management Agency (HIEMA, formerly the State Civil Defense) operates a system of civil defense sirens throughout the State to alert the public of emergencies and natural hazards, particularly tsunamis and hurricanes. According to the State of Hawai'i's online map of civil defense sirens ([data.hawaii.gov](http://data.hawaii.gov)), the two existing sirens nearest to the Project's Site are OA320, a 126-decibel (dB) siren located in the Wai'anae Shopping Mall, and OA319, A 110 dB siren located at Mā'ili Beach Park. Both sirens are located approximately two miles from the project site.

During the pre-assessment consultation period, HIEMA determined that no disaster warning siren coverage exists for the Project location. It was recommended that a solar-powered 121 dB(C) omni-directional siren be installed to provide the necessary siren coverage (see letter in Appendix E). The proposed kitchen site plan allows adequate area to accommodate a siren. Should the State wish to pursue installing a siren at this location, the project does not preclude this opportunity. Coordination with the land owner, the City and County of Honolulu, will be necessary.

#### 4.7 HISTORIC, ARCHAEOLOGICAL AND CULTURAL RESOURCES

An archaeological consultant, Scientific Consultant Services, Inc. (SCS), was contracted to conduct an Archaeological Inventory Survey (AIS)-level testing of the site. The resulting report, an Archaeological Assessment is included as Appendix C.

##### 4.7.1 Existing Conditions

The project site is located in Lualualei Valley, within the Wai'anae Ahupua'a. The Archaeological Assessment provides a summary of the area's traditional and historical background. It is thought that the ahupua'a of Wai'anae were settled during a period of population growth on O'ahu of A.D. 1100-1650. Wai'anae [*wai* (water) *'anae* (mullet)] is thought to be named for the large freshwater fishpond west of Wai'anae Stream and the ocean's abundance. There are multiple possible meanings or stories for the name Lualualei, including the interpretation "flexible wreath" referring to a battle formation; "beloved one spared" in reference to a traditional story of spared punishment; or possibly a reference to the demi-god Māui's sister who went by the same name. The valley was important in the times before contact with western cultures. Crops were grown in the back of the valley near water sources, pili grass for housing thatch was collected in the mid-valley, and the shoreline was used for salt production and marine resources. Hawaiian legends associated with Lualualei relay tales of Māui, learning to make fire, fishing, and adze-making.

Wai'anae, once a political center, was the place where the Maui Chief Kahekili was defeated by O'ahu warriors. Later, when Kamehameha I took control of the island, displaced individuals move to the area. Christian missionaries arrived on O'ahu in 1820, and by 1850, the first Hawaiian minister of the Wai'anae District, Stephen Waimalu, was ordained.

Sugar cultivation was attempted for a time in Lualualei Valley and throughout Wai'anae. It is possible that sugar was once cultivated on the project site, however, the archaeological testing performed for this study did not yield evidence of any prior land use.

The archaeological testing included excavation of ten trenches distributed across a 1.43 acre area (See Appendix C for a map of the trench locations). The trenches were all approximately 5 meters long, .5-.65 meters wide, and between 1 and 1.3 meters deep. The trenches found two layers of soil stratum, the top layer being silty clay, the deeper layer being silt loam with 60-70% comprised of waterworn basalt rocks. The excavations found sterile soil and no evidence of historic properties. The archaeologists therefore recommend no additional archaeological work.

The Site has not been used for traditional cultural purposes in recent times, and it contains no known cultural resources. Because federal funds may be sought for the construction of the kitchen, notice of the proposed action was mailed to the Department of Interior list of Native Hawaiian Organizations (NHO). NHO were invited to participate in the National Historic Preservation Act historic preservation process with regard to the proposed Kitchen. No responses were received to the invitation. A copy of the Section 106 materials are included in Appendix D.

#### **4.7.2 Potential Impacts and Mitigation Measures**

Based on the findings of the Archaeological Assessment, adverse impacts to historic, archaeological, or cultural resources are not expected from development of the Kitchen. The Archaeological Assessment recommended that no further archaeological work be conducted at the Site, and has been submitted to the State Department of Land and Natural Resources State Historic Preservation Division (SHPD) for concurrence.

In the event that any historic properties, other than burials, are discovered during the course of construction, the procedures enumerated in Section 13-280-3 Hawai'i Administrative Rules will be followed.

In the event that burials are discovered during the course of construction, all work will cease in the immediate vicinity and the procedures enumerated in Section 13-300-40 Hawai'i Administrative Rules will be followed.

No adverse impact to cultural practices or beliefs is anticipated. Although no cultural or customary activities have been observed to occur on the Kitchen site, the Kitchen is not anticipated to affect the exercise of Native Hawaiian rights related to gathering, access, or other customary activities.

### **4.8 NOISE**

#### **4.8.1 Existing Conditions**

Current sources of noise in the vicinity of the project site include vehicular traffic, farm equipment, typical residential noise, occasional aircraft, and natural sounds associated with weather and birds.

#### **4.8.2 Potential Impacts and Mitigation Measures**

##### **4.8.2.1 Construction Noise**

The proposed project is expected to produce increased noise levels during construction. In general, construction activities cannot exceed the permissible noise levels for more than ten percent of the time within any twenty minute period except by permit or variance. Any noise

source that emits noise levels in excess of the maximum permissible sound levels cannot be operated without first obtaining a noise permit from the State Department of Health (DOH). Although the permit does not attenuate noise, it regulates the hours during which excessive noise is allowed.

Exposure to noise is expected to vary by construction activity, and the type of equipment used during the different activities. The general contractor(s) is expected to be responsible for obtaining necessary permits and complying with all permit conditions. There is a need to balance work activities to meet permit conditions for “acoustical” zoning districts while minimizing traffic disruptions. Work is expected to be scheduled primarily for daytime hours, as described in HAR Title 11, Chapter 46 (7:00 AM to 10:00 PM), Monday through Friday. The contractor is also expected to ensure that all construction equipment with motors are properly equipped with mufflers in good operating condition. The contractor may employ other mitigation measures to minimize those temporary noise impacts.

There are several residential homes and a church in the immediate vicinity of the proposed project site. As the new kitchen facility is constructed, the surrounding buildings and residences are likely to experience the temporary inconvenience of construction noise; however, it is anticipated that the distance between the homes and buildings will partially attenuate construction noise from the proposed project.

#### **4.8.2.2 Operational Noise**

Once operational, the noise levels at the Kitchen site are expected to be minimal. Noise generated by the Kitchen is anticipated to be negligible on adjacent properties. It is anticipated that noise may be generated from three different types of sources. One noise generator is the use of necessary mechanical and electrical equipment such as air conditioning systems and commercial grade kitchen equipment. Kitchen equipment will all be housed in doors. Another source of operational noise is from the cars and delivery vans/trucks coming to and from the facility. The third source of operational noise is a result of the increased number of people within the proposed facility. Due to the small-scale of the project, noise mitigations are not expected to be needed once the Kitchen is operational.

## **4.9 AIR QUALITY**

### **4.9.1 Existing Conditions**

The State’s good air quality is largely a function of the predominant tradewinds blowing from the northeast. The typical tradewind pattern blows anthropogenic and volcanic pollutants toward the ocean. However, during non-tradewind periods, both anthropogenic and volcanic pollutants can accumulate on island, affecting both visibility and air quality (increase in sulfur oxides (SO<sub>x</sub>) and particulates). According to the EPA, there are no “non-attainment” areas on the island of O’ahu. A non-attainment area is defined as a locality where air pollution levels caused by anthropogenic sources persistently exceed National Ambient Air Quality Standards (NAAQS). Most of the existing airborne pollutants are attributed primarily to vehicle-generated exhaust from the region’s roadways.

### **4.9.2 Potential Impacts and Mitigation Measures**

## Community Training Kitchen at Ohana Ola 'O Kahumana

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Short-term air quality impacts due to the proposed project may result from construction activities. During construction, air quality in the area may be impacted by exhaust generated from construction equipment and fugitive dust. All construction activities will implement BMPs necessary to comply with the provisions of HAR, Chapter 11-60.1, “Air Pollution Control,” Section 11-60.1-33, “Fugitive Dust,” and to reduce any negative air quality impacts. The contractor for the proposed project will be encouraged to implement a dust control plan, to comply with the fugitive dust regulations. Dust control measures that may be implemented include the following:

- Planning the different phases of construction, focusing on minimizing the amount of dust-generating materials and activities, centralizing on-site vehicular traffic routes, and locating potential dust-generating equipment in areas of the least impact;
- Providing an adequate water source at the site prior to start-up of construction activities;
- Landscaping and providing rapid covering of bare areas, including slopes, starting from the initial grading phase;
- Minimizing dust from shoulders and access roads;
- Providing adequate dust control measures during weekends, after hours, and prior to daily start-up of construction activities; and
- Controlling dust from debris being hauled away from the project site. Also, controlling dust from daily operations of material being processed, stockpiled, and hauled to and from the facility.

The General Contractor is expected to develop standard procedures should dirt be tracked onto the roadways, to prevent sediment dispersal and fugitive dust formation. Exhaust emissions from construction equipment and increased vehicular traffic should not violate State or Federal air quality standards based on the moderate level of existing traffic volumes in the region.

Long-term air quality impacts due to the proposed project are not expected. Once the kitchen facility is built and operational, the number of vehicles traveling to and from the proposed project site is expected to increase slightly, particularly during the morning hours. However, the winds (tradewinds and on-shore breezes) should rapidly dissipate any potential impacts from noxious gasses. Due to the close location of the proposed project to Ohana Ola, residents in the transitional housing complex will be able to walk to the kitchen facility. A footbridge connecting the housing units to the kitchen will enable them to avoid walking on Kuwale Road. This significantly reduces the number of cars traveling to and from the project site, thereby reducing the potential emissions generated by single occupancy vehicles. While the project designs are still under development, the concept of sustainability is being incorporated into the design, including measures to minimize impacts to air quality. No additional mitigation measures are proposed.

## **4.10 VISUAL RESOURCES**

### **4.10.1 Existing Conditions**

According to the Wai'anae Sustainable Communities Plan (WSCP), visual resources in the Wai'anae district include coastal lands, steep ridges and Pu'u near the coast, and the peaks of the Wai'anae Mountain range. The property's central location within the Ahupua'a 'o Lualualei, surrounded by Pu'u Mā'ili'ili and Pu'u Pāhe'ehe'e to the west, Pāhe'ehe'e Ridge/Mauna Kuwale and Mt. Ka'ala to the north, the Wai'anae Range to the north and east, and Pu'u o Hulu to the south, provides for panoramic views from within the property of the ridgeline of the Ahupua'a and the two distinctive Pu'u landforms to the north and south of the property. Due to the site's location two miles inland, there are no makai views of the ocean (Figure 8).

### **4.10.2 Potential Impacts and Mitigation Measures**

The visual appearance of the project site is expected to change from vacant land overgrown with weeds, grasses, and shrubs to a kitchen facility. To maintain the visual appearance, the building footprint will occupy only 2,800-to-3,000 sq. ft., and will be one story in height. Given the existing grade of the project site and the low building height, view planes are not expected to be obstructed. Landscaping should further mitigate the visual impact of rooflines. The WSCP indicates that mauka and makai views are important, but does not recognize any specific view planes encompassing any portion of the project site that require consideration and accommodation. As such, the proposed project is not expected to significantly impact public views.

## **4.11 SOCIAL & ECONOMIC CHARACTERISTICS**

### **4.11.1 Existing Conditions**

Data from the U.S. Census Bureau can provide general characteristics of the population in the vicinity of the property. Demographic data for the Lualualei: Halona Road Census Tract are from the 2010-2014 American Community Survey 5-Year Estimate, while data for O'ahu are from the 2014 American Community Survey 1-Year Estimate. The American Community Survey (ACS) Estimates represent the average characteristics of a population for a time range, rather than for a single point in time. The Lualualei: Halona Road Census Tract extends from Pu'u Pāhe'ehe'e and Pāhe'ehe'e Ridge to the north, Hoku'ukali Street and the Wai'anae Kai Hawaiian Homestead to the west, Pu'u Mā'ili'ili and Mā'ili'ili Stream to the southwest, Lualualei Reservoir and Lualualei Homestead Road to the south, and the Lualualei Naval Magazine to the east.

Between 2010 and 2014, the Lualualei: Halona Road Census Tract had an average population of 3,388 persons (U.S. Census Bureau). Table 2 below provides a comparison of demographic characteristics of the census tract versus Honolulu County (O'ahu Island) as a whole.

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**Table 2: Comparison of Hawai‘i American Community Survey (ACS) Estimates**

	<b>Census Tract No. 97.04: Lualualei: Halona Road</b> <i>(2010-2014 ACS 5-Year Estimates)</i>	<b>Honolulu County</b> <i>(2014 ACS 1-Year Estimates)</i>
Resident population:	3,388	991,788
Median household income:	\$71,890	\$74,634
Median family income:	\$72,885	\$83,963
Persons below poverty level:	12.4%	9.7%
Families below poverty level:	8.0%	6.6%
Civilian unemployment rate:	11.4%	5.2%
Population with a high school degree or higher:	76.1%	91.8%
Population with a bachelor degree:	9.7%	21.5%
Population who were foreign-born:	14.8%	18.7%
Population who speak a language other than English:	30.5%	27.4%
Median value for owner-occupied housing unit:	\$404,500	\$590,600

(Source: Research and Economic Analysis Division, DBEDT)

As compared with O‘ahu as a whole, the median household income and median family income were lower in the Lualualei: Halona Road Census Tract, and poverty and unemployment rates were higher. Educational attainment was also lower in this census tract, and the population who speak a language other than English was slightly higher.

**4.11.2 Potential Impacts and Mitigation Measures**

The proposed Kitchen at Ohana Ola is anticipated to have a positive impact on the area population by providing improved social services and occupational training opportunities for homeless and low-income individuals and families. Other positive impacts include the meals prepared for underprivileged children, and strengthened connections with and stewardship of the ‘āina in the farm-to-table process.

The proposed project is expected to generate short-term employment in the construction of on- and off-site infrastructure improvements, as well as on-site building and landscape improvements.

**4.12 INFRASTRUCTURE AND UTILITIES**

**4.12.1 Roadways and Traffic**

Ohana Ola ‘O Kahumana is located approximately two miles mauka (northeast) of Farrington Highway. The project site will be accessed by Kuwale Road via Lualualei Homestead Road and Mā‘ili‘ili Road.

Farrington Highway is owned by the State of Hawai‘i, and is a four-lane, generally north-south, divided highway in the vicinity of Mā‘ili that extends along the western coast of the island, from Wai‘anae at the north end to Nānākuli at the south end of the Wai‘anae Coast. Farrington

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Highway has a posted speed limit of 35 mph in the vicinity of Mā'ili. Separate left and right turn lanes are provided at intersections. Farrington Highway is the highest vehicle volume roadway on the Wai'anae Coast and includes distinct directional traffic as residents travel to jobs in Kapolei and the primary urban center of Honolulu in the morning (AM) peak period and return in the evening (PM) peak period.

Mā'ili'ili Road, Lualualei Homestead Road, and Kuwale Road are narrow, two-lane paved roadways with unimproved shoulders (no curbs, gutters, or sidewalks). Mā'ili'ili Road starts at its intersection with Farrington Highway between the mouth of Mā'ili'ili Stream/Channel and the foot of Pu'u Mā'ili'ili, and runs northeast for one mile until a bend at which it becomes Lualualei Homestead Road. From there, Lualualei Homestead Road continues northeast for approximately 1.4 miles until it reaches a dead end. Roughly 0.2 miles before this dead end, Lualualei Homestead Road intersects with Kuwale Road. From this intersection, Kuwale Road runs north in a straight line for approximately one mile until its dead end at the foot of Pāhe'ehe'e Ridge and Mauna Kuwale, which separate Wai'anae Valley and Lualualei Valley.

Deliveries to and from the existing Kitchen at Ulu Ke Kukui in Mā'ili are made Monday through Friday, utilizing the local roads. On a given weekday, there are typically two to six deliveries of food and supplies to the Kitchen at Ulu Ke Kukui, depending on needs. The current schedule of deliveries of food and supplies to the existing Kitchen at Ulu Ke Kukui is provided in the following table:

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**Table 3: Delivery Schedule for Kitchen at Ulu Ke Kukui**

	<b>Monday</b>	<b>Tuesday</b>	<b>Wednesday</b>	<b>Thursday</b>	<b>Friday</b>
Milk	4:30 AM	4:30 AM	4:30 AM	4:30 AM	4:30 AM
H & W (food)	Between 6 AM – 4:00 PM			Between 6 AM – 4:00 PM	
HFM (food)		Between 6 AM – 4:00 PM		Between 6 AM – 4:00 PM	
Armstrong (produce)	(Depending on needs, deliver between 6 AM – 4 PM)				
Malolo (paper products)			PM hours		
Personal Van Purchaser	Between 6-8AM or evening	Between 6-8AM or evening	Between 6-8AM or evening		
HFA (bread)	8-10 AM		8-10 AM		8-10 AM
Y Hata	(On needed basis)			(On needed basis)	

The Kitchen at Ulu Ke Kukui also makes deliveries of prepared keiki meals to several locations, including Ohana Ola, 3 YMCA sites, and 21 Head Start sites. These deliveries are made using two vans, according to the following staggered schedule:

**Table 4: Current Meal Delivery Schedule**

	<b>Daily (M-F)</b>
1 <sup>st</sup> Van ( <i>departs</i> )	8:50 AM
2 <sup>nd</sup> Van ( <i>departs</i> )	9:20 AM
Vans 1 & 2 ( <i>return</i> )	By 11:30 AM – 12:00 PM
1 <sup>st</sup> Van ( <i>departs</i> )	1:15 PM
2 <sup>nd</sup> Van ( <i>departs</i> )	1:15 PM
Vans 1 & 2 ( <i>return</i> )	By 2:30 PM
Van ( <i>departs</i> )	2:45 PM
Van ( <i>returns</i> )	4:20 PM

**4.12.2 Public Transportation**

TheBus is a public transportation service provided by the City and County of Honolulu. It provides bus service along the Wai‘anae Coast. The closest bus stop is Stop ID #2724, located on Kuwale Road at Lualualei Homestead Road, near the existing Kuwale Road entrance to Ohana Ola ‘O Kahumana. Route 402 services this bus stop daily, with scheduled stops at roughly one-hour intervals, starting at 4:17 AM and ending at 9:57 PM.

*Route 402* connects Lualualei Homestead with the Wai‘anae Transit Center on Leihōkū Street, at which riders may transfer to the following service routes:

*Route C* – Country Express bus service connects the Wai‘anae Coast to the Ala Moana Shopping Center, and several points in-between, including Kapolei, Kalihi, and downtown Honolulu. Service frequency on *Route C* varies from 4:00 AM to 10:30 PM with 30 minute headways.

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*Route PH1* – Pearl Harbor and Hickam AFB route that follows a similar route as Route C, with an additional loop through the Pearl Harbor/Hickam Air Force Base. Service frequency on Route PH1 varies from 4:00 AM to 10:30 PM with 30 minute headways.

*Route 40* – Honolulu-Mākaha route that connects the Mākaha Towers to the Ala Moana Center. The route follows Farrington Highway with stops at Mākaha Valley Road, the Wai‘anae Transit Center, the Wet n’ Wild Hawai‘i Water Park and Kapolei. The route continues on to Honolulu via the Kamehameha Highway to Nimitz Highway, Dillingham Boulevard, King Street and Kapi‘olani Boulevard. Route 40 operates 24 hours per day with 30 minute headways during the peak hours.

*Route 93* – Wai‘anae Coast Express route that connects the Wai‘anae Coast to downtown Honolulu as far east as Alapa‘i and King Street. It follows a similar route as Route C, Country Express, except that it does not continue to Ala Moana Center, instead offering stops on Vineyard and continuing along Middle Street before returning to the Wai‘anae Coast. Route 93 is an express route which operates in the eastbound direction during the morning peak hour at 20 minute headways, and operates during the evening peak hour with an average of 15 minute headways.

*Route 401* – Local route that connects Wai‘anae Valley to the Wai‘anae Transit Center.

*Route 403* – Local route that connects Mā‘ili and Nānākuli to the Wai‘anae Transit Center.

#### **4.12.2.1 Potential Impacts and Mitigation Measures**

No significant impacts to roadways and traffic or to public transportation are anticipated. The primary source for participants in Kahumana's kitchen training program at the new Kitchen facility will be adults residing at Ohana Ola. An on-site walkway and footbridge over the drainageway is planned to allow residents in the transitional housing complex to access the Kitchen without walking on Kuwale Road. This will make the program accessible to all housing residents, including those who cannot afford to own cars or pay for bus fare. Other participants and staff who do not live at Ohana Ola will be able to catch TheBus or drive to the project site, although these numbers are anticipated to be low. The new facility will include a parking/loading area for about twelve vehicles.

With the relocation of the kitchen training program from the existing KUK in Mā‘ili to the proposed Kitchen at Ohana Ola, there will be an increase in the number of daily deliveries to and from Ohana Ola, resulting in slight increases to traffic along Mā‘ili‘ili Road, Lualualei Homestead Road, and Kuwale Road, as well as on Farrington Highway. This potential impact may be mitigated by staggering the scheduled deliveries during off-peak hours.

During pre-consultation, design comments were received from transportation agencies as follow:

- The City and County of Honolulu Department of Transportation Services notes the following requirements pertaining to roadways and transportation during design:
  - All access driveways to the project site should be designed with the highest pedestrian and bicycle safety measures.

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- On-site bike racks and secure bike storage for the residents, employees and visitors should be included.
- All parking needs should be handled on site.
- All loading and unloading needs should be handled on site rather than on City roadways.
- The project should be designed to accommodate TheHandi-Van paratransit vehicles on site with a minimum 31-foot turning radius and a 10 foot 6 inch height clearance.

Due to the small-scale nature of the development, construction impacts to roadways are not expected. Comments received during pre-consultation provide guidance during construction as follow:

- The State of Hawai'i Department of Transportation (DOT) requires that transport of oversized and/or overweight materials or equipment will necessitate a permit from the DOT Highways Division.
- The City and County of Honolulu Department of Facilities Maintenance cautions that should any damages/deficiencies to Lualualei Homestead Road or Kuwale Road rights-of-way occur during construction, they shall be corrected.
- The City and County of Honolulu Department of Transportation Services notes the following requirements pertaining to roadways and transportation during construction:
  - Any damage to existing roadway area caused by the project should be restored to original condition or better.
  - Construction notes should include the following note: *This project may affect bus routes, bus stop, and paratransit operations therefore, the Contractor shall notify the Department of Transportation Services, Public Transit Division at 768-8396 and Oahu Transit Services, Inc. (bus operations: 848-4578 or 852-6016 and paratransit operations: 454-5041 or 454-5020) of the scope of work, location, proposed closure of any street, traffic lane, sidewalk, or bus stop and duration of project at least two weeks prior to construction.*
  - Construction materials and equipment should be transferred to and from the project site during off-peak traffic hours (8:30 am to 3:30 pm) to minimize any possible disruption to traffic on the local streets.
  - A street usage permit from the City's Department of Transportation Services should be obtained for any construction-related work that may require the temporary closure of any traffic lane on a City street.

#### 4.12.3 Water System

##### 4.12.3.1 Existing Conditions

The project site is within the Wai'anae Service Area of the Board of Water Supply's (BWS) Development Plan for the island of O'ahu. The Wai'anae Service Area (potable supply) is estimated to have a water demand of 9.3 million gallons a day (MGD). The wells in the

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Wai‘anae Service Area contribute approximately 4.8 MGD. The Lualualei booster pump provides approximately 4.5 MGD to the Wai‘anae Area from Central O‘ahu.

**4.12.3.2 Potential Impacts and Mitigation Measures**

The estimated total fire flow requirement for the size of building proposed is approximate 2,000 gpd. The estimated average daily demands for the Kitchen will be determined at the time of final design. Preliminary fixture counts estimate the following:

**Table 5: Estimated Fixture Count**

<b>Fixture</b>	<b>Number</b>
Double sinks	3
Hand sinks and eye wash	5
Triple sinks	1
Dish washer	1
Clothes washer	1
Hose bibs	4
Shower	1
Water closets.	3
Urinal	1

A new connection to the existing BWS water system will provide water service to the project. The water system will need to be designed in conformance with the BWS Water System Standards and Standard Details. The project’s water system is expected to be serviced by the BWS 242 Service Zone. Connection to the BWS system is anticipated on Kuwale Street. BWS Cross-Connection Control and Backflow Prevention requirements will be fulfilled prior to the issuance of the building permit applications.

Water conservation measures considered for the proposed project include: low flow plumbing fixtures, utilization of nonpotable water for irrigation using rain catchment, drought tolerant plants, xeriscape landscaping, efficient irrigation systems, and the use of Water Sense labeled ultra-low-flow water fixtures and toilets.

**4.12.4 Wastewater System**

**4.12.4.1 Existing Conditions**

The project site is currently not served by a public sanitary sewer system.

**4.12.4.2 Potential Impacts and Mitigation Measures**

Estimating 30 employees (20 part time and 10 full time) and preparation of up to 2,000 meals to be delivered and consumed elsewhere per day, the proposed project is anticipated to generate a design average flow of 6,400 gallons of wastewater per day (gpd).

An individual wastewater system compliant with State of Hawai‘i Department of Health Wastewater Branch requirements will be constructed to serve the proposed project. Kahumana will compost food waste to the maximum extent for re-use in their farming ventures on site. This

should serve to minimize volume of waste related to food preparation, fruit and vegetable washing and benefit the efficiency and effectiveness of the individual wastewater system.

#### **4.12.5 Drainage System**

##### **4.12.5.1 Existing Conditions**

The project site is vegetated and the ground contours generally slope down to the west and south; consequently, stormwater infiltrates on site or sheet flows during heavier rain events to the drainageway that runs between the project site and the housing component of Ohana Ola ‘O Kahumana.

##### **4.12.5.2 Potential Impacts and Mitigation Measures**

The development of the Kitchen will increase the impervious area to less than 1/3 acre.

As required by the City and County of Honolulu, the proposed project will maintain existing drainage patterns and detain additional run-off caused by the increase in impervious area due to the development of the project site. It is anticipated that sustainable design practices and post construction best management practices (BMPs) will be implemented to limit the increase in runoff volume and help improve the quality of the storm water discharged. Detention ponds, water quality swales, structural BMPs, and pervious pavements may be utilized to help minimize the discharge from the project site to be equal to or less than the existing run-off quantity. In addition, the proposed project will comply with the City and County of Honolulu’s Rules Relating to Storm Drainage Standards.

#### **4.12.6 Energy Systems**

##### **4.12.6.1 Existing Conditions**

Hawaiian Electric Company, Inc. (HECO) provides electrical power to the area. Overhead lines in the Kuwale Road right of way.

##### **4.12.6.2 Potential Impacts and Mitigation Measures**

During the pre-consultation process, HECO noted that should there be any easements on the site for HECO facilities, the company will continue to need access. HECO also expressed the need to continue communications as the project plans are developed. Comments can be found in Appendix E. Kahumana has registered with Hawaii One Call to ensure that there are no utilities on site. Notice of ground disturbance was provided to utilities through the One Call service prior to archaeological subsurface investigations, and the service will be utilized again prior to site preparation

#### **4.12.7 Solid Waste**

##### **4.12.7.1 Existing Conditions**

It is the County Department of Environmental Services, Refuse Division’s responsibility to collect, recycle, burn and dispose of the Island’s solid waste. The project site is currently vacant and does not generate waste.

#### **4.12.7.2 Potential Impacts and Mitigation Measures**

The proposed project will generate solid waste during construction and after development. Construction wastes will include vegetation, rocks and debris from the grading and grubbing of the project site. During operations of the facility, the composition of the solid waste is expected to be primarily compostable kitchen scraps.

Any refuse that is not recycled or composted is anticipated to be collected by a private refuse company to transport it to a County Department of Environmental Services, Refuse Division transfer station, for burning at the City’s H-POWER facility and eventual disposal in a sanitary landfill.

### **4.13 PUBLIC SERVICES AND FACILITIES**

#### **4.13.1 Existing Conditions**

##### **4.13.1.1 Police Protection**

The site is located within Honolulu Police Department District 8. The new Wai‘anae Police Substation facility is located at 85-939 Farrington Highway, at the intersection with Wai‘anae Valley Road. The Wai‘anae Police Substation is approximately 2.6 miles from the project site.

##### **4.13.1.2 Fire Protection**

The Wai‘anae Fire Station is located at 85-645 Farrington Highway and is approximately three miles away from the project site.

##### **4.13.1.3 Health & Social Services**

The Wai‘anae Coast Comprehensive Health Center, which includes emergency services, is located at 86-260 Farrington Highway, and is approximately two miles from the project site.

##### **4.13.1.4 Recreational and Cultural Facilities**

Recreational facilities near the proposed project include Pu‘u o Hulu Community Park, Mā‘ili Community Park, Mā‘ili Beach Park, Ulehawa Beach Park, Nānākuli Beach Park, Lualualei Beach Park, Pokai Beach Park, Herbert K Pililaau Community Park, Wai‘anae District Park.

##### **4.13.1.5 Educational Facilities**

There are a number of educational facilities and programs in the vicinity of the property, including Kamehameha Schools Wai‘anae 1 Preschool, Kamehameha Schools Hoaliku Drake Preschool, INPEACE Keiki Steps (Mā‘ili Elementary School), Head Start Mā‘ili Elementary School, Head Start Ulu Ke Kukui, Head Start Keiki Country, Mā‘ili Bible School, Butler Enterprises Child Care, and Nina’s Learning Day Care.

Public schools serving the property include Leihōkū Elementary School, Wai‘anae Intermediate School, and Wai‘anae High School. Charter schools along the Wai‘anae Coast include the Ka Waihona o ka Na‘auao K-8 School in Nānākuli and the Kamaile Academy K-9 School in Wai‘anae.

#### **4.13.2 Potential Impacts and Mitigation Measures**

##### **4.13.2.1 Police Protection**

An occasional and unavoidable demand for police protection is anticipated. During the pre-consultation process, the Honolulu Police Department noted that the project should have no significant impact on its facilities or operations. Comments can be found in Appendix E.

##### **4.13.2.2 Fire Protection**

An occasional and unavoidable demand for fire protection is anticipated. During the pre-consultation process, the Honolulu Fire Department noted that the project should have no significant impact on its facilities or operations. Comments can be found in Appendix E.

##### **4.13.2.3 Health and Social Services**

An occasional and unavoidable demand for emergency health care is anticipated. The nearest emergency health center, the Wai‘anae Coast Comprehensive Health Center, is located approximately two miles from the project site. No impacts to the Health Center’s ability to provide service is anticipated. During the pre-consultation process, the State of Hawai‘i Department of Human Services noted that the agency has no comment to the proposed Kitchen. Comments can be found in Appendix E.

##### **4.13.2.4 Recreational and Cultural Facilities**

The proposed project is not anticipated to have a significant impact on recreational and cultural facilities in the area. During the pre-consultation process, the City and County of Honolulu Parks Department noted that the project should have no significant impact on its facilities or programs. Comments can be found in Appendix E.

##### **4.13.2.5 Educational Facilities**

The proposed project is anticipated to have a positive impact on the Wai‘anae Coast by providing healthy meals for underprivileged children at schools, headstart programs, and YMCA. During the school year, the existing kitchen at Kahumana prepares approximately 1,100 healthy meals per weekday. It is a successful program with high potential for growth. Based on on-going dialogue with kitchen clients, Kahumana estimates that it could double the kitchen’s production, which would provide for triple the number of trainees. Thus, with the proposed new kitchen facility, there would be an even greater positive impact on area schoolchildren.

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## **5 ALTERNATIVES**

In compliance with the provisions of Section 11-200-17(f), HAR, an EA must discuss all potential practicable alternatives to the proposed action.

### **5.1 NO ACTION**

The no-action alternative results in no change in use of the project site. Under this alternative, the Community Training Kitchen at Ohana Ola would not be built and the project site would remain in its current undeveloped state. No short-term construction jobs or long term operational jobs would be generated. While Kahumana's job training program may be able to continue at the existing Kitchen at Ulu Ke Kukui in Mā‘ili, the existing program is not be able to increase production to accommodate projected growth due to the limited capacity of the existing facilities. Moreover, the lease for Ulu Ke Kukui will expire in 2018, leaving the existing kitchen's future uncertain.

### **5.2 ALTERNATIVES SITES**

Alternative sites within the 12 acre Ohana Ola TMK parcel were also considered. However, since the dominant uses at Kahumana Farms and Ohana Ola are agriculture and transitional housing, locations elsewhere on the property would be disruptive to farm expansion plans and residential uses.

### **5.3 ALTERNATIVE RELATED TO DIFFERENT DESIGNS OR DETAILS OF THE PROPOSED ACTION WHICH WOULD PRESENT DIFFERENT ENVIRONMENTAL IMPACTS**

Early concepts for the kitchen included a larger sized facility (7,000-9,000 square feet) and included a central kitchen centered on the vocation program and preparation of lunches; an instructional kitchen for culinary/vocational skills training; and three small community incubator kitchens for use by low-income or unemployed residents in developing food-based micro enterprises. This scale of facility was generally described in the pre-consultation process. As pre-consultation responses were received and concerns about the use of agricultural land use were voiced, the larger size, multiple use facility concept was discarded in favor of a more modest facility.

### **5.4 PREFERRED ALTERNATIVE**

The preferred alternative is to develop the Kitchen at Ohana Ola. This alternative satisfies project goals to retain and expand Kahumana’s kitchen training program by building a larger facility and locating it where Kahumana will have long-term site control creating greater certainty that the program can continue uninterrupted and eventually expand. The location at Ohana Ola puts the Kitchen in immediate proximity to resident employees and Kahumana Farm’s produce which is used in meal production.

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The preferred alternative represents a more modest facility than initially conceived. The proposed Kitchen is more functionally related to workforce development of the residents at Ohana Ola and the use of produce grown at Kahumana Farms.

## **6 FINDINGS, SUPPORTING REASONS, & ANTICIPATED DETERMINATION**

To determine whether the proposed project may have a significant impact on the physical and human environment, all expected consequences of the Community Training Kitchen at Ohana Ola ‘O Kahumana have been evaluated, including potential primary, secondary, short-range, long-range, and cumulative impacts. Based on this evaluation, the Approving Agency (DCS) is expected to issue a FONSI for the Kitchen at Ohana Ola. The supporting rationale for this anticipated finding is presented in this chapter.

### **6.1 PROBABLE IMPACT, INCLUDING CUMULATIVE IMPACTS**

Cumulative impacts are impacts on the environment that result from the action when added to other past, present, and foreseeable future actions by other agencies or persons. As discussed throughout this document, this project is being proposed to address the critical need to expand the job training program provided by Kahumana at Ohana Ola to help families navigate from homelessness to self-sufficiency.

Overall, the anticipated cumulative impacts are beneficial, particularly socio-economic impacts. The long-term cumulative impacts of the proposed project as presented include: 1) improved provision of critically needed social services and increased educational and job-training opportunities for unemployed or extremely low-income adults within the Wai‘anae Coast District; 2) increased provision of healthy meals for underprivileged children in the community; 3) strengthened connections with and stewardship of the ‘āina in the farm-to-table process; and 4) streamlining the integration of produce grown and raised at Kahumana Farms into keiki lunches..

Impacts to the environment can be addressed through the implementation of measures to avoid, minimize, or mitigate construction activities and long term operations. Those measures are discussed throughout this document.

### **6.2 SIGNIFICANCE CRITERIA**

Based upon the previous information presented in this document, the proposed permitting and construction of the Community Training Kitchen at Ohana Ola ‘O Kahumana is not expected to have a significant impact on the environment. This determination is based upon the Significance Criteria outlined in Chapter 343, HRS, as amended and Title 11 Chapter 200, HAR 1996, discussed below.

*(1) Involves an irrevocable commitment to loss or destruction of any natural or cultural resource;*

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**Discussion:** As discussed herein, the proposed site does not contain any known significant natural or cultural resources, and the proposed project will not involve an irrevocable commitment to loss or destruction of any natural or cultural resource.

(2) *Curtails the range of beneficial uses of the environment;*

**Discussion:** The Community Training Kitchen at Ohana Ola will increase, not curtail, the beneficial uses of the subject properties. While the proposed project forecloses other uses (e.g., open space or potential agricultural development) for a small portion of the site, the range of beneficial uses of the property will likely increase over the status quo to include educational and vocational training. It is expected that the addition of the Kitchen to the site will add value to the agricultural activities of Kahumana's existing nine-acre farm, the planned expansion of farm use for the remaining undeveloped land at Ohana Ola, and a soon-to-be opened sixteen-acre farm farther up Kuwale Road.

(3) *Conflicts with the state's long term environmental policies or goals and guidelines as expressed in Chapter 344, HRS; and any revisions thereof and amendments thereto, court decisions, or executive orders;*

**Discussion:** The environmental policies enumerated in Chapter 344, HRS promote conservation of natural resources, and an enhanced quality of life for all citizens. The proposed project is consistent with the environmental policies, goals, and guidelines. This EA has addressed such issues as: natural resources conservation; enhancement of the quality of life; population; land, water, visual, air, and other natural resources; biological resources; parks, recreation, and open space; economic development; transportation; energy; education and culture; and citizen participation.

(4) *Substantially affects the economic or social welfare, and cultural practices of the community or State;*

**Discussion:** The proposed project is anticipated to positively affect the economic and social welfare of the Wai'anae Coast community by providing a critically needed venue for Kahumana to retain and expand its food-preparation job-training program. This kitchen training program is a crucial component of Kahumana's integrated mix of social services, social ventures, and vocational training programs that help homeless families, people with disabilities, and youth. The proposed Kitchen will allow Kahumana to have a greater positive impact on the lives and livelihoods of the homeless, unemployed, and extremely low-income adults who participate in the program. Moreover, the proposed Kitchen will also enable Kahumana to double the production of healthy meals for underprivileged children in the community.

(5) *Substantially affects public health;*

**Discussion:** The proposed project is anticipated to positively affect public health of the Wai'anae Coast community. Most appreciably, continuation and growth of the provision of healthy lunches for underprivileged children is expected to be a beneficial impact to community public health. Secondly, by providing jobs and job training within walking distance of the residences at

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Ohana Ola may serve to remove a few cars from Waianae roads and facilitate a walkable live/work environment for the individual Ohana Ola residents employed at the Kitchen. Long term, the educational component emphasizing the farm to table process for low-income individuals is anticipated to be a benefit to the individuals involved and passed to their children and ohana.

In the short term, construction of the proposed project may pose the potential for temporary impacts to noise, air, and water quality; however, these potential impacts will be of a short-term duration and are not expected to substantially affect public health. All construction activities will comply with applicable regulations and appropriate mitigation measures will be implemented as necessary.

*(6) Involves substantial secondary impacts, such as population changes or effects on public facilities;*

**Discussion:** The proposed project is not anticipated to significantly impact population changes or public facilities. The demand for water, as well as solid waste and wastewater generation, should not increase significantly, either regionally or island-wide. The construction of the Kitchen at Ohana Ola will not trigger population changes or the need for additional housing in Wai‘anae.

*(7) Involves a substantial degradation of environmental quality;*

**Discussion:** The proposed project will utilize previously disturbed vacant land and is not expected to substantially degrade environmental quality of these lands. The property was substantially modified in the past, and today lacks any significant natural resources. Potential impacts to the environment resulting from development, and appropriate mitigation measures have been identified throughout this EA.

*(8) Is individually limited but cumulatively has considerable effect upon the environment or involves a commitment for larger actions;*

**Discussion:** Short term impacts related to construction can be expected, but minimized as discussed throughout this EA. Cumulative impacts are anticipated to be of a beneficial nature. The goals of this project are to retain and expand Kahumana’s kitchen training program by building a larger facility and locating it where Kahumana will have long-term site control. The cumulative positive impacts will be the development of knowledge and workforce training; uninterrupted continuation and potential growth of the school lunch program, expanding the use of produce grown at Kahumana Farms to the extent possible to strengthen connections with and stewardship of the ‘āina in the farm-to-table process.

*(9) Substantially affects a rare, threatened or endangered species or its habitat;*

**Discussion:** The site contains no habitat for rare, threatened or endangered plant or animal species listed by the USFWS or in the Endangered Species Act. Therefore, none are expected to be affected by the proposed project. Minimization measures are included herein to ensure there is no adverse effect to any threatened or endangered species that may transit the area.

(10) *Detrimentially affects air or water quality or ambient noise levels;*

**Discussion:** No State or Federal air quality or water standards should be violated during or after the construction of the proposed project. Construction activities for the development of the property including infrastructure improvements will inevitably create temporary noise impacts. Mitigation measures to minimize temporary noise impacts may include the use of mufflers and implementing construction curfew periods. Upon completion of the project, the ambient noise level within the proposed project is expected to be minimal, and sound enclosures, mufflers, buffers and setbacks will be provided to help mitigate noise impacts.

(11) *Affects or is likely to suffer damage by being located in an environmentally sensitive area, such as a flood plain, tsunami zone, beach, erosion-prone area, geologically hazardous land, estuary, fresh water, or coastal waters;*

**Discussion:** The proposed project is not located in an environmentally sensitive area, such as a flood plain, tsunami evacuation zone, beach, erosion-prone area, geologically hazardous land, estuary, fresh water, or coastal waters.

(12) *Substantially affects scenic vistas and view planes identified in County or State plans or studies; or,*

**Discussion:** Kahumana does not anticipate that scenic vistas or view planes specifically identified in City and County of Honolulu plans, such as the Wai‘anae Sustainable Communities Plan will be affected. In addition, Kahumana does not anticipate that the significant views identified in the Coastal Views Study will be affected. The Kitchen structure is anticipated to be one story in height, and will be sited to reduce visual impact. Views from residences adjacent to the Kitchen at Ohana Ola are not expected to be obstructed.

(13) *Requires substantial energy consumption.*

**Discussion:** Construction of the proposed project is not expected to require more energy than other projects of similar size and scale. Sustainable features that reduce overall energy consumption will be integrated into the design of the Kitchen at Ohana Ola, where appropriate. Such features could include considerations for orienting structures to maximize solar energy production, incorporating energy-saving fixtures and appliances, and maximizing day lighting.

### **6.3 DETERMINATION**

On the basis of impacts and mitigation measures examined in this document and analyzed under the above criteria, it is anticipated that the Kitchen at Ohana Ola will not have a significant effect on the physical or human environments. Pursuant to Chapter 343, HRS, it is anticipated that the approving agency (DCS) will issue a FONSI.

## 7 CONSULTED PARTIES AND PARTICIPANTS IN THE EA PROCESS

Various agencies and individuals were consulted in preparation of this EA as described in the following sections of this report.

### 7.1 PRE-CONSULTATION & EARLY OUTREACH

A pre-consultation letter was sent to various agencies, organizations, and individuals listed in the following table. Comment and response letters have been reproduced and are provided in Appendix E.

**Table 6: Pre-consultation Comment Letters**

<b>STATE</b>	<b>Comment Rec'd</b>
Department of Accounting and General Services	X
Department of Agriculture	X
Department of Business, Economic Development & Tourism – Hawaii Housing Finance & Development Corporation	
DBEDT - Office of Planning	
Department of Defense	X
Department of Hawaiian Home Lands	
Department of Health – Clean Water Branch	X
Department of Health - Environmental Planning Office	X
Department of Human Services	X
Department of Labor and Industrial Relations	
Department of Land and Natural Resources	X
DLNR - Commission on Water Resource Management	X
Department of Transportation	X
Hawai'i Housing Finance and Development Corporation	X
Office of Hawaiian Affairs	
Office of Environmental Quality Control	X
Office of Planning	X
<b>FEDERAL</b>	
U.S. Fish and Wildlife Service	X
U.S. Army Corps of Engineers	X
U.S. Navy	
U.S. Department of Agriculture, Natural Resources Conservation Service	
U.S. Environmental Protection Agency, Region 9	
Federal Emergency Management Agency, Region IX	
<b>COUNTY OF HONOLULU</b>	

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Board of Water Supply	X
Department of Community Services	
Department of Environmental Services	
Department of Design and Construction	X
Department of Facility Maintenance	X
Department of Parks and Recreation	X
Department of Customer Services	
Fire Department	X
Department of Planning and Permitting	X
Police Department	X
Department of Transportation Services	X
<b>ELECTED OFFICIALS</b>	
State Senator	X
State Representative	
Council Member	X
<b>UTILITIES</b>	
Hawaiian Electric Company, Inc.	X
<b>CITIZEN GROUPS/INDIVIDUALS, CONSULTED PARTIES</b>	
Wai‘anae Coast Neighborhood Board	

Additionally, in an effort to inform potential stakeholders and interested parties of the Kitchen project, Alternative Structures, doing business as Kahumana, consulted with a variety of individuals and agencies such as, immediate neighbors, local elected officials, and additional agencies:

- Councilmember Pine
- Representative Johnson
- Senator Shimabukuro
- Meal contract clients
- Board of Water Supply
- Department of Agriculture
- Adjacent Landowners:
  - 86-445 Kuwale Rd.
  - 86-401 Kuwale Rd.
  - 86-446 A Kuwale Rd
  - 86-440 Kuwale Rd
  - 86-430 Kuwale Rd.
  - 86-424 Kuwale Rd.
  - 86-416 Kuwale Rd

## 7.2 Public Meetings

Representatives of Kahumana Farms presented the Kitchen at Ohana Ola ‘O Kahumana concept plan to the Wai‘anae Coast Neighborhood Board on July 5, 2016. To supplement the standard

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Neighborhood Board meeting notification, adjacent land owners listed in the prior section of this report were sent a notice of the meeting. Neighbor notification and Neighborhood Board Meeting notes are included in Appendix F.

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## 8 REFERENCES

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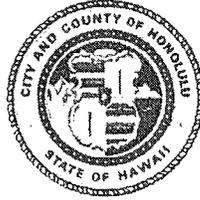
**Appendix A:**  
**City Council Resolution 89-351**





DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT  
**CITY AND COUNTY OF HONOLULU**

650 SOUTH KING STREET, 5TH FLOOR  
 HONOLULU, HAWAII 96813  
 PHONE: 523-4427



FRANK F. FASI  
 MAYOR

MIKE N. SCARFONE  
 DIRECTOR

HIRAM K. KAMAKA  
 DEPUTY DIRECTOR

TO: Alternative Structures International DATE: August 16, 1989  
86-660 Luualalei Homestead Road ATTENTION: Florian Sydow  
Waianae, Hawaii 96792

SUBJECT: Kahumana Transitional Housing Project

ENCLOSED ARE THE FOLLOWING:

COPIES	DATE	DESCRIPTION
12	8/9/89	Resolution 89-351 Authorizing Certain Exemptions form
		Planning, Zoning, and Development Standards

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> For approval            | <input type="checkbox"/> Approved as submitted        | <input type="checkbox"/> Returned after |
| <input checked="" type="checkbox"/> For your use | <input type="checkbox"/> Approved as noted            | loan to us                              |
| <input type="checkbox"/> As requested            | <input type="checkbox"/> Returned for correction      |   |
| <input type="checkbox"/> For review and comment  | <input type="checkbox"/> Resubmit copies for approval |   |

COMMENTS: You will need to attach these to your plans when you go for your  
permits. Otherwise the plans checker will think the project does not  
comply with City rules and standards.

COPIES TO: \_\_\_\_\_ SIGNED: \_\_\_\_\_

FOR QUESTIONS CONTACT: Keith I. Ishida (527-5092)

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## RESOLUTION

AUTHORIZING EXEMPTIONS FROM REQUIREMENTS RELATING TO PLANNING, ZONING, CONSTRUCTION STANDARDS, AND DEVELOPMENT AND IMPROVEMENT OF LAND FOR THE KAHUMANA TRANSITIONAL HOUSING PROJECT, WAIANAE, OAHU.

WHEREAS, the Department of Housing and Community Development (DHCD) together with Alternative Structures International proposes to develop a transitional housing project for homeless families in Waianae, Oahu; and

WHEREAS, the Council of the City and County of Honolulu is empowered to approve exemptions from statutes, ordinances, Charter provisions, and rules relating to planning, zoning, construction standards for subdivisions, development and improvement of land and the construction of units thereon pursuant to Section 201E-210, Hawaii Revised Statutes; and

WHEREAS, the project objectives are consistent with the housing goals and objectives of the City; and

WHEREAS, the granting of certain exemptions is necessary for the timely and successful implementation of the project; and

WHEREAS, the DHCD has found, and the Council concurs, that the proposed exemptions will not adversely affect the public health, safety or welfare; and

WHEREAS, the project does not contravene any safety standard or tariff of the Public Utilities Commission for public utilities; and

WHEREAS, the DHCD has presented preliminary plans and specifications for the project to the City Council of the City and County of Honolulu; now, therefore,

BE IT RESOLVED that the Council of the City and County of Honolulu authorize the following exemptions from requirements relating to planning, zoning, construction standards for subdivisions, development and improvement of land for the Kahumana Transitional Housing Project:

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## RESOLUTION

1. Exemption from the State Land Use Agricultural District Boundary to allow the proposed residential use in an agricultural district. The parcel is less than 15 acres and thus pursuant to Section 205-3.1, Hawaii Revised Statutes, falls under the jurisdiction of the Department of General Planning.

2. Exemption from Ordinance 83-11, as amended, Waianae Development Plan Land Use Map to permit the proposed residential use in an agricultural district.

3. Exemption from Zoning Map No. 15, Lualualei to Makaha, and Section 5.20-5 of the Land Use Ordinance (LUO) to permit the proposed residential use in an AG-2 Restricted Agricultural District.

4. Exemption from Section 3.70-1 of the LUO to allow the construction of 21 off-street parking stalls instead of the required 32 (including two guest stalls). The project will serve homeless families with a very low rate of automobile ownership.

5. Exemption from Ordinance 2412 relating to the construction of required street improvements (curbs, gutters, etc.).

6. Exemption from Chapter 7, Article 7, ROH, relating to park dedication requirements. We note that a multi-purpose building and landscaped open space have been provided.

7. An exemption from Chapter 22, Article 5, ROH, to permit the use of overhead utility lines.

BE IT FURTHER RESOLVED that the final plans and specifications for the project shall not substantially deviate from the preliminary plans and specifications submitted to the Council; and such plans and specifications shall constitute the zoning, building, construction and subdivision standards for the project; and

BE IT FURTHER RESOLVED that no action may be prosecuted or maintained against the City and County of Honolulu, its officials, or employees, on account of actions taken by them in reviewing or approving the plans and specifications; and

# RESOLUTION

BE IT FINALLY RESOLVED by the Council of the City and County of Honolulu that the Clerk be and he is hereby directed to transmit copies of this Resolution to the affected parties and agencies.

INTRODUCED BY:

*Arnold Morgado, Jr.* (BR)

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Council Members

DATE OF INTRODUCTION:

JUL 25 1989  
Honolulu, Hawaii

**CITY COUNCIL**  
CITY AND COUNTY OF HONOLULU  
HONOLULU, HAWAII

I hereby certify that the foregoing RESOLUTION was adopted by the COUNCIL OF THE CITY AND COUNTY OF HONOLULU on the date and by the vote indicated to the right.

ATTEST:

*Raymond K. Pua*  
RAYMOND K. PUA  
CITY CLERK

*Arnold Morgado, Jr.*  
ARNOLD MORGADO, JR.  
CHAIR AND PRESIDING OFFICER

Dated AUG 9 1989

ADOPTED MEETING HELD			
AUG 9		1989	
	AYE	NO	ABE
ABERCROMBIE			X
DeSOTO			
DOO			
FELIX			
GILL			
KAHANU			
KIM			
MANSHO			
MORGADO			
	8	0	1

Reference: D 634

Report No. HCD CR-449

**Resolution No.**  
**89-351**

**Appendix B:**  
**City Council Resolution 00-198, CD1**







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## RESOLUTION

AUTHORIZING EXEMPTIONS FROM CERTAIN REQUIREMENTS RELATING TO THE OHANA OLA O KAHUMANA, PHASE II, TRANSITIONAL HOUSING PROJECT AT WAIANAЕ, OAHU, TAX MAP KEYS: 8-6-6: por 1 and por 2.

WHEREAS, Alternative Structures International, dba Ohana Ola O Kahumana, also dba Kahumana, a Hawaii nonprofit corporation, proposes to develop a transitional housing project for the homeless on a portion of 12.382 acre lot located at 86-433 Kuwale Road, Waianae, Oahu (Tax Map Key: 8-6-6: por 1), which is owned by the City, and a portion of a lot at 86-660 Lualualei Homestead Road, Waianae, Oahu (Tax Map Key: 8-6-6: por 2), which is owned by Alternative Structures International, to be known as the Ohana Ola O Kahumana Transitional Housing Project (the "Project"); and

WHEREAS, the proposal consists of 34 units in 17 two-family detached dwellings, a meeting facility (with kitchen) for educational and life-skills training classes for residents and large group meetings, accessory offices, a day-care facility for resident children, and either two single-family dwellings or one two-family detached dwelling for future staff housing; and

WHEREAS, families are charged program fees and generally make these payments from welfare income; and

WHEREAS, the City Council is empowered to and authorized to approve the Project which may include exemptions from statutes, ordinances, charter provisions and rules of any government agency relating to planning, zoning, construction standards for subdivision, development and improvement of land and the construction of units thereon pursuant to Sections 46-15.1 and 201G-118 of the Hawaii Revised Statutes ("HRS"); and

WHEREAS, the City Council has reviewed the preliminary plans last dated September 5, 2000 and outline specifications last dated September 5, 2000 for the Project submitted to the Council by the Department of Planning and Permitting ("DPP"); and

WHEREAS, the Project is consistent with the housing and community development goals and objectives of the City; and



---

## RESOLUTION

WHEREAS, the granting of the exemptions is necessary for the timely and successful implementation of the Project; and

WHEREAS, the exemptions meet minimum requirements of health and safety; now, therefore,

BE IT RESOLVED by the Council of the City and County of Honolulu that it approves the Project which approval includes exemptions from certain requirements for the Project as set forth in the Preliminary Plans and Specifications for the Project, as follows:

1. Exemption from Sections 21-3.30 and 21-3.50, Land Use Ordinance (LUO), to permit development of the project in an AG-1 Restricted Agricultural District, under A-1 Low Density Apartment District uses and development standards.
2. Exemption from Sections 21-3.80-1, 21-5.180, 21-5.450 and Table 21-3, LUO, to allow a day-care and meeting facility without a conditional use permit.
3. Exemption from Section 21-3.80-1 and Table 21-3, LUO, to allow accessory offices.
4. Exemption from Section 21-3.80-1 and Table 21-3.3, LUO, to allow a portion of the meeting facility to exceed the 30-foot maximum height (under the A-1 District) by 6 feet.
5. Exemption from Section 21-6.20 and Table 21-6.1, LUO, to allow the provision of 59 parking stalls for the 34 units, meeting facility, and day-care facility instead of 94 parking stalls.
6. Exemption from the State Land Use Agricultural District Boundary and Chapter 26, ROH, to allow the Project in an agricultural district. The parcel is less than 15 acres and, pursuant to Section 205-3.1, Hawaii Revised Statutes, falls under the jurisdiction of the City.



**CITY COUNCIL**  
CITY AND COUNTY OF HONOLULU  
HONOLULU, HAWAII

No. 00-198, CD1

---

**RESOLUTION**

7. Exemption from the Park Dedication requirements, Chapter 22, Article 7, ROH, to waive all requirements for dedication and in-lieu payment for park and playground purposes.
8. Exemption from Section 14-14.4, ROH, relating to permit fees, to waive payment of grading fees.
9. Exemption from Section 14-14.8, ROH, relating to bonds, to allow issuance of a grading permit prior to filing a bond with the City.
10. Exemption from Section 18-6.1, ROH, relating to plan review fees, to waive payment of plan review fees.
11. Exemption from Section 18-6.2, ROH, relating to building permit fees, to waive payment of building permit fees.

and

BE IT FURTHER RESOLVED that this Resolution shall be void unless construction of the Project commences no later than 24 months after the approval date of this Resolution; and

BE IT FURTHER RESOLVED that the exemptions granted for this Project are not transferrable to any other real property; and

BE IT FURTHER RESOLVED that the final plans and specifications for the Project shall be deemed approved if those plans and specifications do not substantially deviate from the preliminary plans and outline specifications submitted to the Council, provided modifications of the general design character of the building, as approved by the Department of Planning and Permitting, assure that it does not conflict with the prevailing neighborhood character; and



**CITY COUNCIL**  
CITY AND COUNTY OF HONOLULU  
HONOLULU, HAWAII

No. 00-198, CD1

---

**RESOLUTION**

BE IT FURTHER RESOLVED that no action may be prosecuted or maintained against the City and County of Honolulu, its officials or employees, on account of actions taken by them in reviewing or approving the plans and specifications or in granting these exemptions; and

BE IT FURTHER RESOLVED that the Director of Planning and Permitting is authorized to execute the agreement substantially in the form which is marked Exhibit A which is attached to this Resolution and made a part of it pursuant to the terms, conditions and provisions approved as to form and legality by the Corporation Counsel as being necessary, advisable, or desirable for the purposes of carrying out this Resolution; and

BE IT FURTHER RESOLVED that the Director of Planning and Permitting is hereby authorized to execute any incidental or related documents to carry out the transactions, above described, as long as said documents do not increase either directly or indirectly the financial obligations of the City.

# RESOLUTION

BE IT FINALLY RESOLVED by the Council of the City and County of Honolulu that the Clerk be, and is hereby directed to transmit copies of this Resolution to Randall K. Fujiki, Director of Planning and Permitting and Alternative Structures International, Attention: Ms. Annie Walenta, 86-660 Lualualei Homestead Road, Waianae, Hawaii 96792.

INTRODUCED BY:

Jon Yoshimura (BR)  
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Councilmembers

DATE OF INTRODUCTION:

September 26, 2000

Honolulu, Hawaii

(OCS/100300/mq)

-5-

**CITY COUNCIL**  
 CITY AND COUNTY OF HONOLULU  
 HONOLULU, HAWAII

I hereby certify that the foregoing RESOLUTION was adopted by the COUNCIL OF THE CITY AND COUNTY OF HONOLULU on the date and by the vote indicated to the right.

ATTEST:

*Genevieve G. Wong*  
 GENEVIEVE G. WONG  
 City Clerk

*Jon C. Yoshimura*  
 JON C. YOSHIMURA  
 CHAIR AND PRESIDING OFFICER

Dated 10/18/00

ADOPTED MEETING HELD			
10/18/00			
	AYE	NO	A/E
BAINUM	X		
CACHOLA	X		
DeSOTO	X		
FELIX	X		
HOLMES			E
MANSHO	X		
MIRIKITANI	X		
OKINO	X		
YOSHIMURA	X		
<b>8</b>	<b>0</b>		<b>1</b>

Reference:

Report No. Z-399

**Resolution No.**

00-198  
 CD1



# Appendix C: Archaeological Inventory Survey





**ARCHAEOLOGICAL ASSESSMENT  
OF A 1.43 ACRE SECTION OF UNDEVELOPED LAND  
AND THE PROPOSED KAHUMANA COMMUNITY TRAINING KITCHEN,  
WAIANAЕ AHUPUA`A, WAIANAЕ DISTRICT,  
ISLAND OF OAHU, TMK: (1) 8-6-006:001**

Prepared by:

**Emily Johnston-O'Neill, B.A.,**

And

**Robert Spear, Ph.D.**

**Draft**

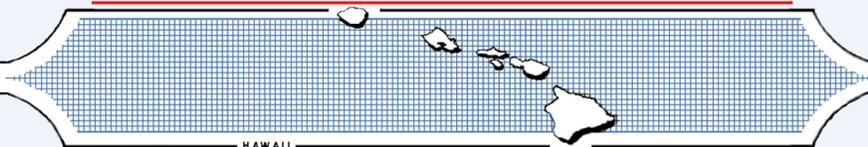
Prepared for:

**Alternative Structures International, dba Kahumana**

**86-660 Lualualei Homestead Road**

**Waianae, HI 96792**

**SCIENTIFIC CONSULTANT SERVICES Inc.**



**1347 Kapiolani Blvd., Suite 408**

**Honolulu Hawai'i 96814**

## **ABSTRACT**

At the request of Alternative Structures International, dba Kahumana, Scientific Consultant Services, Inc. conducted Archaeological Inventory Survey-level investigations of a 1.43 acre section of undeveloped land and proposed Kahumana Community Training Kitchen in Waianae Ahupua`a, Waianae District, Island of O`ahu [TMK: (1) 8-6-006:001]. The purpose of the study was to determine the presence/absence of archaeological site in the project area. No new sites were identified during the project and thus, this report is being written as an Archaeological Assessment. No further archaeological work is recommended for the project area.

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## **INTRODUCTION**

At the request of Alternative Structures International, dba Kahumana, Scientific Consultant Services, Inc. (SCS) conducted Archaeological Inventory Survey-level investigation of undeveloped land and proposed Kahumana Community Training Kitchen in Waianae, Island of O`ahu [TMK: (1) 8-6-006:001]. The project area lands are owned by Alternative Structures International, dba Kahumana. Given that no historic properties were identified during the current project, it is written herein as an Archaeological Assessment (AA).

The AA was conducted due to the potential for the presence of pre-Contact and/or Historic-era sites. During research the land parcel (1.43 acres) was subject to excavation of ten test trenches measuring 5 meters wide and approximately 1.2 meters deep.

## **PROJECT BACKGROUND AND ENVIRONMENTAL SETTING**

The project area is composed of 1.43 acres of undeveloped land including a proposed Kahumana Community Training Kitchen located north of the Ohana Ola housing complex and Kahumana Organic Farm & Cafe, and directly east of the Ohana Ola leach field of approximately 50x50 feet. Kuwale Road bounds the project area at the east. Running along the southern boundary of the project area is an existing private ditch used for irrigation. As part of the project a foot bridge will be constructed over the ditch for access from the Ohana Ola to the proposed training kitchen. The surface level of the project area has been used for several decades as a trash site for items not picked up by a dump truck, such as tires and furniture.

## **PROJECT AREA SOILS**

According to Foote et al. (1972, Sheet 36) the project area consists of Lualualei (LvA, LvB), a stony clay present at both 0-2% slope and 2-6% slope is a clay sediment on O`ahu that is adjacent to drainageways (for example if possible) with “enough stones to hinder machine cultivation.” This soil type is common for sugarcane agriculture and pastures. The Lualualei series consists of well-drained soils. (Foote et al. pg. 84, 85)

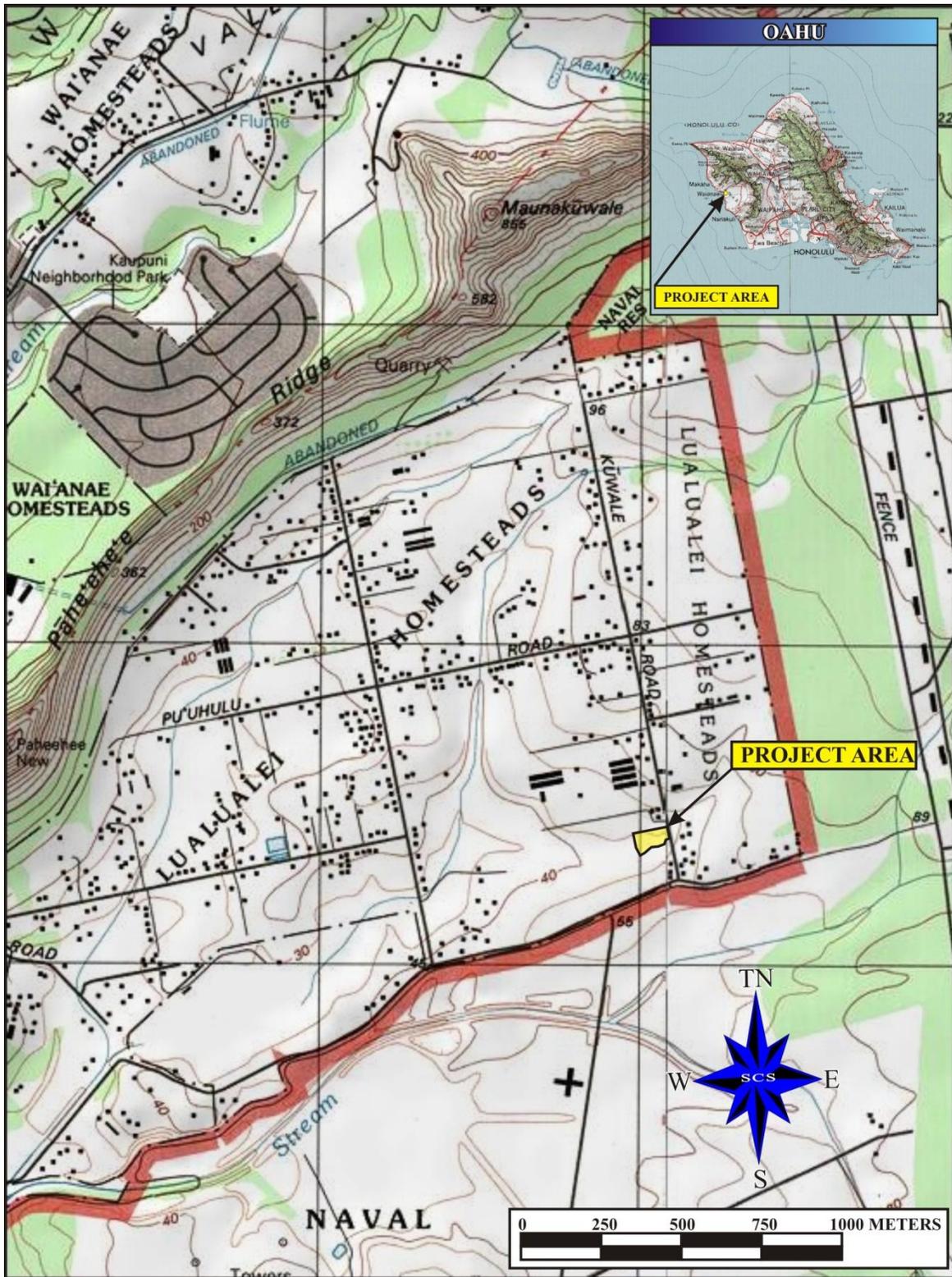
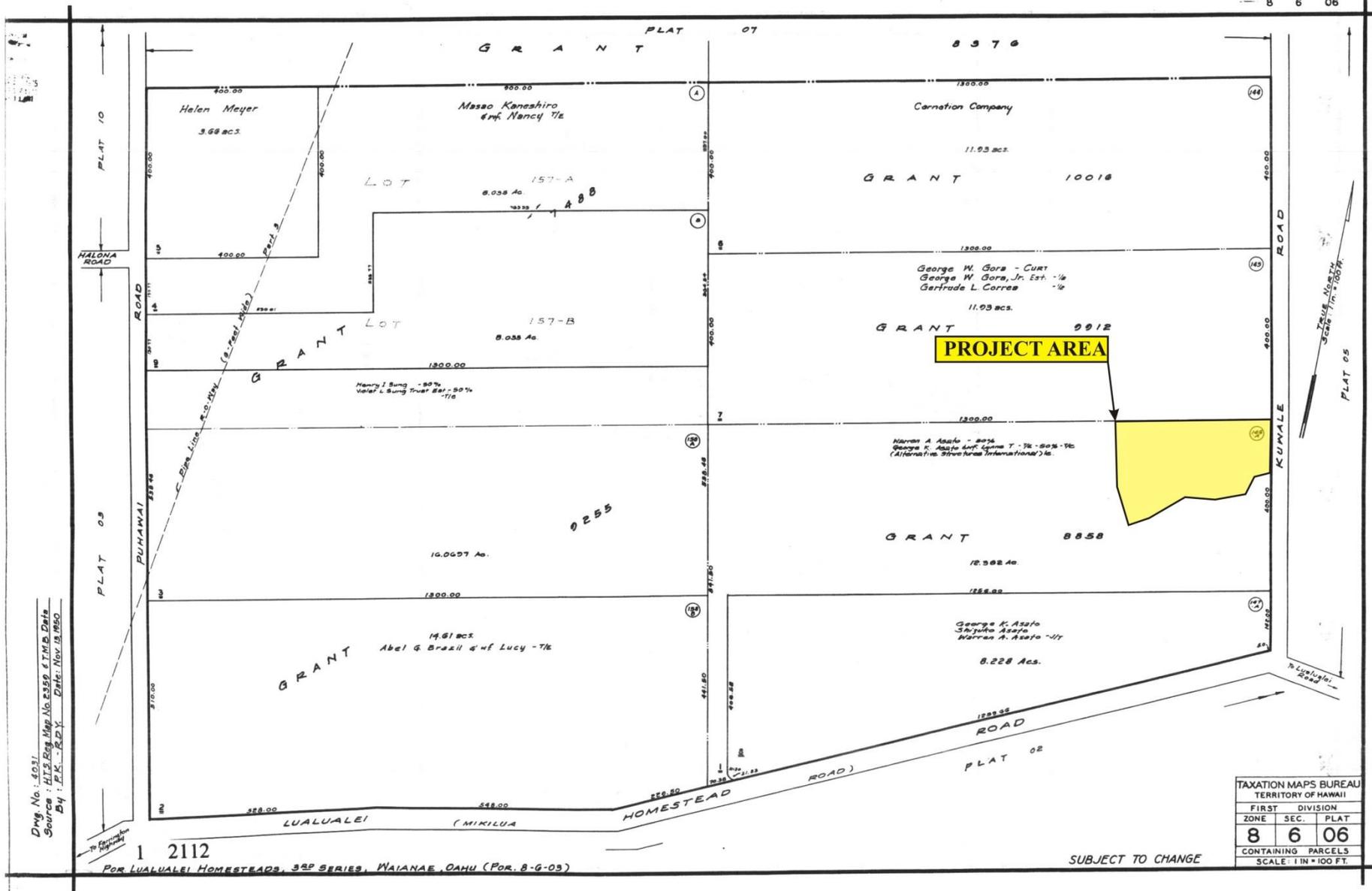


Figure 1: USGS Quadrangle Map Showing Project Area Location



TAXATION MAPS BUREAU		
TERRITORY OF HAWAII		
FIRST DIVISION		
ZONE	SEC.	PLAT
8	6	06
CONTAINING PARCELS		
SCALE: 1 IN. = 100 FT.		

Figure 2: Portion of Tax Map Key [1] 8-6-06 Showing Project Area Location



**Figure 3: Aerial Map Showing Project Area Location**

## **PROJECT AREA CLIMATE**

The mean annual rainfall for the Wai`anae area is 600mm, and is comparatively one of the driest locations on the island (Giambelluca et al., 1986). The month with the highest mean rainfall for Wai`anae is December with 100mm and months with the lowest mean rainfall for Wai`anae are June and July with only 10mm (Giambelluca et al., 1986)

## **PROJECT AREA VEGETATION**

The surface of the parcel of land in this project was covered in tall grass and *kiawe*, *Prosopis pallida* trees. It is possible that this area once was used for agricultural practices such as sugarcane plantation, but has been unused for many decades.

## **TRADITIONAL AND HISTORICAL BACKGROUND**

The District of Wai`anae, on the west coast of O`ahu, extends from Nanakuli Ahupua`a in the south to Ka`ena Point to the north. The district once included nine *ahupua`a* (traditional land divisions), including Lualualei. In ancient times, the District of Wai`anae was known for its multitude of fish and especially for deep-sea fishing done off of Ka`ena. Today, the Wai`anae Coast is still considered one of the best fishing grounds on O`ahu.

## **TRADITIONAL SETTING**

The generally accepted paradigm of Hawaiian settlement is that the earliest settlements were located in the wet, windward regions. As population pressure increased or politics changed, populations began to branch out into leeward, less hospitable regions of Hawai`i, adapting their cultivation strategies as they moved into dryer climates (Cordy 2002). According to Kirch's (1985) Hawaiian Settlement Model, the Wai`anae area was settled during the Expansion Period (A.D. 1100–1650) during which time O`ahu's population was growing faster than any other period of Hawaiian prehistory. Prior to the Expansion Period, Wai`anae District, including Lualualei, was likely visited by travelers and its rich offshore fisheries may have attracted seasonal fishermen (*ibid.*).

Wai`anae likely gets its name from a large freshwater fishpond west of Wai`anae Stream. Mullet were grown in this pond, thus the name *wai* (water) `anae (mullet) (Handy and Handy 1972:463). The region is renowned for its fruitful deep sea fisheries, especially in the waters off

Ka`ena Point. Wai`anae's fisheries are noted in Hawaiian legend. Chief Kawelo distinguished himself as an able fisherman in these waters (*ibid.*; Sterling and Summers 1978). Handy and Handy (1972) also explain that it is here, at Ka`ena Point that the demigod Maui is said to have cast his line and attempted to pull Kaua`i toward O`ahu, creating a single island of the two. When he felt he had hooked Kaua`i firmly, he gave a mighty tug and pulled up an enormous boulder from the sea floor. This rock is known today as Pohaku o Kaua`i. The hook flew from its line and was lost in Pālolo Valley (Emerson in Sterling and Summers 1978).

Wai`anae District's landscape is daunting, but its earliest coastal settlements were prosperous. In an early Historic description of the area, Vancouver writes, "From the commencement of the high land to the westward of Opooroah (Puuloa) was...one barren rocky waste, nearly destitute of verdure, cultivation or inhabitants..." (in Sterling and Summers 1978:67-68). Vancouver's ship passed Wai`anae by, but if it had landed, these voyagers would have discovered that Wai`anae was not as desolate as it appeared from a distance. Upland crops, including taro (*kalo*), gourds (*ipu manalo*) and sweet potato (*uala*) were grown in the uplands of Wai`anae Valley, Mākaha Valley, and Lualualei Valley (Handy and Handy 1972). Wet taro cultivation occurred extensively on the low valley slopes and the upper flatlands of these valleys, where water was plentiful (Handy 1940). Today, evidence of terracing can still be seen in the upper reaches of these valleys, but historic sugarcane cultivation obscured terrace remnants in the Wai`anae Valley bottom. Fishing villages, particularly around Pōka`ī Bay produced the necessary dietary protein; however, the landscape in the lower valley was adverse to plant cultivation. Therefore, trade between the upper and lower valley was piqued in this inhospitable portion of western O`ahu.

Wai`anae District society was punctuated by a distinct need to trade and share resources. This reliance on trade defined the culture in Wai`anae, perhaps to a greater extent than in other regions of O`ahu. The people of Nānākuli, for example, are said to have pretended to be deaf and dumb to passers-by, as they had no fresh water to offer travelers (McGrath *et al.* 1973: 10). This, according to Pukui *et al.* (1974) is why this place is called Nānākuli, "looking at the knees." Resource availability, or lack thereof, undoubtedly had a great impact on Wai`anae society.

Wai`anae District has a special place in Hawaiian legend. Stories of kings and gods in this area abound. McGrath *et al.* describes the legend of Mt. Ka`ala, the highest mountain peak of O`ahu, and the most *mauka* point of Wai`anae Valley: "The most sacred spot on the coast was mount Kaala (*sic*), at the head of Makaha and Wai`anae (*sic*) Valleys.... Ancient kahunas spoke of Mount Kaala as being clothed in the golden cloak of Kane, the first deity of the Hawaiian

pantheon. Kaala was the guardian of the road to the west, the path of the sun, the resting place on the great road to death where spirits of the dead return to their homeland”, (1973: 11). On the opposite end of the Wai`anae Range, Ka`ena Point is the legendary “Soul’s Leap” where the souls of the dead departed the earth (Kamakau in Sterling and Summers 1978).

King Kamehameha I is said to have failed in his attempt to take over Kaua`i because he did not give homage to the Wai`anae gods. Kamakau states, “The fleet went (first) to Wai`anae and the war god (Kūkā`ilimoku) was carried ashore that evening” (in McGrath *et al.* 1973). McGrath continues, saying that Kamehameha rededicated two *heiaus* to his war god, giving no homage to the war god of Wai`anae. As a result, the Wai`anae gods sent a storm to stop Kamehameha’s war canoes from reaching Kaua`i, preventing Kamehameha from taking Kaua`i by force (*ibid*: 14).

One legend describes the origins of *niu* (coconut palm) in the Hawaiian Islands as well as the naming of Pōka`i Bay:

“In very ancient times, when the great Hawaiian chiefs and navigators sailed across the vast Pacific between Hawai`i and Kahiki, a legend arose about a voyaging chief named Pōka`i. It said that he brought and planted at Wai`anae the first coconut tree in Hawai`i, from which grew in time a famous grove, Ka Ulu Niu o Pōka`i. The grove stretched from the site of the present police station to that of the Sacred Hearts Church...the bay *makai* of the grove, formerly known as Mā`alaea, eventually took the name of the legendary planter” (Clark 1977: 87).

The spiritual and cultural significance of the region is evident based on the high number of *heiau* in Wai`anae District, both along the coast and inland. McAllister (1933) names nine *heiau* in Wai`anae Valley alone: Pu`up ahe`ehe`e (Site 152), Kuilioloa (Site 153), Keopuni (Site 155) Kahoali`i (Site 156), Malaihakoa (Site 157), Kikahi (Site 158), Kalamaluna (Site 159), Kane (Site 160), Kamaile (Site 161), and Punana`ula (Site 161). Some of these *heiau* have been destroyed, while some are partially or fully intact. Kuilioloa Heiau is particularly interesting, as this is the only known *heiau* on O`ahu to be surrounded by water on three sides. It rests on Kane`ilio Point at the eastern extremity of Pōka`i Bay.

Lualualei Valley was important during prehistoric times, as evidenced by the many named `ili across the valley landscape, these locales especially prosperous for growing seasonal crops in the back of the valley where water resources were more plentiful (Kelly in Haun *et al.* 1991:343). In mid-valley reaches, pili grass was acquired and used for housing thatch, while lower valley areas were successfully utilized for salt mining and marine resource acquisition

(*ibid.*). As noted below, a diversity of site types were present in the valley, the sites reflecting soil and water resources available (or not) in each zone.

There are two traditional meanings given to the name Lualualei. One meaning, “flexible wreath”, is attributed to a battle formation used by Mā`ilikūkahi against four invading armies in the battle of Kīpapa in the early 15<sup>th</sup> century (Sterling and Summers 1978:68). A second and perhaps more recent meaning, offered by John Papa `Ī`ī (1959), is “beloved one spared”. This meaning relates to a story of a relative who was suspected of wearing the king’s *malo* (loincloth). The punishment was death by fire. `Ī`ī writes:

Near the end of that year, it was suspected that the son of Papa, named Kalakua, had worn the loin cloth of the king. Kalakua fetched and carried the king’s possessions, such as his kahili, mat, or spittoon wherever he went in the court or any place.... In going together constantly the loin cloths they wore had similar pattern. When they returned to the king’s house, Kalakua was taken at once and kept in solitude.

At the same time the king, chiefs and members of the court left Honolulu and sailed by canoe to Wai`anae. The heir of the kingdom went overland with Papa and others...and spent the night at Kumelewai in Ewa...

The coming of this retinue was announced in Wai`anae and it was told that the family, parents and children included, would be set on fire for the wrong committed by Kalakua.... Only one committed the deed but the whole family was held guilty.

The company, somewhat in the nature of prisoners spent a night at Lualualei. There was a fish pond there on the plain and that was there the night was spent. ....After several days had passed, the proclamation from the king was given by Kula`inamoku, that there was no death and that Kalakua did not wear the king’s loin cloth. Thus was the family of Lulukū spared a cruel death. For that reason, a child born in the family later named Lualualei. (`Ī`ī 1959:23).

Mary Pukui believed the first meaning, “flexible wreath” to be the more appropriate one for Lualualei (Sterling and Summers 1978:63). According to Kelley (1991:317), the fish pond on the plain is Puehu fish pond, which is actually located just over the border in Wai`anae. The fish pond no longer exists today and was probably destroyed during the sugar plantation era. Perhaps a third association to the name Lualualei is an older reference to one of Māui’s sister, who went by the same name.

Numerous Hawaiian legends, in addition to archaeological evidence, reveal the Wai`anae coast and *mauka* (towards the mountains) interior to be an important center of Hawaiian history. It is here, in Wai`anae, that the famous exploits of Māuiakalana (Māui) are said to have originated. Traditional accounts of Lualualei focus on the mischievous adventures of the demi-

god Māui. It was here that Māui learned the secret of making fire for mankind and perfected his fishing skills. Other famous accounts tell of the place where Māui's adzes were made, of the magic fishhook, Mānaiakalani and the snare for catching the sun, and of his kite-flying expedition. Pu`u Heleakalā is the ridge that separates Nānākuli from Lualualei. It was at Pu`u Heleakalā where Hina, Māui's mother, lived in a cave and made her *kappa* (bark cloth) (Sterling and Summers 1978:62).

Samuel Kamakau tells us that Maui's genealogy can be traced from the 'Ulu line thru Nana`ie:

Wawena lived with Hina-mahuia, and Akalana, a male, was born; Akalana lived with Hina-kawea, and Maui-mua, Maui-weana, Maui-ki`iki`i, and Maui-akalana, all males, were born.

Ulehawa and Kaolae, on the south side of Wai`anae, O`ahu, was their birthplace. There may be seen the things left by Maui-akalana and other famous things: the tapa-beating cave of Hina, the fishhook called Manai-a-kalani, the snare for catching the sun, and the places where Maui's adzes were made and where he did his deeds. However, Maui-akalana went to Kahiki after birth of his children in Hawai`i. (Kamakau 1991:135)

It was from atop Pōhākea summit in Wai`anae that Hi`iaka (the patron goddess of hula and Pele's younger sister) saw the fire and smoke clouds of her beloved `ōhi`a lehua groves on Hawai`i burned by Pele in a jealous rage. Pele, convinced that Hi`iaka had betrayed her trust and stolen her lover Lohi`au, sent a flood of lava through Hi`iaka's hula-dancing forest, entombing her dear friend Hōpoe in lava in the process. Hi`iaka, determined to avenge Pele's act of volcanic wrath, put temptation before Lohi`au in the form of the young woman Wahine-oma`o. From her perch on Pōhākea, she watched the two sail off together in a canoe and sang a *mele* (song, chant) that also mentions the "plains of Lualualei".

### **POST-CONTACT HISTORY**

By the time of Contact, Wai`anae Valley was the political and social center of the moku (district) of Wai`anae. However, Lualualei Valley was also occupied, as was Mākaha Valley to the north. Like Lualualei Valley, settlements were concentrated in the lower slopes of Wai`anae Valley, where some water was available for wet taro cultivation and adjacent to Pōka`i Bay, where access to the ocean and the rich marine resources were gained.

Slightly earlier, this region became the center for sweeping political changes in the late pre-Contact and early Historic Periods. Pu`u Kawiwi, at the rear of Wai`anae Valley, was the scene of the last stand of Maui Chief Kahekili against the O`ahu warriors. In this last battle of 1784, Kahekili overthrew the O`ahu chiefs, becoming ruling chief of the island. Ten years later, after Kahekili's death, a power struggle ensued between his son and his brother (Kuykendall

1938). Wai`anae warriors sided with Kaeo, and they lost the deciding battle at `Aiea. A Wai`anae kahuna (priest) prophesied the coming of a “big fish” who “would eat all the little fish.” The following year, Kamehameha invaded O`ahu.

Following Kamehameha’s succession as ruling chief, “the despoiled people in large numbers fled to Wai`anae District and settled there. This part of O`ahu being hot, arid, isolated, with little water, was not coveted by the invaders” (Mouritz in Sterling and Summers 1978). The status Wai`anae once carried as a ruling center was now gone.

Kamehameha I monopolized the natural resources of his islands, often using them in great quantity for his own personal interests. Kuykendall (1938) tells the story in which Kamehameha learned the value of conservation during a deal with a Boston ship in 1817. He purchased the *Columbia* in exchange for two ship-loads of sandalwood. In an effort to pay for the deal, Kamehameha ordered the chiefs of several *moku*, including Wai`anae, to cut sandalwood. Soon the island chain was starving because the people were neglecting their taro patches. Kamehameha, seeing his mistake, then ordered his people to farm (Kamakau in Kuykendall 1938). Thereafter, Kamehameha managed the island’s resources more carefully.

Christian missionaries were quick to establish parishes throughout O`ahu following their arrival in 1820. However, it wasn’t until the 1840s that these missionaries began licensing natives to preach, and even longer before native ministers were ordained. David Malo and Blind Bartemeous (Pua`aiki) were the first ordained Hawaiian ministers. Ordained in 1850, Stephen Waimalu became the first Hawaiian minister of Wai`anae District (Kuykendall 1938).

Sugar cultivation began in 1878 with a small operation owned by Hermann Widemann and Julius Richardson. Two years later, George and Albert Wilcox purchased and chartered the Wai`anae Sugar Company (Condè and Best 1973). Sugar in Wai`anae, like other operations throughout O`ahu, was limited by a lack of arable land and available water resources. This adversity was punctuated in the Wai`anae, Lualualei, and Mākaha Valleys, where water tunnels were eventually constructed to provide irrigation to the plantations. Despite this challenge, Wai`anae Sugar Company was among the most efficient sugar plantations in Hawai`i. At its peak, the plantation produced 13.79 tons of sugar per acre in 1935 (Dorrance and Morgan 2000: 43-44). High yields did not make up for a lack of growing room. The plantation was closed in 1946.

During the Māhele, traditional land tenure was abrogated in favor of western ownership principals. The Hawaiian Monarchy gave portions of land to natives who could prove that they actively cultivated land segments. These land awards were given in the form of Land Commission Awards (LCAs). LCAs and Land Grants (lands that were made available for purchase) abound in Wai`anae District.

### **METHODOLOGY**

Archaeological fieldwork was conducted on 4/26/2016 by SCS Archaeologist Emily Johnston-O’Neill, B.A., and Alex Hazlett, Ph.D., under the direct supervision of Robert Spear, Ph.D., Principal Investigator. Test trenches were spread fairly evenly and equidistant over the project area to create an average estimate for archaeological findings for the area as a whole. Test trenches were 5 meters long, approximately 60 centimeters wide, and 1.2 meters deep. Trenching was performed mechanically with a backhoe by Kahumana staff while being supervised by SCS archaeologists. SCS archaeologists documented completed excavation test trenches, taking photographs and recording stratigraphy. Soil stratigraphy was documented by profile illustrations drawn on metric graph paper and United States Department of Agriculture (USDA) Munsell soil color charts. Mapping was accomplished by means of metric tape measure and compass bearings obtained in the magnetic north declination. A handheld Global Positioning System was used to plot feature locations, within approximate three meter accuracy.

### **LABORATORY METHODOLOGY AND CURATION**

Given the lack of findings during the project, laboratory work focused on organizing and cataloging all project area photographs, drafting maps, and reporting. All field notes and digital photographs are being curated at the SCS laboratory in Honolulu.

### **FIELDWORK RESULTS**

Archaeological Inventory Survey-level investigation of 1.43 acres of undeveloped land and the proposed Kahumana Community Training Kitchen in Waianae, Island of O`ahu [TMK: (1) 8-6-006:001], did not lead to the identification of any significant historic properties. No Traditional or historic-period cultural deposits, artifacts, or midden were identified during the project. Figures 4 through 23 provide overviews of the project area and profiles of the test trenches excavated.



Figure 4: Project Area Map with Test Trench Locations

## **ST-1**

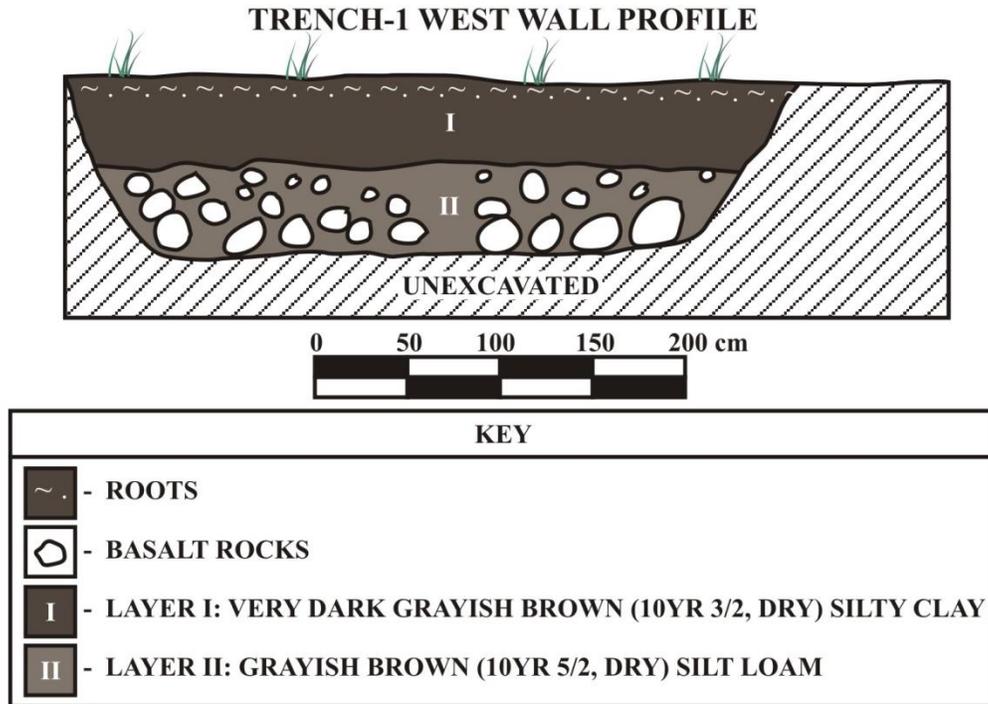
This trench was excavated at the east end of the project area, and to the west of ST-6 on a north-east/south-west axis. The trench measured 5.0m long, 0.7m wide, and was excavated to a maximum depth of 1.2mbs (meters below surface). Two stratums were identified in the Trench (Figure 6). The GPS location of the trench was 588050 e; 2371422 n (UTM +/- 3m accuracy), of which the point was taken from the north-east of the trench. No cultural layer or cultural materials were exposed during excavation.

Layer I (0-60cmbs): very dark greyish brown (10YR 3/2), silty clay, blocky shape, very coarse of 2-5cm size, moderate grade, slightly hard, slightly plastic, top 10cm 10% 0.5-2cm wide roots, gradual, slightly wavy boundary

Layer II (60-120cmbs): grayish brown (10 YR 5/2), silt loam, prismatic shape, medium size of 1-2cm, weak grade, loose, slightly plastic, 60-70% of volume comprised of waterworn basalt 2-30cm in diameter, unknown lower boundary (base of excavation)



**Figure 5: North-West Wall Profile of Trench 1**



**Figure 6: West Wall Profile Trench 1**

## **ST-2**

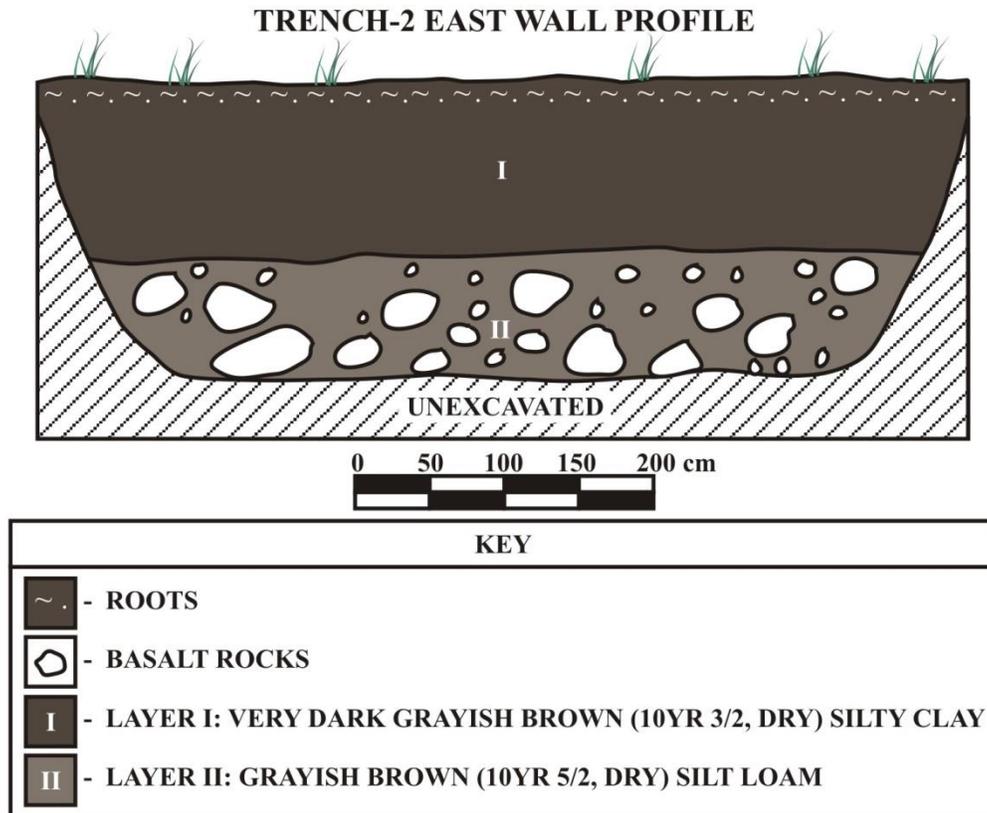
This trench was excavated at the east end of the project area, and to the west of ST-1 on a north/south axis. The trench measured 5.0m long, 0.7m wide, and was excavated to a maximum depth of 1.3mbs. Two stratums were identified in the Trench (Figure 8). The GPS location of the trench was 588032 e; 2371423 n (UTM +/- 3m accuracy), of which the point was taken from the north of the trench. No cultural layer or cultural materials were exposed during excavation.

Layer I (0-85cmbs): very dark greyish brown (10YR 3/2), silty clay, blocky shape, very coarse of 2-5cm size, moderate grade, slightly hard, slightly plastic, top 10cm 10% 0.5-2cm wide roots, gradual, slightly wavy boundary

Layer II (85-130cmbs): grayish brown (10 YR 5/2), silt loam, prismatic shape, medium size of 1-2cm, weak grade, loose, slightly plastic, 60-70% of volume comprised of waterworn basalt 2-30cm in diameter, unknown lower boundary (base of excavation)



**Figure 7: West Wall Profile of Trench 2**



**Figure 8: East Wall Profile of Trench 2**

**ST-3**

This trench was excavated at the west end of the project area, to the east of ST-4, and to the south of ST-9 on a north/south axis. The trench measured 5.0m long, 0.6m wide, and was excavated to a maximum depth of 1.0mbs. Two stratum were identified in the Trench (Figure 10). The GPS location of the trench was 588000 e; 2371401 n (UTM +/- 3m accuracy), of which the point was taken from the north of the trench. No cultural layer or cultural materials were exposed during excavation.

Layer I (0-58cmbs): very dark greyish brown (10YR 3/2), silty clay, blocky shape, very coarse of 2-5cm size, moderate grade, slightly hard, slightly plastic, top 10cm 10% 0.5-2cm wide roots, gradual, slightly wavy boundary

Layer II (58-100cmbs): grayish brown (10 YR 5/2), silt loam, prismatic shape, medium size of 1-2cm, weak grade, loose, slightly plastic, 60-70% of volume comprised of waterworn basalt 2-30cm in diameter, unknown lower boundary (base of excavation)



**Figure 9: East Wall Profile of Trench 3**

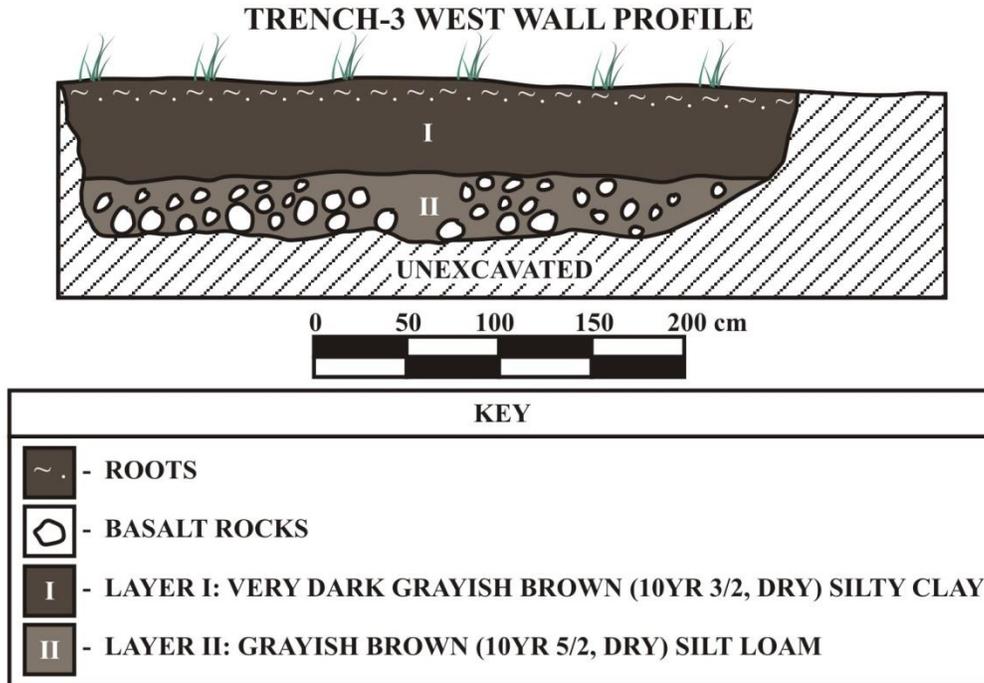


Figure 10: West Wall Profile of Trench 3

#### ST-4

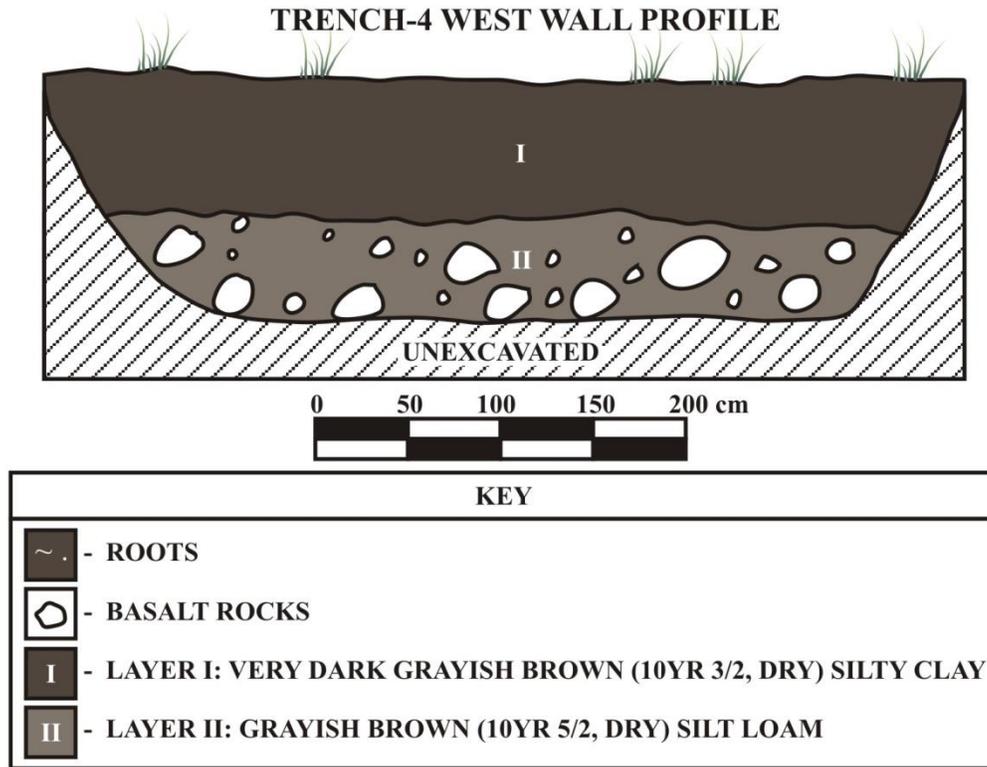
This trench was excavated at the west end of the project area, on a north/south axis. The trench measured 5.0m long, 0.65m wide, and was excavated to a maximum depth of 1.1mbs. Two stratums were identified in the Trench (Figure 12). The GPS location of the trench was 587982 e; 2371391 n (UTM +/- 3m accuracy), of which the point was taken from the north of the trench. No cultural layer or cultural materials were exposed during excavation.

Layer I (0-65cmbs): very dark greyish brown (10YR 3/2), silty clay, blocky shape, very coarse of 2-5cm size, moderate grade, slightly hard, slightly plastic, top 10cm 10% 0.5-2cm wide roots, gradual, slightly wavy boundary

Layer II (65-110cmbs): grayish brown (10 YR 5/2), silt loam, prismatic shape, medium size of 1-2cm, weak grade, loose, slightly plastic, 60-70% of volume comprised of waterworn basalt 2-30cm in diameter, unknown lower boundary (base of excavation)



**Figure 11: West Wall Profile of Trench 4**



**Figure 12: West Wall Profile of Trench 4**

### **ST-5**

This trench was excavated at the west end of the project area, and to the south of ST-4 on an east/west axis. The trench measured 5.0m long, 0.5m wide, and was excavated to a maximum depth of 1.15mbs. Two stratum were identified in the Trench (Figure 14). The GPS location of the trench was 587995 e; 2371380 n (UTM +/- 3m accuracy), of which the point was taken from the west of the trench. No cultural layer or cultural materials were exposed during excavation.

Layer I (0-50cmbs): very dark greyish brown (10YR 3/2), silty clay, blocky shape, very coarse of 2-5cm size, moderate grade, slightly hard, slightly plastic, top 10cm 10% 0.5-2cm wide roots, gradual, slightly wavy boundary

Layer II (50-115cmbs): grayish brown (10 YR 5/2), silt loam, prismatic shape, medium size of 1-2cm, weak grade, loose, slightly plastic, 60-70% of volume comprised of waterworn basalt 2-30cm in diameter, unknown lower boundary (base of excavation)



**Figure 13: North Wall Profile of Trench 5**

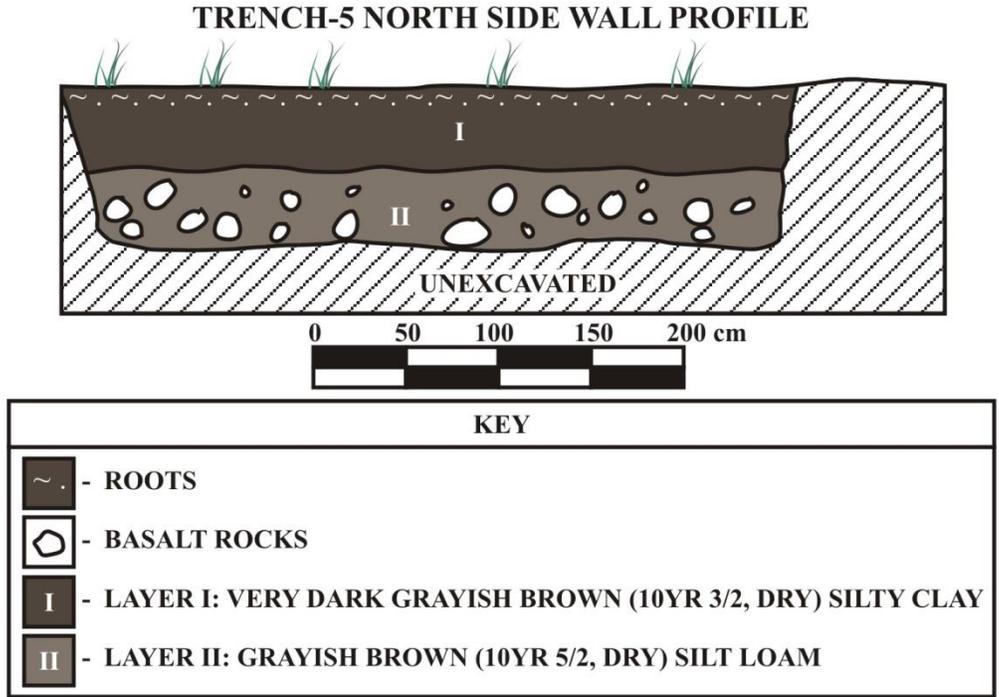


Figure 14: North Wall Profile of Trench 5

### ST-6

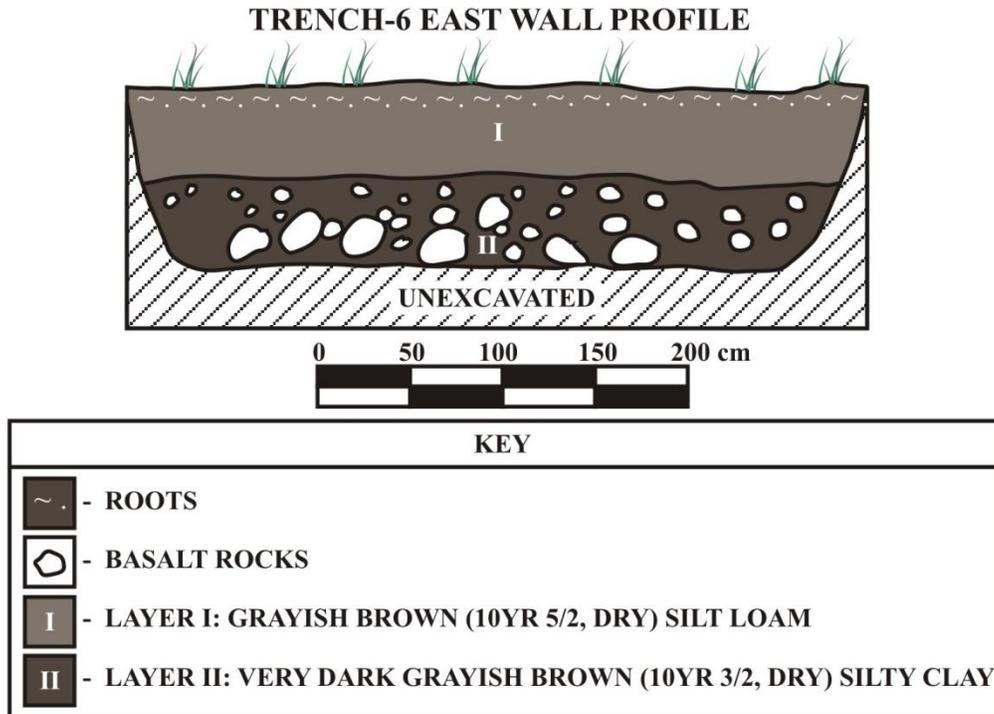
This trench was excavated at the east end of the project area, on a north/south axis. The trench measured 5.0m long, 0.7m wide, and was excavated to a maximum depth of 1.2mbs. Two stratums were identified in the Trench (Figure 16). The GPS location of the trench was 588066 e; 2371417 n (UTM +/- 3m accuracy), of which the point was taken from the north of the trench. No cultural layer or cultural materials were exposed during excavation.

Layer I (0-60cmbs): very dark greyish brown (10YR 3/2), silty clay, blocky shape, very coarse of 2-5cm size, moderate grade, slightly hard, slightly plastic, top 10cm 10% 0.5-2cm wide roots, gradual, slightly wavy boundary

Layer II (60-120cmbs): grayish brown (10 YR 5/2), silt loam, prismatic shape, medium size of 1-2cm, weak grade, loose, slightly plastic, 60-70% of volume comprised of waterworn basalt 2-30cm in diameter, unknown lower boundary (base of excavation)



Figure 15: East Wall Profile of Trench 6

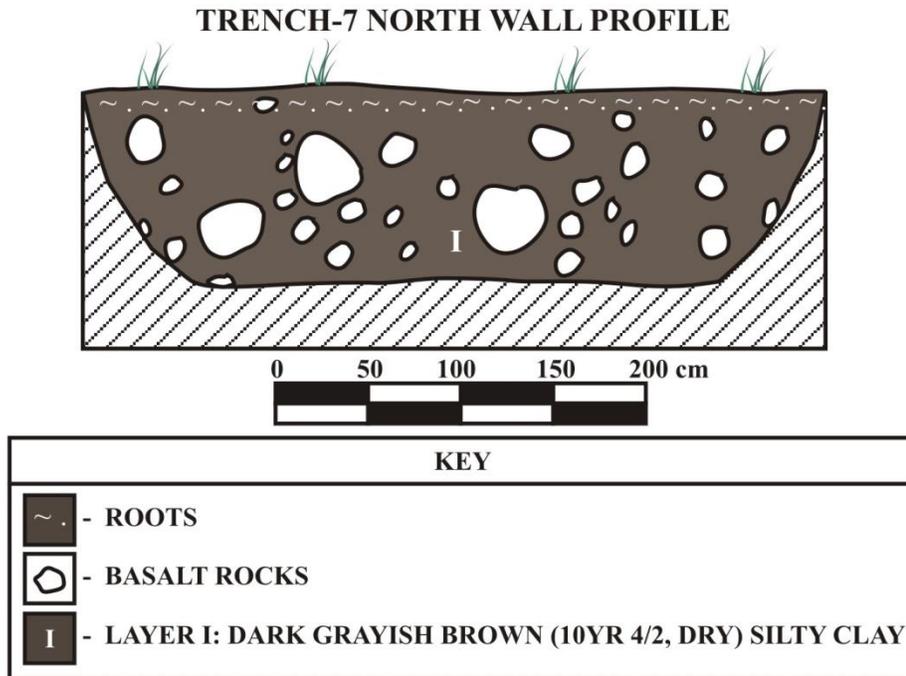


**Figure 16: East Wall Profile of Trench 6**

### **ST-7**

This trench was excavated at the south/east end of the project area, directly south of the existing private ditch on an east/west axis. The trench measured 5.0m long, 0.7m wide, and was excavated to a maximum depth of 1.25mbs. One stratum was identified in the Trench (Figure 17). The GPS location of the trench was 588065 e; 2371386 n (UTM +/- 3m accuracy), of which the point was taken from the west of the trench. No cultural layer or cultural materials were exposed during excavation.

Layer I (0-125cmbs): dark greyish brown (10YR 4/2), silty clay, blocky shape, very coarse of 2-5cm size, weak grade, slightly hard, slightly plastic, top 10cm 10% 0.5-2cm wide roots, 60-70% of volume comprised of waterworn basalt 2-35cm in diameter, unknown lower boundary (base of excavation)



**Figure 17: North Wall Profile of Trench 7**

## **ST-8**

This trench was excavated at the east end of the project area, to the west of ST-2 and to the south-east of ST-9 on a north/south axis. The trench measured 5.0m long, 0.65m wide, and was excavated to a maximum depth of 1.25mbs. Two stratums were identified in the Trench (Figure 19). The GPS location of the trench was 588025 e; 2371422 n (UTM +/- 3m accuracy), of which the point was taken from the north of the trench. No cultural layer or cultural materials were exposed during excavation.

Layer I (0-82cmbs): very dark greyish brown (10YR 3/2), silty clay, blocky shape, very coarse of 2-5cm size, moderate grade, slightly hard, slightly plastic, top 10cm 10% 0.5-2cm wide roots, gradual, slightly wavy boundary

Layer II (82-125cmbs): grayish brown (10 YR 5/2), silt loam, prismatic shape, medium size of 1-2cm, weak grade, loose, slightly plastic, 60-70% of volume comprised of waterworn basalt 2-30cm in diameter, unknown lower boundary (base of excavation)



**Figure 18: East Wall Profile of Trench 8**

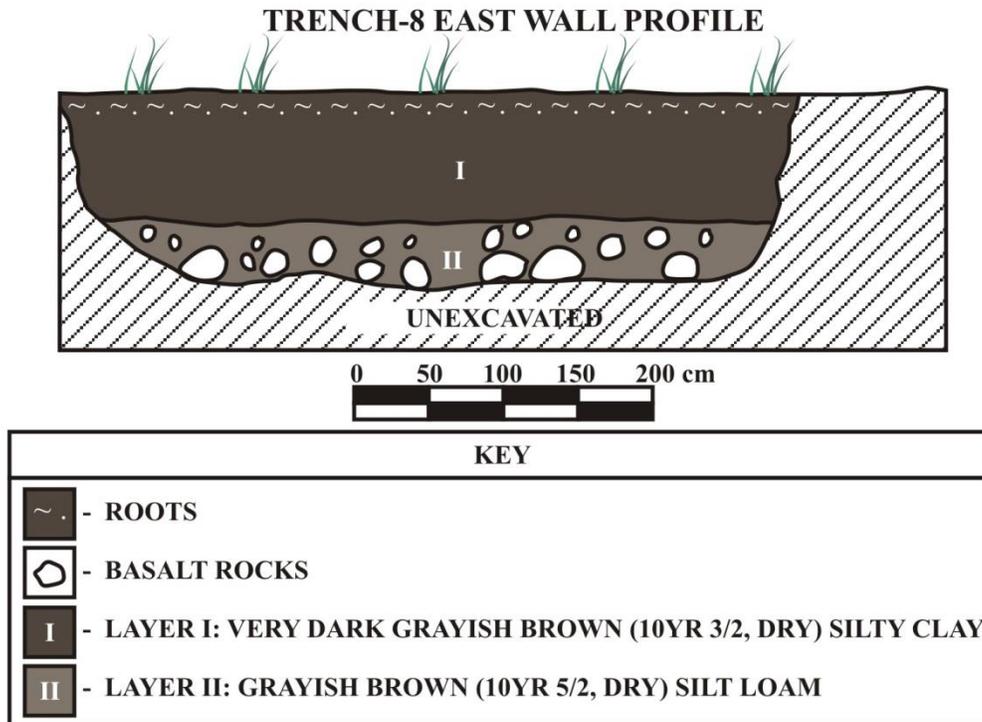


Figure 19: East Wall Profile of Trench 8

## ST-9

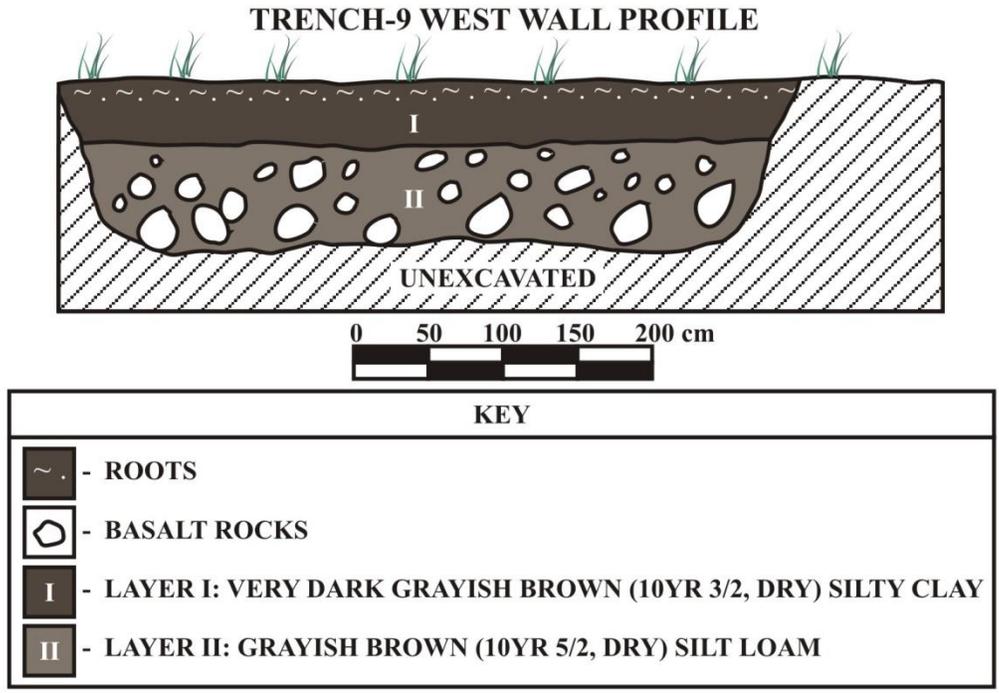
This trench was excavated at the west end of the project area, and to the east of ST-10 on a north/south axis. The trench measured 5.0m long, 0.6m wide, and was excavated to a maximum depth of 1.10mbs. Two stratum were identified in the Trench (Figure 21). The GPS location of the trench was 588010 e; 2371410 n (UTM +/- 3m accuracy), of which the point was taken from the north of the trench. No cultural layer or cultural materials were exposed during excavation.

Layer I (0-40cmbs): very dark greyish brown (10YR 3/2), silty clay, blocky shape, very coarse of 2-5cm size, moderate grade, slightly hard, slightly plastic, top 10cm 10% 0.5-2cm wide roots, gradual, slightly wavy boundary

Layer II (40-110cmbs): grayish brown (10 YR 5/2), silt loam, prismatic shape, medium size of 1-2cm, weak grade, loose, slightly plastic, 60-70% of volume comprised of waterworn basalt 2-30cm in diameter, unknown lower boundary (base of excavation)



**Figure 20: West Wall Profile of Trench 9**



**Figure 21: West Wall Profile of Trench 9**

**ST-10**

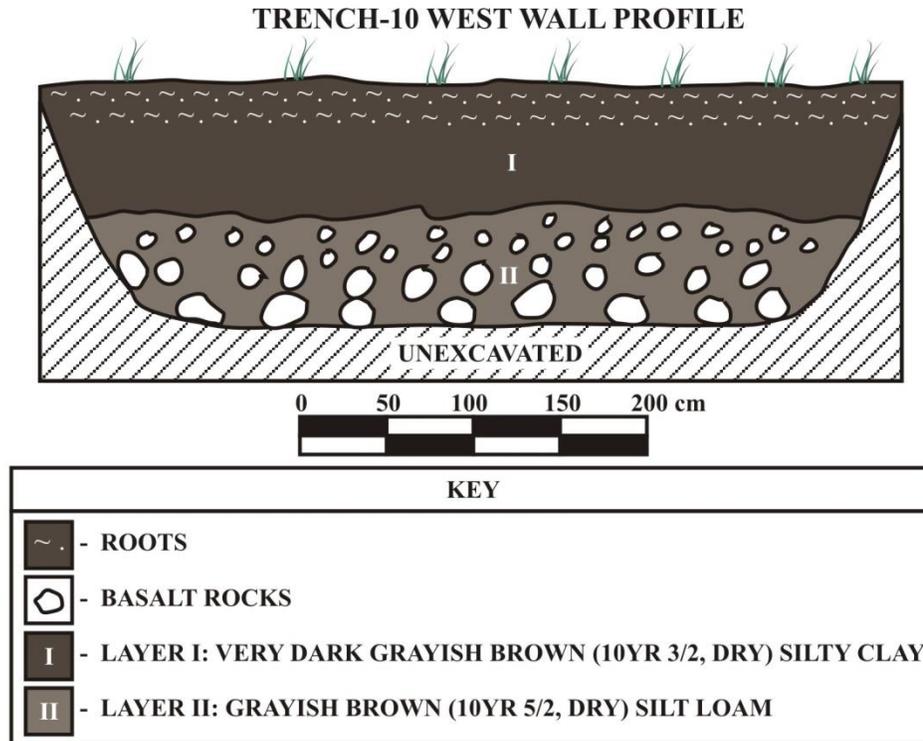
This trench was excavated at the east end of the project area, and to the west of ST-9 on a north-east/south-west axis. The trench measured 5.0m long, 0.65m wide, and was excavated to a maximum depth of 1.3mbs. Two stratums were identified in the Trench (Figure 23). The GPS location of the trench was 587983 e; 237139 n (UTM +/- 3m accuracy), of which the point was taken from the north-east of the trench. No cultural layer or cultural materials were exposed during excavation.

Layer I (0-68cmbs): very dark greyish brown (10YR 3/2), silty clay, blocky shape, very coarse of 2-5cm size, moderate grade, slightly hard, slightly plastic, top 10cm 10% 0.5-2cm wide roots, gradual, slightly wavy boundary

Layer II (68-105cmbs): grayish brown (10 YR 5/2), silt loam, prismatic shape, medium size of 1-2cm, weak grade, loose, slightly plastic, 60-70% of volume comprised of waterworn basalt 2-30cm in diameter, unknown lower boundary (base of excavation)



**Figure 22: West Wall Profile of Trench 10**



**Figure 23: West Wall Profile of Trench 10**

### **DISCUSSION AND RECOMMENDATIONS**

Archaeological Inventory Survey-level investigations were conducted within the 1.43 acres and the proposed Kahumana Community Training Kitchen. No historic properties were identified during the study. During subsurface test trenching only sterile soil was exposed. While on occasion historic properties are indeed identified on lands that were formerly utilized in an agricultural capacity, the current project area contained no such properties.

Given the results of the current survey, and the low potential for any significant sites in the project area, no further archaeological work is recommended.

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# Appendix D: Historic and Cultural Consultation Materials

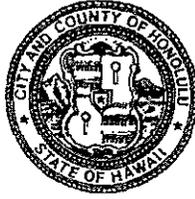




DEPARTMENT OF COMMUNITY SERVICES  
CITY AND COUNTY OF HONOLULU

715 SOUTH KING STREET, SUITE 311 • HONOLULU, HAWAII 96813 • AREA CODE 808 • PHONE: 768-7762 • FAX: 768-7792

KIRK CALDWELL  
MAYOR



GARY K. NAKATA  
DIRECTOR

BARBARA YAMASHITA  
DEPUTY DIRECTOR

April 6, 2016

Dear: Native Hawaiian Organization Participant:

**SUBJECT:** Initiation of Consultation Pursuant to National Historic Preservation Act Section 106 and Section 6E-8 Hawai'i Revised Statutes for a Community Training Kitchen at Ohana Ola 'O Kahumana  
86-433 Kuwale Road, Wai'anae, O'ahu, TMK: 8-6-006:001

The City and County of Honolulu (City) invites you to contribute feedback on the undertaking described below, pursuant to Section 106 of National Historic Preservation Act (NHPA) and State of Hawai'i historic preservation law (Hawai'i Revised Statutes, Chapter 6E-8). The undertaking is proposed by Alternative Structures International, doing business as Kahumana. The City is initiating this consultation because federal funds, for which the City is the responsible entity, may be sought by Kahumana to fund a portion of the undertaking.

The purpose of Section 106 is to take into account the effect that federal agency actions (including use of federal funds) may have on historic properties within the area of potential effect. The purpose of Chapter 6E-8 is to conserve and develop the historic and cultural property within the State for the public good.

You are receiving this letter because either you are a Native Hawaiian Organization (NHO) currently listed with the Office of Native Hawaiian Relations, or because you are a non-listed NHO but may wish to be involved based on your area of interest.

**Project Description:**

**Name of Project:** Community Training Kitchen at Ohana Ola 'O Kahumana

**Location:** 86-433 Kuwale Road

**Island:** O'ahu

**District:** Wai'anae

**Tax Map Key:** 8-6-006:001

**Proposed Undertaking:**

The project location is TMK: 8-6-006:001, an approximately 12.5 acre parcel of land that is currently developed with transitional housing, is operated by Alternative Structures International called Ohana Ola 'O Kahumana. The kitchen is needed to maintain and expand Kahumana's vocational training program for homeless, extremely low-income, and developmentally disabled residents, while maintaining and increasing Kahumana's meal preparation for underprivileged children. The proposed development is expected to include a 7,000 - 9,000 square foot kitchen facility that is anticipated to house a central kitchen for a vocational training and meal preparation program, community incubator kitchen facilities, associated parking and loading areas, and a new driveway access on Kuwale Road.

**Area of Potential Effect (APE):**

The APE is the portion of the parcel where construction of the kitchen, parking area, and wastewater disposal will occur. Construction staging will take place within this footprint. Please see enclosed map.

**Identified Historic Properties:**

The City is not aware of any historic properties within the APE; however, an archeological inventory survey will be conducted to further investigate the site. Based on your knowledge, your NHO is encouraged to comment on historic or potential historic properties, historic or potential historic districts, this projects area of potential effect, and the nature of these potential effects. You are encouraged to identify other NHOs that may have an interest in participating in the section 106 and/or 6E, Human Resource System (HRS) consultation process.

Two Environmental Assessments (EA) are in the process of being prepared pursuant to the National Environmental Policy Act (NEPA) and pursuant to Section 343 HRS. If you would like to review either the NEPA EA or the Section 343, HRS ES, when available, please request a copy by phone, letter, or email to any of the contacts listed below.

Your comments must be received or postmarked 30 days from the date of this letter, and must be accompanied with a full name and mailing address. Please reference "Community Training Kitchen at Ohana Ola 'O Kahumana" in your subject heading. Please provide comments to the following planning consultant:

PBR Hawai'i & Associates, Inc.  
Attention: Catie Cullison, Planner  
1001 Bishop Street, Suite 650  
Honolulu, Hawaii 96813  
Phone: (808) 521-5631  
Fax: (808) 523-1402  
[ccullison@pbrhawaii.com](mailto:ccullison@pbrhawaii.com)

Thank you for participating in the environmental review process.

Sincerely,

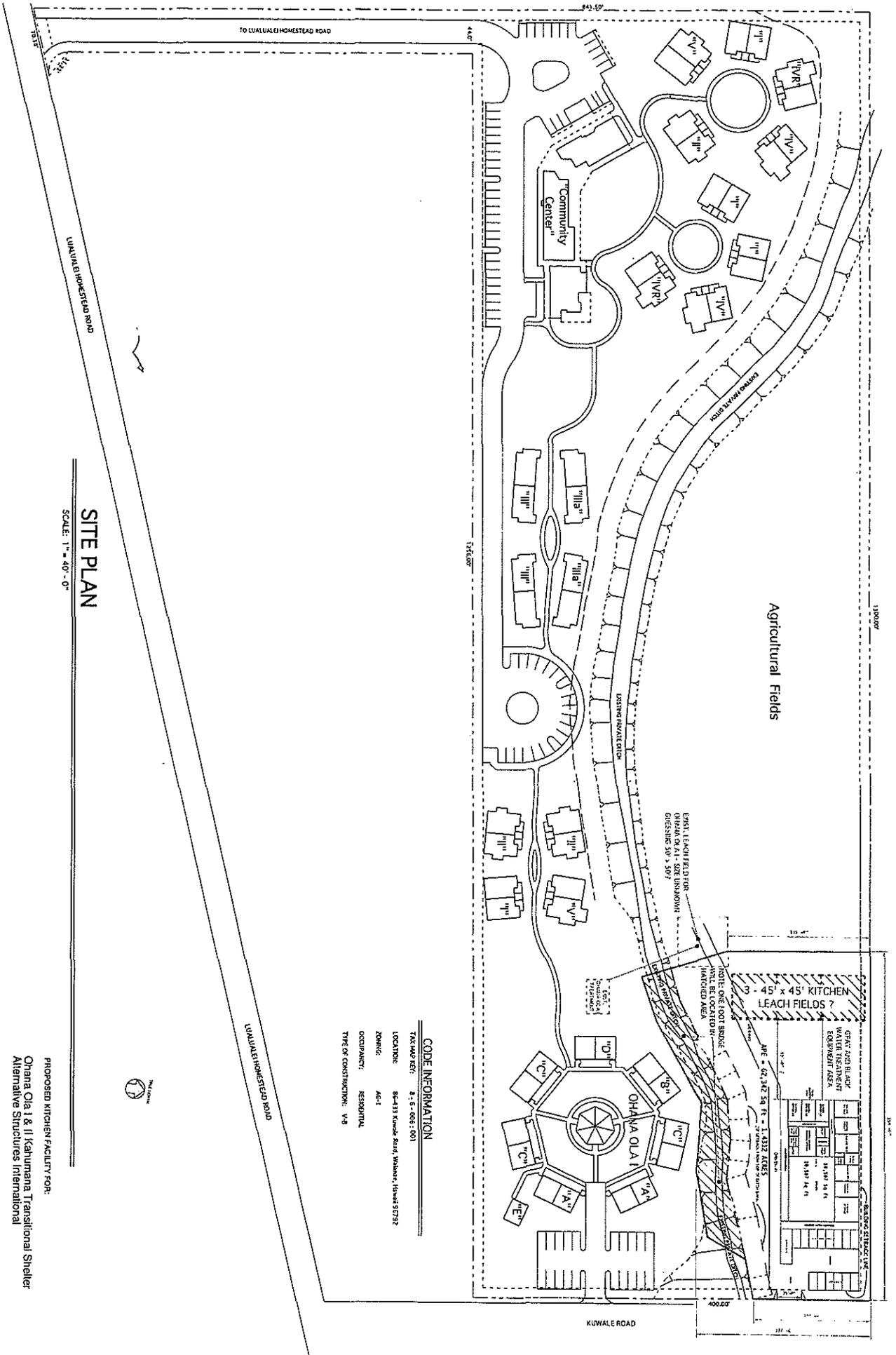


Gary K. Nakata  
Director

GKN:sgk

Attachment

cc: PBR Hawai'i & Associates, Inc.  
Department of Land and Natural Resources,  
State Historic Preservation Division

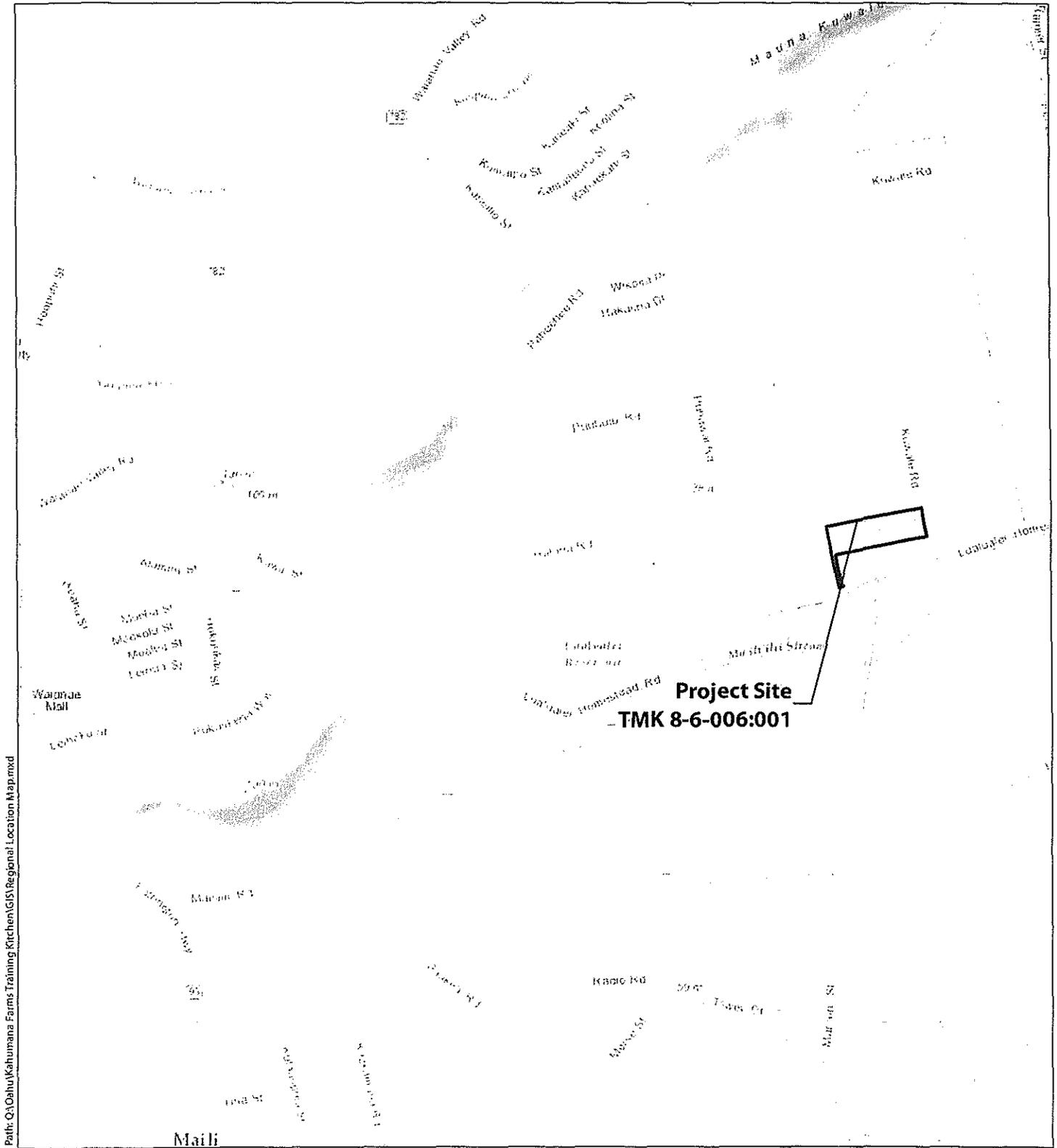


**CODE INFORMATION**

TAX MAP KEY:	2 - 6 - 002 - 001
LOCATION:	86-413 Kuwale Road, Waianae, Island 5732
ZONING:	AO-1
OCCUPANT:	RESIDENTIAL
TYPE OF CONSTRUCTION:	V-B

PROPOSED KITCHEN FACILITY FOR:  
 Ohana Ola I & II Kaunamana Transitional Shelter  
 Alternative Structures International  
 86-423 Kuwale Road, Waianae, Hawaii 96792





Path: C:\Oahu\Kahumana Farms Training Kitchen\GIS\Regional Location Map.mxd

DATE: 2/8/2016

**Legend**

 Project Site



**FIGURE 1:**  
**Regional Location Map**  
**Kahumana**  
**Community Training Kitchen**

Alternative Structures International  
 North  
 Island of Oahu  

 Linear Scale (feet)  
 0 500 1,000 2,000  

 PGR HAWAII  
 808.953.5112

Source: ESRI Online Basemaps.  
 Disclaimer: This graphic has been prepared for general planning purposes only and should not be used for boundary interpretations or other spatial analysis.

# Appendix E: Pre-Assessment Consultation Comment Letters and Responses





## BOARD OF WATER SUPPLY

CITY AND COUNTY OF HONOLULU  
630 SOUTH BERETANIA STREET  
HONOLULU, HI 96843



March 21, 2016

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KAPUA SPROAT  
BRYAN P. ANDAYA

ROSS S. SASAMURA, Ex-Officio  
FORD N. FUCHIGAMI, Ex-Officio

ERNEST Y. W. LAU, P.E.  
Manager and Chief Engineer

ELLEN E. KITAMURA, P.E.  
Deputy Manager and Chief Engineer

Ms. Catie Cullison, AICP  
PBR HAWAII & Associates, Inc.  
1001 Bishop Street, Suite 650  
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

Subject: Your Letter Dated February 18, 2016 on the Revised Pre-assessment for a  
Community Training Kitchen at Ohana Ola O Kahumana - Tax Map Key: 8-6-006: 001

Thank you for your letter regarding the proposed community training kitchen facility.

The existing water system is adequate to accommodate the proposed kitchen facility. However, please be advised that this information is based upon current data, and therefore, the Board of Water Supply reserves the right to change any position or information stated herein up until the final approval of the building permit application. The final decision on the availability of water will be confirmed when the building permit application is submitted for approval.

When water is made available, the applicant will be required to pay our Water System Facilities Charges for resource development, transmission and daily storage.

The on-site fire protection requirements should be coordinated with the Fire Prevention Bureau of the Honolulu Fire Department.

If you have any questions, please contact Robert Chun, Project Review Branch of our Water Resources Division at 748-5443.

Very truly yours,

ERNEST Y. W. LAU, P.E.  
Manager and Chief Engineer



# PBR HAWAII

& ASSOCIATES, INC.

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*Principal*

W. FRANK BRANDT, FASLA  
*Chairman Emeritus*

July 27, 2016

Mr. Ernest Y. W. Lau, P.E.  
Manager and Chief Engineer  
City and County of Honolulu  
Board of Water Supply  
630 South King Street  
Honolulu, Hawai'i 96843

Attn: Mr. Robert Chun, Project Review Branch, Water Resources Division

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A COMMUNITY TRAINING KITCHEN AT OHANA OLA O KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK 8-6-006:001**

Dear Mr. Lau:

**ASSOCIATES**

RAYMOND T. HIGA, ASLA  
*Senior Associate*

CATIE CULLISON, AICP  
*Senior Associate*

ROY TAKEMOTO  
*Managing Director - Hilo*

SCOTT MURAKAMI, ASLA, LEED®AP  
*Associate*

DACHENG DONG, LEED®AP  
*Associate*

MARC SHIMATSU, ASLA  
*Associate*

Thank you for your letters dated March 9, 2016, and March 21, 2016, regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we acknowledge your comments about the subject project and provide the following responses that will be incorporated into the Draft Environmental Assessment (EA):

- We acknowledge your comment that the existing water system is adequate to accommodate the proposed kitchen facility. We understand that this information is based on current data and that the Board of Water Supply (BWS) reserves the right to change any position or information stated until the final approval of the building permit application. We further understand that the final decision by the BWS on the availability of water will be confirmed when the building permit application is submitted for approval.
- We also acknowledge that, when water is made available, the applicant will be required to pay the BWS Water System Facilities Charges for resource development, transmission, and daily storage.
- Finally, we acknowledge that on-site fire protection requirements should be coordinated with the Fire Prevention Bureau of the Honolulu Fire Department.

We appreciate your participation in the environmental review process. Your letter will be included in the Draft EA.

Sincerely,

PBR HAWAII

Catie Cullison  
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services  
Tom McDonald, Alternative Structures, Inc.

**HONOLULU OFFICE**  
1001 Bishop Street, Suite 650  
Honolulu, Hawai'i 96813-3484  
Tel: (808) 521-5631  
Fax: (808) 523-1402  
E-mail: sysadmin@pbrhawaii.com

**HILO OFFICE**  
1719 Haleloke Street  
Hilo, Hawai'i 96720-1553  
Tel/Cel: (808) 315-6878

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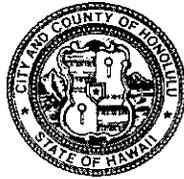
DEPARTMENT OF DESIGN AND CONSTRUCTION  
CITY AND COUNTY OF HONOLULU

650 SOUTH KING STREET, 11<sup>TH</sup> FLOOR  
HONOLULU, HAWAII 96813  
Phone: (808) 768-8480 • Fax: (808) 768-4567  
Web site: [www.honolulu.gov](http://www.honolulu.gov)

KIRK CALDWELL  
MAYOR

ROBERT J. KRONING, P.E.  
DIRECTOR

MARK YONAMINE, P.E.  
DEPUTY DIRECTOR



March 2, 2016

PBR Hawaii & Associates, Inc.  
1001 Bishop Street, Suite 650  
Honolulu, Hawaii 96813

Attn: Catie Cullison

Dear Ms. Cullison:

Subject: Pre- Assessment Consultation for a Community Training Kitchen at Ohana Ola O Kahumana, 86-600 Lualualei Homestead Rd., Waianae, Oahu TMK 8-6-001:001

The Department of Design and Construction does not have comments to offer at this time.

Thank you for the opportunity to review. Should there be any questions, please contact me at 768-8480.

Sincerely,

A handwritten signature in black ink, appearing to read "Robert J. Kroning".

Robert J. Kroning, P.E.  
Director

RJK: ms (642450)



# PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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*President*

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*Senior Associate*

CATIE CULLISON, AICP  
*Senior Associate*

ROY TAKEMOTO  
*Managing Director - Hilo*

SCOTT MURAKAMI, ASLA, LEED®AP  
*Associate*

DACHENG DONG, LEED®AP  
*Associate*

MARC SHIMATSU, ASLA  
*Associate*

Mr. Robert J. Kroning, P.E., Director  
City and County of Honolulu  
Department of Design and Construction  
650 South King Street, 11<sup>th</sup> Floor  
Honolulu, Hawai'i 96813

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A  
COMMUNITY TRAINING KITCHEN AT OHANA OLA O  
KAHUMANA, 86-433 KUWALE RD., WAI'ANAЕ, O'AHU, TMK  
8-6-006:001**

Dear Mr. Kroning:

Thank you for your letter dated March 2, 2016, regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your participation in the environmental review process, and your input that your Department has no comments to offer at this time. Your letter will be included in the Draft Environmental Assessment (EA).

Sincerely,

PBR HAWAII

Catie Cullison  
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services  
Tom McDonald, Alternative Structures, Inc.

**HONOLULU OFFICE**

1001 Bishop Street, Suite 650  
Honolulu, Hawai'i 96813-3484  
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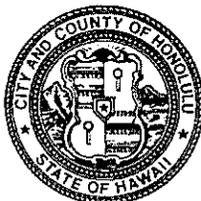
1719 Haleloke Street  
Hilo, Hawai'i 96720-1553  
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DEPARTMENT OF FACILITY MAINTENANCE  
**CITY AND COUNTY OF HONOLULU**

1000 Ulu'ohia Street, Suite 215, Kapolei, Hawaii 96707  
Phone: (808) 768-3343 • Fax: (808) 768-3381  
Website: www.honolulu.gov

KIRK CALDWELL  
MAYOR



ROSS S. SASAMURA, P.E.  
DIRECTOR AND CHIEF ENGINEER

EDUARDO P. MANGLALLAN  
DEPUTY DIRECTOR

IN REPLY REFER TO:  
DRM 16-197

March 7, 2016

Ms. Catie Cullison, AICP  
Planner  
PBR Hawaii & Associates, Inc.  
1001 Bishop Street, Suite 650  
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

SUBJECT: Pre-Assessment Consultation for a Community  
Training Kitchen at Ohana Ola O Kahumana, 86-600  
Lualualei Homestead Rd., Wai'anae, O'ahu, TMK 8-6-001:001

Thank you for the opportunity to review and provide our input regarding your letter dated February 8, 2016, on the above-subject project.

Our comments are as follows:

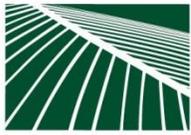
- Once construction phase commences, install approved Best Management Practices fronting all drainage facilities on Lualualei Homestead Road and Kuwale Road.
- During construction and upon completion of the project, any damages/deficiencies to Lualualei Homestead Road and Kuwale Road right-of-way shall be corrected to City standards and accepted by the City.

If you have any questions, please contact Mr. Kyle Oyasato of the Division of Road Maintenance at 768-3697.

Sincerely,

A handwritten signature in black ink, appearing to read "Ross S. Sasamura".

Ross S. Sasamura, P.E.  
Director and Chief Engineer



# PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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*Principal*

KIMI MIKAMI YUEN, LEED®AP BD+C  
*Principal*

W. FRANK BRANDT, FASLA  
*Chairman Emeritus*

Mr. Ross S. Sasamura, P.E.  
Director and Chief Engineer  
City and County of Honolulu  
Department of Facility Maintenance  
1000 Ulu'ohia Street, Suite 215  
Kapolei, Hawai'i 96707

ATTN: Mr. Kyle Oyasato, Division of Road Maintenance

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A  
COMMUNITY TRAINING KITCHEN AT OHANA OLA O  
KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK  
8-6-006:001**

Dear Mr. Sasamura:

Thank you for your letter dated March 7, 2016, regarding the subject project. The Draft Environmental Assessment (EA) will address comments from your Department as follows:

1. Once construction phase commences, approved Best Management Practices fronting all drainage facilities on Lualualei Homestead Road and Kuwale Road will be installed.
2. During construction and upon completion of the project, any damages or deficiencies to Lualualei Homestead Road and Kuwale Road right-of-way will be corrected to City standards and accepted by the City.

As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your participation in the environmental review process. Your letter will be included in the Draft EA.

Sincerely,

PBR HAWAII

Catie Cullison  
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services  
Tom McDonald, Alternative Structures, Inc.

**HONOLULU OFFICE**  
1001 Bishop Street, Suite 650  
Honolulu, Hawai'i 96813-3484  
Tel: (808) 521-5631  
Fax: (808) 523-1402  
E-mail: sysadmin@pbrhawaii.com

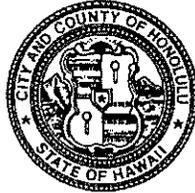
**HILO OFFICE**  
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Tel/Cel: (808) 315-6878

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DEPARTMENT OF PLANNING AND PERMITTING  
**CITY AND COUNTY OF HONOLULU**

650 SOUTH KING STREET, 7<sup>TH</sup> FLOOR • HONOLULU, HAWAII 96813  
PHONE: (808) 768-8000 • FAX: (808) 768-6041  
DEPT. WEB SITE: [www.honolulu.gov](http://www.honolulu.gov) • CITY WEB SITE: [www.honolulu.gov](http://www.honolulu.gov)

KIRK CALDWELL  
MAYOR



GEORGE I. ATTA, FAICP  
DIRECTOR

ARTHUR D. CHALLACOMBE  
DEPUTY DIRECTOR

2016/ELOG-343(ASK)  
2016/ELOG-421

March 8, 2016

Ms. Catie Cullison, AICP  
PBR Hawaii and Associates, Inc.  
1001 Bishop Street  
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

SUBJECT: Pre-Assessment Consultation for a Community Training Kitchen  
Ohana Ola O Kahumana Transitional Housing  
86-433 Kuwale Road - Waianae  
Tax Map Key 6-6-8: 1

This responds to your letter dated February 18, 2016, requesting input related to potential impacts of the Project identified above. We offer the following comments related to preparation of environmental disclosure documents.

The 12.5 acre site is in the AG-1 Restricted Agricultural District and the State Agricultural Land Use District. Development on the property is subject to Chapter 21, Revised Ordinances of Honolulu (ROH) related to zoning and Chapter 205, Hawaii Revised Statutes (HRS). The proposed community training kitchen is not consistent with the requirements of these regulations.

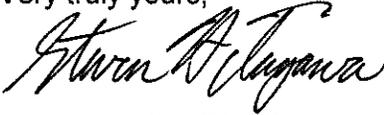
Existing development on the property, including transitional housing and a meeting facility, is subject to the provisions of two Honolulu City Council Resolutions, No. 89-351 and No. 00-198 CD1. These improvements were authorized pursuant to the provisions of Chapter 201E (now 201H), HRS, granting exemptions from various planning, zoning, and development requirements, including Chapter 21, ROH and State Land Use requirement for a Special Use Permit (SUP) pursuant to Chapter 205, HRS.

The proposed development which includes a 7,000-9,000 square foot kitchen facility for vocational training and meal preparation, a smaller instructional kitchen, and community incubator kitchen facility for use by low-income or underemployed residents, associated parking and loading, and new driveway access was not previously described as part of the 201H Project. Therefore, a new City Council Resolution is necessary.

Ms. Catie Cullison  
March 8, 2016  
Page 2

Should you have any further questions on this matter, please contact Ardis Shaw-Kim of our Regulations and Permits Branch at 768-8021 or [ashaw@honolulu.gov](mailto:ashaw@honolulu.gov).

Very truly yours,

  
*George I. Atta*  
George I. Atta, FAICP  
Director



# PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

**PRINCIPALS**

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*Senior Associate*

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*Senior Associate*

ROY TAKEMOTO  
*Managing Director - Hilo*

SCOTT MURAKAMI, ASLA, LEED®AP  
*Associate*

DACHENG DONG, LEED®AP  
*Associate*

MARC SHIMATSU, ASLA  
*Associate*

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**HILO OFFICE**  
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Mr. George I. Atta, FAICP  
Director  
City and County of Honolulu  
Department of Planning and Permitting  
650 South King Street, 7<sup>th</sup> Floor  
Honolulu, Hawai'i 96813

Attn: Ms. Ardis Shaw-Kim, Regulations and Permits Branch

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A COMMUNITY TRAINING KITCHEN AT OHANA OLA O KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK 8-6-006:001**

Dear Mr. Atta:

Thank you for your letter dated March 8, 2016 [Reference No. 2016/ELOG-343(ASK); 2016/ELOG-421], regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we acknowledge your comments about the subject project and provide the following responses that will be incorporated into the Draft Environmental Assessment (EA):

- We also acknowledge that existing development on the property, including transitional housing and a meeting facility, is subject to the provisions of two Honolulu City Council Resolutions, No. 89-351 and No. 00-198 CD1, and that these improvements were authorized pursuant to the provisions of Chapter 201E (now 201H), HRS, granting exemptions from various planning, zoning, and development requirements, including Chapter 21, ROH and State Land Use requirement for a Special Use Permit (SUP) pursuant to Chapter 205, HRS. A new 201H application for the community facility will be submitted to your department upon completion of the Environmental Assessment.
- In our initial letter dated February 18, 2016, we had stated that the proposed development would include a 7,000-9,000 square foot kitchen facility for vocational training and meal preparation, a smaller instructional kitchen, and community incubator kitchen facility for use by low-income or underemployed residents, associated parking and loading, and new driveway access. However, the scope of the project has since been reduced, such that the incubator kitchen and training kitchen have been eliminated, and the square footage has been reduced to 2,800-3,000 square feet. This puts the project in line with the definitions provided by 201H for "community facilities".

We appreciate your participation in the environmental review process. Your letter will be included in the Draft EA.

Sincerely,

PBR HAWAII

Catie Cullison  
Senior Associate

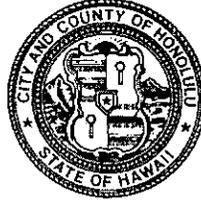
Cc: Steve Karel, Honolulu Department of Community Services  
Tom McDonald, Alternative Structures, Inc.

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DEPARTMENT OF PARKS & RECREATION  
**CITY AND COUNTY OF HONOLULU**

1000 Uluohia Street, Suite 309, Kapolei, Hawaii 96707  
Phone: (808) 768-3003 • Fax: (808) 768-3053  
Website: www.honolulu.gov

KIRK CALDWELL  
MAYOR



MICHELE K. NEKOTA  
DIRECTOR

JEANNE C. ISHIKAWA  
DEPUTY DIRECTOR

March 4, 2016

Ms. Catie Cullison, AICP  
PBR Hawaii & Associates, Inc.  
1001 Bishop Street, Suite 650  
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

SUBJECT: Pre-Assessment Consultation for a Community Training Kitchen  
at Ohana Ola O Kahumana  
86-600 Lualualei Homestead Road, Waianae, Oahu  
TMK: 8-6-006:001

Thank you for the opportunity to review and comment at the Pre-Assessment Consultation stage of the proposed Community Training Kitchen at Ohana O Kahumana.

The Department of Parks and Recreation has no comment as the proposed project will have no impact on any of our programs or facilities. You may remove us as a consulted party to the balance of the EIS process.

Should you have any questions, please contact John Reid, Planner at 768-3017.

Sincerely,

A handwritten signature in black ink, appearing to read "Michele K. Nekota".

Michele K. Nekota  
Director

MKN:jr  
(642518)



# PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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*Managing Director - Hilo*

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DACHENG DONG, LEED®AP  
*Associate*

MARC SHIMATSU, ASLA  
*Associate*

Ms. Michele K. Nekota, Director  
City and County of Honolulu  
Department of Parks & Recreation  
1000 Uluohia Street, Suite 309  
Kapolei, Hawai'i 96707

ATTN: Mr. John Reid, Planner

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A  
COMMUNITY TRAINING KITCHEN AT OHANA OLA O  
KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK  
8-6-006:001**

Dear Ms. Nekota:

Thank you for your letters dated March 1 and March 4, 2016, regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your participation in the environmental review process, and your input that your Department has no comment and does not anticipate any significant impact on your programs and facilities. Your letter will be included in the Draft Environmental Assessment (EA), and as requested, your Department will be removed as a consulted party for the balance of the EA process.

Sincerely,

PBR HAWAII

Catie Cullison  
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services  
Tom McDonald, Alternative Structures, Inc.

**HONOLULU OFFICE**

1001 Bishop Street, Suite 650  
Honolulu, Hawai'i 96813-3484  
Tel: (808) 521-5631  
Fax: (808) 523-1402  
E-mail: sysadmin@pbrhawaii.com

**HILO OFFICE**

1719 Haleloke Street  
Hilo, Hawai'i 96720-1553  
Tel/Cel: (808) 315-6878

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DEPARTMENT OF TRANSPORTATION SERVICES  
CITY AND COUNTY OF HONOLULU

650 SOUTH KING STREET, 3RD FLOOR  
HONOLULU, HAWAII 96813  
Phone: (808) 768-8305 • Fax: (808) 768-4730 • Internet: www.honolulu.gov

KIRK CALDWELL  
MAYOR



MICHAEL D. FORMBY  
DIRECTOR

MARK N. GARRITY, AICP  
DEPUTY DIRECTOR

TP2/16-643389R

March 7, 2016

Ms. Catie Cullison, AICP  
Planner  
PBR Hawaii & Associates, Inc.  
1001 Bishop Street, Suite 650  
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

**SUBJECT:** Pre-Assessment Consultation Draft Environmental Assessment (DEA), Community Training Kitchen at Ohana Ola O Kahumana, Waianae, Oahu, Hawaii

In response to your revised letter dated February 18, 2016, we have the following comments:

1. The DEA should discuss how the proposed use (commercial kitchen) is consistent with the underlying zoning (AG-1 Restricted Agricultural).
2. The DEA should discuss any short-term traffic impacts the project may have on any surrounding City roadways and measures to mitigate these impacts by applying complete streets principles.
3. All access driveways to the project site should be designed with the highest pedestrian and bicycle safety measures.
4. On-site bike racks and secure bike storage for the residents, employees and visitors should be included.
5. All parking needs for the proposed facility (residents, employees and visitors) should be handled on-site.
6. All loading and unloading needs, including service delivery vehicles should be handled on-site, rather than on City roadways. In addition, the project should be designed to accommodate TheHandi-Van paratransit vehicles

on-site, which require a minimum 31-foot turning radius and a 10-foot, 6-inch height clearance.

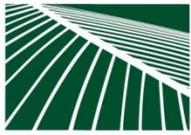
7. Any damage to the existing roadway area caused by the project should be restored to its original condition or better.
8. The area Neighborhood Board, as well as the area residents, businesses, emergency personnel (fire, ambulance and police), Oahu Transit Services, Inc. (TheBus), etc., should be kept apprised of the details of the proposed project and the impacts that the project may have on the adjoining local street area network.
9. Construction notes should include the following note regarding transit services:  
  
"This project may affect bus routes, bus stop, and paratransit operations, therefore, the Contractor shall notify the Department of Transportation Services, Public Transit Division at 768-8396 and Oahu Transit Services, Inc. (bus operations: 848-4578 or 852-6016 and paratransit operations: 454-5041 or 454-5020) of the scope of work, location, proposed closure of any street, traffic lane, sidewalk, or bus stop and duration of project **at least two weeks prior to construction.**"
10. Construction materials and equipment should be transferred to and from the project site during off-peak traffic hours (8:30 a.m. to 3:30 p.m.) to minimize any possible disruption to traffic on the local streets.
11. A street usage permit from the City's Department of Transportation Services should be obtained for any construction-related work that may require the temporary closure of any traffic lane on a City street.

Thank you for the opportunity to review this matter. Should you have any questions, please contact Renee Yamasaki of my staff at 768-8383.

Very truly yours,



Michael D. Formby  
Director



July 27, 2016

**PRINCIPALS**

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*Associate*

MARC SHIMATSU, ASLA  
*Associate*

**HONOLULU OFFICE**

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Fax: (808) 523-1402  
E-mail: sysadmin@pbrhawaii.com

**HILO OFFICE**

1719 Haleloke Street  
Hilo, Hawai'i 96720-1553  
Tel/Cel: (808) 315-6878

Mr. Michael D. Formby, Director  
City and County of Honolulu  
Department of Transportation Services  
650 South King Street, 3<sup>rd</sup> Floor  
Honolulu, Hawai'i 96813

ATTN: Ms. Renee Yamasaki

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A  
COMMUNITY TRAINING KITCHEN AT OHANA OLA O  
KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK  
8-6-006:001**

Dear Mr. Formby:

Thank you for your letter dated March 7, 2016, regarding the subject project. The Draft Environmental Assessment (EA) will address comments from your Department as follows:

1. The Draft EA will discuss how the proposed use (commercial kitchen) is consistent with the underlying zoning (AG-1 Restricted Agricultural).
2. The Draft EA will discuss any short-term traffic impacts the project may have on any surrounding City roadways and measures to mitigate these impacts by applying complete streets principles. Please note that the primary traffic minimization measure will be to incorporate pedestrian walkways internal to the site, minimizing the need for residents of Ohana Ola to walk on Kuwale Road which has no sidewalks.
3. All access driveways to the project site will be designed with the highest pedestrian and bicycle safety measures.
4. On-site bike racks and secure bike storage for the residents, employees, and visitors will be included.
5. All parking needs for the proposed facility (residents, employees, and visitors) will be handled on-site.
6. All loading and unloading needs will be handled on-site, rather than on City roadways. The project will also be designed to accommodate TheHandi-Van paratransit vehicles on-site, which require a minimum 31-foot turning radius and a 10-foot, 6-inch height clearance.
7. Any damage to the existing roadway area caused by the project will be restored to its original condition or better.

July 27, 2016

Mr. Michael D. Formby, Director

SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A COMMUNITY TRAINING KITCHEN AT OHANA OLA O KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK 8-6-006:001

Page 2 of 2

8. The Wai'anae Neighborhood Board, as well as the area residents, businesses, emergency personnel, Oahu Transit Services, Inc. (TheBus), etc., will be kept apprised of the details of the proposed project and the impacts that the project may have on the adjoining local street area network.
9. Construction notes will include the following note regarding transit services:  
  
"This project may affect bus routes, bus stop, and paratransit operations, therefore, the Contractor shall notify the Department of Transportation Services, Public Transit Division at 768-8396 and Oahu Transit Services, Inc. (bus operations: 848-4578 or 852-6016 and paratransit operations: 454-5041 or 454-5020) of the scope of work, location, proposed closure of any street, traffic lane, sidewalk, or bus stop and duration of project **at least two weeks prior to construction.**"
10. Construction materials and equipment will be transferred to and from the project site during off-peak traffic hours (8:30 a.m. to 3:30 p.m.) to minimize any possible disruption to traffic on the local streets.
11. A street usage permit from the City's Department of Transportation Services will be obtained for any construction-related work that may require the temporary closure of any traffic lane on a City street.

As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your participation in the environmental review process. Your letter will be included in the Draft EA.

Sincerely,

PBR HAWAII



Catie Cullison  
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services  
Tom McDonald, Alternative Structures, Inc.

HONOLULU FIRE DEPARTMENT  
**CITY AND COUNTY OF HONOLULU**

636 South Street  
Honolulu, Hawaii 96813-5007  
Phone: 808-723-7139 Fax: 808-723-7111 Internet: www.honolulu.gov/hfd

KIRK CALDWELL  
MAYOR



MANUEL P. NEVES  
FIRE CHIEF

LIONEL CAMARA JR.  
DEPUTY FIRE CHIEF

February 29, 2016

Ms. Catie Cullison, AICP  
PBR HAWAII & Associates, Inc.  
1001 Bishop Street, Suite 650  
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

Subject: Preassessment Consultation for a Community Training Kitchen at Ohana  
Ola O Kahumana  
86-433 Kuwale Road  
Tax Map Key: 8-6-006: 001

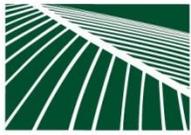
In response to your letter dated February 18, 2016, regarding the above-mentioned subject, the Honolulu Fire Department will apply Chapter 50 Commercial Cooking Equipment of the Fire Code of the City and County of Honolulu and other pertinent chapters of the Fire Code during the plan review.

Should you have questions, please contact Battalion Chief Terry Seelig of our Fire Prevention Bureau at 723-7151 or tseelig@honolulu.gov.

Sincerely,

  
SOCRATES D. BRATAKOS  
Assistant Chief

SDB/SY:bh



# PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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KIMI MIKAMI YUEN, LEED®AP BD+C  
*Principal*

W. FRANK BRANDT, FASLA  
*Chairman Emeritus*

Mr. Socrates D. Bratakos  
Assistant Chief  
City and County of Honolulu  
Honolulu Fire Department  
636 South Street  
Honolulu, Hawai'i 96813

ATTN: Battalion Chief Terry Seelig, Fire Prevention Bureau

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A  
COMMUNITY TRAINING KITCHEN AT OHANA OLA O  
KAHUMANA, 86-433 KUWALE RD., WAI'ANAЕ, O'AHU, TMK  
8-6-006:001**

Dear Mr. Bratakos:

Thank you for your letter dated February 29, 2016, regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your participation in the environmental review process, and your input that your Department will apply Chapter 50 Commercial Cooking Equipment of the Fire Code of the City and County of Honolulu and other pertinent chapters of the Fire Code during the plan review. Your letter will be included in the Draft Environmental Assessment (EA).

Sincerely,

PBR HAWAII

Catie Cullison  
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services  
Tom McDonald, Alternative Structures, Inc.

**HONOLULU OFFICE**

1001 Bishop Street, Suite 650  
Honolulu, Hawai'i 96813-3484  
Tel: (808) 521-5631  
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E-mail: sysadmin@pbrhawaii.com

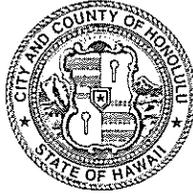
**HILO OFFICE**

1719 Haleloke Street  
Hilo, Hawai'i 96720-1553  
Tel/Cel: (808) 315-6878

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POLICE DEPARTMENT  
CITY AND COUNTY OF HONOLULU

801 SOUTH BERETANIA STREET · HONOLULU, HAWAII 96813  
TELEPHONE: (808) 529-3111 · INTERNET: www.honolulupd.org



KIRK CALDWELL  
MAYOR

LOUIS M. KEALOHA  
CHIEF

MARIE A. McCAULEY  
CARY OKIMOTO  
DEPUTY CHIEFS

OUR REFERENCE MT-DK

March 1, 2016

Ms. Catie Cullison  
PBR HAWAII & Associates, Inc.  
1001 Bishop Street, Suite 650  
Honolulu, Hawaii 96813-3483

Dear Ms. Cullison:

This is in response to your letter of February 18, 2016, requesting comments on the Revised Pre-Assessment Consultation for a community training kitchen at Ohana Ola O Kahumana in Waianae.

Based on the information provided, this project should have no significant impact on the services or operations of the Honolulu Police Department at this time.

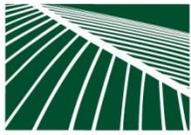
If there are any questions, please call Major Kurt Kendro District 8 (Kapolei) at 723-8403.

Thank you for the opportunity to review this project.

Sincerely,

LOUIS M. KEALOHA  
Chief of Police

By   
MARK TSUYEMURA  
Management Analyst VI  
Office of the Chief



# PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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TOM SCHNELL, AICP  
*Principal*

KIMI MIKAMI YUEN, LEED®AP BD+C  
*Principal*

W. FRANK BRANDT, FASLA  
*Chairman Emeritus*

Mr. Louis M. Kealoha  
Chief of Police  
City and County of Honolulu  
Police Department  
801 South Beretania Street  
Honolulu, Hawai'i 96813

ATTN: Major Kurt Kendro, District 8 (Kapolei)

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A  
COMMUNITY TRAINING KITCHEN AT OHANA OLA O  
KAHUMANA, 86-433 KUWALE RD., WAI'ANAЕ, O'AHU, TMK  
8-6-006:001**

Dear Chief Kealoha:

Thank you for your letter dated February 17, 2016 (reference MT-DK), regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your participation in the environmental review process, and your input that your Department does not anticipate any significant impact on the services or operations of the Honolulu Police Department at this time. Your letter will be included in the Draft Environmental Assessment (EA).

Sincerely,

PBR HAWAII

Catie Cullison  
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services  
Tom McDonald, Alternative Structures, Inc.

**HONOLULU OFFICE**

1001 Bishop Street, Suite 650  
Honolulu, Hawai'i 96813-3484  
Tel: (808) 521-5631  
Fax: (808) 523-1402  
E-mail: sysadmin@pbrhawaii.com

**HILO OFFICE**

1719 Haleloke Street  
Hilo, Hawai'i 96720-1553  
Tel/Cel: (808) 315-6878

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**From:** [Liu, Rouen](#)  
**To:** [Catie Cullison](#)  
**Subject:** FW: Community Training Kitchen at Ohana Ola O Kahumanu - Draft EA pre assessment consultation  
**Date:** Friday, February 26, 2016 3:17:49 PM

---

Dear Ms. Cullison,

Thank you for the opportunity to comment on the subject project. Hawaiian Electric Company has no objection to the project. Should HECO have existing easements and facilities on the subject property, we will need continued access for maintenance of our facilities.

We appreciate your efforts to keep us apprised of the subject project in the planning process. As the proposed training kitchen project comes to fruition, please continue to keep us informed. Further along in the design, we will be better able to evaluate the effects on our system facilities.

If you have any questions, please call me at 1-808-543-7245.

Sincerely,  
Rouen Q. W. Liu  
Permits Engineer  
Hawaiian Electric Company, Inc.  
Tel: (808) 543-7245  
Email: [Rouen.liu@hawaiianelectric.com](mailto:Rouen.liu@hawaiianelectric.com)

---

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# PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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*Managing Director - Hilo*

SCOTT MURAKAMI, ASLA, LEED® AP  
*Associate*

DACHENG DONG, LEED® AP  
*Associate*

MARC SHIMATSU, ASLA  
*Associate*

Rouen Q. W. Liu, Permits Engineer  
Hawaiian Electric Company, Inc.  
Engineering Department (Mail Stop: WA2-BA)  
P.O. Box 2750  
Honolulu, Hawai'i 96840

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A  
COMMUNITY TRAINING KITCHEN AT OHANA OLA O  
KAHUMANA, 86-433 KUWALE RD., WAI'ANAЕ, O'AHU, TMK  
8-6-006:001**

Dear Rouen Liu:

Thank you for your e-mail dated February 26, 2016, regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your input that Hawaiian Electric Company, Inc. (HECO) has no objection to the subject project and that, should HECO have existing easements and facilities on the subject property, HECO will need continued access for maintenance of their facilities. We thank you for your participation in the environmental review process, and will continue to keep you informed of the subject project. Your letter will be included in the Draft Environmental Assessment (EA).

Sincerely,

PBR HAWAII

Catie Cullison  
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services  
Tom McDonald, Alternative Structures, Inc.

**HONOLULU OFFICE**

1001 Bishop Street, Suite 650  
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DAVID Y. IGE  
GOVERNOR



DOUGLAS MURDOCK  
Comptroller

AUDREY HIDANO  
Deputy Comptroller

**STATE OF HAWAII**  
**DEPARTMENT OF ACCOUNTING AND GENERAL SERVICES**

P.O. BOX 119, HONOLULU, HAWAII 96810-0119

FEB 22 2016

(P)1031.6

Ms. Catie Cullison  
PBR Hawaii & Associates, Inc.  
1001 Bishop Street, Suite 650  
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

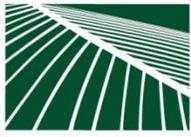
Subject: Pre-Assessment Consultation for  
Community Training Kitchen at Ohana Ola O Kahumana  
86-600 Lualualei Homestead Road, Waianae, Oahu  
TMK: 8-6-001: 001

Thank you for the opportunity to comment on the subject project. We have no comments to offer at this time as the proposed project does not impact any of the Department of Accounting and General Services' projects or existing facilities.

If you have any questions, your staff may please contact Ms. Gayle Takasaki of the Public Works Division at 586-0584.

Sincerely,

  
fcp DOUGLAS MURDOCK  
Comptroller



# PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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*Chairman Emeritus*

Mr. Douglas Murdock, Comptroller  
State of Hawai'i  
Department of Accounting and General Services  
P.O. Box 119  
Honolulu, Hawai'i 96810-0119

ATTN: Ms. Gayle Takasaki, Public Works Division

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A  
COMMUNITY TRAINING KITCHEN AT OHANA OLA O  
KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK  
8-6-006:001**

Dear Mr. Murdock:

Thank you for your letter dated February 22, 2016 (reference number (P)1031.6), regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your participation in the environmental review process, and your input that your Department has no comment to offer at this time as the proposed project does not impact any of your Department's projects or existing facilities. Your letter will be included in the Draft Environmental Assessment (EA).

Sincerely,

PBR HAWAII

Catie Cullison  
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services  
Tom McDonald, Alternative Structures, Inc.

**ASSOCIATES**

RAYMOND T. HIGA, ASLA  
*Senior Associate*

CATIE CULLISON, AICP  
*Senior Associate*

ROY TAKEMOTO  
*Managing Director - Hilo*

SCOTT MURAKAMI, ASLA, LEED®AP  
*Associate*

DACHENG DONG, LEED®AP  
*Associate*

MARC SHIMATSU, ASLA  
*Associate*

**HONOLULU OFFICE**

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E-mail: sysadmin@pbrhawaii.com

**HILO OFFICE**

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Hilo, Hawai'i 96720-1553  
Tel/Cel: (808) 315-6878

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DAVID Y. IGE  
GOVERNOR



CRAIG K. HIRAI  
EXECUTIVE DIRECTOR

**STATE OF HAWAII**

DEPARTMENT OF BUSINESS, ECONOMIC DEVELOPMENT AND TOURISM  
HAWAII HOUSING FINANCE AND DEVELOPMENT CORPORATION  
677 QUEEN STREET, SUITE 300  
Honolulu, Hawaii 96813  
FAX: (808) 587-0600

IN REPLY REFER TO:

16:PEO/09

February 22, 2016

PBR Hawaii & Associates, Inc.  
Attn: Catie Cullison, AICP  
1001 Bishop Street, Suite 650  
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

Re: Pre-Assessment Consultation for a Community Training Kitchen at Ohana Ola O  
Kahumana, 86-600 Lualualei Homestead Road, Waianae, Oahu, TMK 8-6-001:001

Thank you for seeking our comments for the preparation of a draft Environmental Assessment for the proposed Community Training Kitchen at Ohana Ola O Kahumana, 86-600 Lualualei Homestead Road, Waianae, Oahu.

We have no housing-related comments to offer at this time.

Sincerely,

Craig K. Hirai  
Executive Director



# PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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*Associate*

MARC SHIMATSU, ASLA  
*Associate*

Mr. Craig K. Hirai, Executive Director  
State of Hawai'i  
Department of Business, Economic Development and Tourism  
Hawai'i Housing Finance and Development Corporation  
677 Queen Street, Suite 300  
Honolulu, Hawai'i 96813

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A  
COMMUNITY TRAINING KITCHEN AT OHANA OLA O  
KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK  
8-6-006:001**

Dear Mr. Hirai:

Thank you for your letter dated February 22, 2016 (reference number 16:PEO/09), regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your participation in the environmental review process, and your input that your Department has no housing-related comments to offer at this time. Your letter will be included in the Draft Environmental Assessment (EA).

Sincerely,

PBR HAWAII

Catie Cullison  
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services  
Tom McDonald, Alternative Structures, Inc.

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GOVERNOR



RACHAEL WONG, DrPH  
DIRECTOR

PANKAJ BHANOT  
DEPUTY DIRECTOR

**STATE OF HAWAII**  
**DEPARTMENT OF HUMAN SERVICES**  
Benefit, Employment & Support Services Division  
820 Mililani Street, Suite 606  
Honolulu, Hawaii 96813

March 23, 2016

Re: 16-0107

PBR Hawaii and Associates, Inc.  
Attn: Catie Cullison  
1001 Bishop Street, Suite 650  
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

Subject: Revised Pre-Assessment Consultation for a Community Training Kitchen at  
Ohana Ola O Kahumana, 86-433 Kuwale Road, Wai'anae, Oahu,  
TMK 8-6-006:001

This is in response to your letter dated February 18, 2016 revising your original letter dated February 8, 2016 that requested the Department of Human Services (DHS) review and comment on any impact the proposed community training kitchen facility project could have on plans, projects, policies or programs the DHS may have. The only revisions in your letter were to the address which changed from Lualualei Homestead Road to Kuwale Road and the TMK number which changed from 8-6-001:001 to 8-6-006:001.

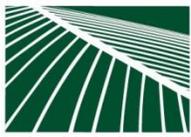
As the site map enclosed in your latest request is the same as the one included in your previous letter and had been reviewed along with the DHS child care licensing system and Google Maps, the DHS has no comment on the proposed project.

If you have any questions or need further information, please contact Ms. Jill Arizumi, Child Care Program Specialist, at (808) 586-5240.

Sincerely,

Scott Nakasone  
Assistant Division Administrator

cc: Rachael Wong, DrPH, Director



# PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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Scott Nakasone  
Assistant Division Administrator  
State of Hawai'i  
Department of Human Services  
Benefit, Employment & Support Services Division  
820 Mililani Street, Suite 606  
Honolulu, Hawai'i 96813

ATTN: Ms. Jill Arizumi, Child Care Program Specialist

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A  
COMMUNITY TRAINING KITCHEN AT OHANA OLA O  
KAHUMANA, 86-433 KUWALE RD., WAI'ANAЕ, O'AHU, TMK  
8-6-006:001**

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*Senior Associate*

CATIE CULLISON, AICP  
*Senior Associate*

ROY TAKEMOTO  
*Managing Director - Hilo*

SCOTT MURAKAMI, ASLA, LEED®AP  
*Associate*

DACHENG DONG, LEED®AP  
*Associate*

MARC SHIMATSU, ASLA  
*Associate*

Dear Mr. Hirai:

Thank you for your letters dated February 29, 2016 (reference number 16-0067), and March 23, 2016 (reference number 16-0107), regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your participation in the environmental review process, and your input that your Department has no comment to offer at this time. Your letter will be included in the Draft Environmental Assessment (EA).

Sincerely,

PBR HAWAII

Catie Cullison  
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services  
Tom McDonald, Alternative Structures, Inc.

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GOVERNOR OF HAWAII



SUZANNE D. CASE  
CHAIRPERSON  
BOARD OF LAND AND NATURAL RESOURCES  
COMMISSION ON WATER RESOURCE  
MANAGEMENT

STATE OF HAWAII  
DEPARTMENT OF LAND AND NATURAL RESOURCES  
LAND DIVISION

POST OFFICE BOX 621  
HONOLULU, HAWAII 96809

March 17, 2016

PBR Hawaii & Associates, Inc.  
Attention: Ms. Catie Cullison  
1001 Bishop Street, Suite 650  
Honolulu, Hawaii 96813-3484

via email: [ccullison@pbrhawaii.com](mailto:ccullison@pbrhawaii.com)

Dear Ms. Cullison:

SUBJECT: Revised Pre-Assessment Consultant for the a Community Training Kitchen at Ohana Ola O Kahumana

Thank you for the opportunity to review and comment on the subject matter. The Department of Land and Natural Resources' (DLNR) Land Division distributed or made available a copy of your report pertaining to the subject matter to DLNR Divisions for their review and comments.

At this time, enclosed are comments from the (a) Engineering Division and (b) Land Division – Oahu District on the subject matter. Should you have any questions, please feel free to call Lydia Morikawa at 587-0410. Thank you.

Sincerely,

A handwritten signature in blue ink, appearing to read "Russell Y. Tsuji".

Russell Y. Tsuji  
Land Administrator

Enclosure(s)  
cc: Central Files



# PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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Mr. Russell Y. Tsuji  
Land Administrator  
State of Hawai'i  
Department of Land and Natural Resources  
Land Division  
P.O. Box 621  
Honolulu, Hawai'i 96809

Attn: Lydia Morikawa

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A COMMUNITY TRAINING KITCHEN AT OHANA OLA O KAHUMANA, 86-433 KUWALE RD., WAI'ANAЕ, O'AHU, TMK 8-6-006:001**

Dear Mr. Tsuji:

Thank you for your letter dated March 17, 2016, regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we provide the following responses to the comments from the Department of Land and Natural Resources (DLNR) Divisions listed below:

1. **Engineering Division.** We acknowledge the Engineering Division's comments that the project site, according to the Flood Insurance Rate Map (FIRM), is located in Zone D, and that the project must comply with the rules and regulations of the National Flood Insurance Program (NFIP) presented in Title 44 of the Code of Federal Regulations (44CFR), whenever development within a Special Flood Hazard Area is undertaken. This information will be noted in the Draft Environmental Assessment (EA).
2. **Land Division – O'ahu District.** We acknowledge that the Land Division – O'ahu District has no comments.

We value your participation in the environmental review process. Your letter will be included in the Draft EA. We will send you a copy of the Draft EA when it is available.

Sincerely,

PBR HAWAII

Catie Cullison  
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services  
Tom McDonald, Alternative Structures, Inc.

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1001 Bishop Street, Suite 650  
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STATE OF HAWAII  
DEPARTMENT OF LAND AND NATURAL RESOURCES  
**COMMISSION ON WATER RESOURCE MANAGEMENT**  
P.O. BOX 621  
HONOLULU, HAWAII 96809

March 14, 2016

REF: RFD.4341.3

TO: Catie Cullison, AICP  
PBR Hawaii & Associates, Inc.

FROM: Jeffrey T. Pearson, P.E., Deputy Director   
Commission on Water Resource Management

SUBJECT: Revised Pre-Assessment Consultation for a Community Training Kitchen at Ohana Ola O  
Kahumana, 86-433 Kuwale Rd., Waianae, Oahu

FILE NO.: RFD.4341.3  
TMK NO.: 8-6-006:001

Thank you for the opportunity to review the subject document. The Commission on Water Resource Management (CWRM) is the agency responsible for administering the State Water Code (Code). Under the Code, all waters of the State are held in trust for the benefit of the citizens of the State, therefore all water use is subject to legally protected water rights. CWRM strongly promotes the efficient use of Hawaii's water resources through conservation measures and appropriate resource management. For more information, please refer to the State Water Code, Chapter 174C, Hawaii Revised Statutes, and Hawaii Administrative Rules, Chapters 13-167 to 13-171. These documents are available via the Internet at <http://dlnr.hawaii.gov/cwrn>.

Our comments related to water resources are checked off below.

1. We recommend coordination with the county to incorporate this project into the county's Water Use and Development Plan. Please contact the respective Planning Department and/or Department of Water Supply for further information.
2. We recommend coordination with the Engineering Division of the State Department of Land and Natural Resources to incorporate this project into the State Water Projects Plan.
3. We recommend coordination with the Hawaii Department of Agriculture (HDOA) to incorporate the reclassification of agricultural zoned land and the redistribution of agricultural resources into the State's Agricultural Water Use and Development Plan (AWUDP). Please contact the HDOA for more information.
4. We recommend that water efficient fixtures be installed and water efficient practices implemented throughout the development to reduce the increased demand on the area's freshwater resources. Reducing the water usage of a home or building may earn credit towards Leadership in Energy and Environmental Design (LEED) certification. More information on LEED certification is available at <http://www.usgbc.org/leed>. A listing of fixtures certified by the EAP as having high water efficiency can be found at <http://www.epa.gov/watersense>.
5. We recommend the use of best management practices (BMP) for stormwater management to minimize the impact of the project to the existing area's hydrology while maintaining on-site infiltration and preventing polluted runoff from storm events. Stormwater management BMPs may earn credit toward LEED certification. More information on stormwater BMPs can be found at <http://hawaii.gov/dbedt/czm/initiative/lid.php>.
6. We recommend the use of alternative water sources, wherever practicable.
7. We recommend participating in the Hawaii Green Business Program, that assists and recognizes businesses that strive to operate in an environmentally and socially responsible manner. The program description can be found online at <http://energy.hawaii.gov/green-business-program>.
8. We recommend adopting landscape irrigation conservation best management practices endorsed by the Landscape Industry Council of Hawaii. These practices can be found online at



# PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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Mr. Jeffrey T. Pearson, P.E., Deputy Director  
State of Hawai'i  
Department of Land and Natural Resources  
Commission on Water Resource Management  
P.O. Box 621  
Honolulu, Hawai'i 96809

Attn: Ms. Lenore Ohye

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A  
COMMUNITY TRAINING KITCHEN AT OHANA OLA O  
KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK  
8-6-006:001**

Dear Mr. Pearson:

Thank you for your letter dated March 14, 2016 (reference number RFD.4341.3), regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your input, and provide the following responses to your comments.

We acknowledge your recommendations to: 1) install water efficient fixtures and implement water efficient practices throughout the development to reduce the increased demand on the area's freshwater resources; and 2) consider using water-efficient commercial equipment which can help to save both water and energy, as well as associated costs. The Draft Environmental Assessment (EA) will include discussions that address these points.

We value your participation in the environmental review process. Your letter will be included in the Draft EA. We will send you a copy of the Draft EA when it is available.

Sincerely,

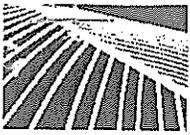
PBR HAWAII

Catie Cullison  
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services  
Tom McDonald, Alternative Structures, Inc.

- [http://www.hawaiiiscape.com/wp-content/uploads/2013/04/LICH\\_Irrigation\\_Conservation\\_BMPs.pdf](http://www.hawaiiiscape.com/wp-content/uploads/2013/04/LICH_Irrigation_Conservation_BMPs.pdf).
- 9. There may be the potential for ground or surface water degradation/contamination and recommend that approvals for this project be conditioned upon a review by the State Department of Health and the developer's acceptance of any resulting requirements related to water quality.
  - 10. The proposed water supply source for the project is located in a designated water management area, and a Water Use Permit is required prior to use of water. The Water Use Permit may be conditioned on the requirement to use dual line water supply systems for new industrial and commercial developments.
  - 11. A Well Construction Permit(s) is (are) are required before the commencement of any well construction work.
  - 12. A Pump Installation Permit(s) is (are) required before ground water is developed as a source of supply for the project.
  - 13. There is (are) well(s) located on or adjacent to this project. If wells are not planned to be used and will be affected by any new construction, they must be properly abandoned and sealed. A permit for well abandonment must be obtained.
  - 14. Ground-water withdrawals from this project may affect streamflows, which may require an instream flow standard amendment.
  - 15. A Stream Channel Alteration Permit(s) is (are) required before any alteration can be made to the bed and/or banks of a steam channel.
  - 16. A Stream Diversion Works Permit(s) is (are) required before any stream diversion works is constructed or altered.
  - 17. A Petition to Amend the Interim Instream Flow Standard is required for any new or expanded diversion(s) of surface water.
  - 18. The planned source of water for this project has not been identified in this report. Therefore, we cannot determine what permits or petitions are required from our office, or whether there are potential impacts to water resources.
- OTHER: Please consider using water-efficient commercial equipment which can help to save both water and energy, as well as associated costs. Please visit the U.S. Environmental Protection Agency's WaterSense website for commercial kitchens:  
<http://www3.epa.gov/watersense/commercial/bmps.html#tabs-kitchens>
- Energy Star products may also save water. Please visit their site at:  
[https://www.energystar.gov/products/commercial\\_food\\_service\\_equipment](https://www.energystar.gov/products/commercial_food_service_equipment)

If you have any questions, please contact Lenore Ohye of the Commission staff at 587-0216.



**PBR HAWAII**  
& ASSOCIATES, INC.

RECEIVED  
COMMISSION ON WATER  
RESOURCE MANAGEMENT

2016 FEB 22 PM 1:25

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DACHENG DONG, LEED<sup>®</sup> AP  
*Associate*

MARC SHIMATSU, ASLA  
*Associate*

CATIE CULLISON, AICP  
*Associate*

February 18, 2016

Mr. Jeffrey Pearson Deputy Director  
State of Hawaii CWRM  
Kalanimoku Building  
1151 Punchbowl Street  
Honolulu, HI 96809

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A COMMUNITY TRAINING KITCHEN AT OHANA OLA O KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK 8-6-006:001**

Dear Mr. Pearson,

Alternative Structures International, doing business as Kahumana, is proposing to develop a community training kitchen facility on City and County of Honolulu-owned property located at 86-433 Kuwale Rd., Wai'anae, O'ahu (see enclosed location map).

The kitchen is proposed on TMK 8-6-006:001, an approximately 12.5 acre parcel of land that is currently developed with transitional housing operated by Alternative Structures International called Ohana Ola O Kahumana. The kitchen is needed to maintain and expand Kahumana's vocational training program for homeless, extremely low-income, and developmentally disabled residents, while maintaining and increasing Kahumana's meal preparation for underprivileged children. The proposed development is expected to include a 7,000-9,000 square foot kitchen facility that is anticipated to house a central kitchen for vocational training and meal preparation program, a smaller instructional kitchen, and community incubator kitchen facilities for use by low-income or underemployed residents working to develop food-based micro-enterprises, associated parking and loading areas, and a new driveway access on Kuwale Road. Federal funds may be sought to fund a portion of the kitchen facility.

The project's use of County lands and the potential use of federal funds triggers State Environmental Impact Statement law (Chapter 343, HRS) and environmental documentation consistent with the National Environmental Policy Act (NEPA). On behalf of Kahumana, PBR HAWAII will be preparing environmental documentation for the proposed improvements.

We seek your input as to whether the proposed community kitchen may have an impact on any of your existing or proposed projects, plans, policies, or programs that we should consider when preparing the EA. Please send us any comments by **March 19, 2016**. You may mail your comments to:

HONOLULU OFFICE  
1001 Bishop Street, Suite 650  
Honolulu, Hawaii 96813-3484  
Tel: (808) 521-5631  
Fax: (808) 523-1402  
E-mail: sysadmin@pbr-hawaii.com

PBR HAWAII & Associates, Inc.  
Attn: Catie Cullison  
1001 Bishop Street, Suite 650  
Honolulu, HI 96813-3484

HILO OFFICE  
1719 Haleleke Street  
Hilo, Hawaii 96720-1553  
Tel/Cel: (808) 315-6878

Sincerely,  
PBR HAWAII  
  
Catie Cullison, AICP  
Planner  
Encl.

FILE ID: RFD. 43463  
DOC ID: 13830

DAVID Y. IGE  
GOVERNOR OF HAWAII



SUZANNE D. CASE  
CHAIRPERSON  
BOARD OF LAND AND NATURAL RESOURCES  
COMMISSION ON WATER RESOURCE MANAGEMENT



STATE OF HAWAII  
DEPARTMENT OF LAND AND NATURAL RESOURCES  
LAND DIVISION

POST OFFICE BOX 621  
HONOLULU, HAWAII 96809

February 23, 2016

MEMORANDUM

16 FEB 25 AM 10:34 ENGINEERING

TO: *FR*

**DLNR Agencies:**

- Div. of Aquatic Resources
- Div. of Boating & Ocean Recreation
- Engineering Division**
- Div. of Forestry & Wildlife
- Div. of State Parks
- Commission on Water Resource Management
- Office of Conservation & Coastal Lands
- Land Division – Oahu District
- Historic Preservation

RECEIVED  
LAND DIVISION  
2016 MAR -2 PM 12:00  
DEPT. OF LAND & NATURAL RESOURCES  
STATE OF HAWAII

FROM: *TD*  
SUBJECT:

Russell Y. Tsuji, Land Administrator  
REVISED Pre-assessment consultation for a community training kitchen at Ohana Ola O Kahumana, 86-433 Kuwale Road

LOCATION: Lualualei Homesteads, Waianae, Oahu; TMK: (1) 8-6-006:001  
APPLICANT: Alternative Structures International

Transmitted for your review and comment is information on the above-referenced project. We would appreciate your comments on this project. Please submit any comments by March 7, 2016.

If no response is received by this date, we will assume your agency has no comments. If you have any questions about this request, please contact Lydia Morikawa at 587-0410. Thank you.

- We have no objections.
- We have no comments.
- Comments are attached.

Signed:

Print name: Carty S. Chang, Chief Engineer  
Date: 3/1/16

cc: Central Files

**DEPARTMENT OF LAND AND NATURAL RESOURCES  
ENGINEERING DIVISION**

LD/ Russell Y. Tsuji

Ref.: **REVISED** Pre-assessment consultation for a community training kitchen at Ohana Ola O  
Kahumana, 86-433 Kuwale Road  
Oahu.018

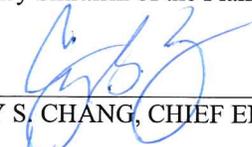
**COMMENTS**

- ( ) We confirm that the project site, according to the Flood Insurance Rate Map (FIRM), is located in Flood Zone \_\_\_\_.
- (X) **According to the Flood Insurance Rate Map (FIRM), the project site is located in Zones D. The National Flood Insurance Program regulates developments within Zones D. Applicable regulations are indicated in bold letters below.**
- ( ) The correct Flood Zone Designation for the project site according to the Flood Insurance Rate Map (FIRM) is \_\_\_\_.
- (X) **The project must comply with the rules and regulations of the National Flood Insurance Program (NFIP) presented in Title 44 of the Code of Federal Regulations (44CFR), whenever development within a Special Flood Hazard Area is undertaken. If there are any questions, please contact the State NFIP Coordinator, Ms. Carol Tyau-Beam, of the Department of Land and Natural Resources, Engineering Division at (808) 587-0267.**

**Be advised that 44CFR indicates the minimum standards set forth by the NFIP. Your Community's local flood ordinance may prove to be more restrictive and thus take precedence over the minimum NFIP standards. If there are questions regarding the local flood ordinances, please contact the applicable County NFIP Coordinators below:**

- (X) **Mr. Mario Siu Li at (808) 768-8098 of the City and County of Honolulu, Department of Planning and Permitting.**
- ( ) Mr. Carter Romero (Acting) at (808) 961-8943 of the County of Hawaii, Department of Public Works.
- ( ) Mr. Carolyn Cortez at (808) 270-7253 of the County of Maui, Department of Planning.
- ( ) Mr. Stanford Iwamoto at (808) 241-4846 of the County of Kauai, Department of Public Works.
- ( ) The applicant should include project water demands and infrastructure required to meet water demands. Please note that the implementation of any State-sponsored projects requiring water service from the Honolulu Board of Water Supply system must first obtain water allocation credits from the Engineering Division before it can receive a building permit and/or water meter.
- ( ) The applicant should provide the water demands and calculations to the Engineering Division so it can be included in the State Water Projects Plan Update.
- ( ) Additional Comments: \_\_\_\_\_  
\_\_\_\_\_
- ( ) Other: \_\_\_\_\_  
\_\_\_\_\_

Should you have any questions, please call Mr. Rodney Shiraishi of the Planning Branch at 587-0258.

Signed:   
CARTY S. CHANG, CHIEF ENGINEER

Date: 3/11/14



# Flood Hazard Assessment Report

www.hawaiiifip.org

Ohana Ola O Kahumana

## Property Information

COUNTY: HONOLULU \_\_\_\_\_  
 TMK NO: (1) 8-6-006:001 \_\_\_\_\_  
 WATERSHED: MAILILI \_\_\_\_\_  
 PARCEL ADDRESS: 86-704 LUALUALEI HMSTD RD \_\_\_\_\_  
 WAIANAE, HI 96792 \_\_\_\_\_

## Notes:

## Flood Hazard Information

FIRM INDEX DATE: NOVEMBER 05, 2014  
 LETTER OF MAP CHANGE(S): NONE  
 FEMA FIRM PANEL - EFFECTIVE DATE: 15003C0185G - JANUARY 19, 2011  
 15003C0205F - PANEL NOT PRINTED

THIS PROPERTY IS WITHIN A TSUNAMI EVACUATION ZONE: NO  
 FOR MORE INFO, VISIT: <http://www.scd.hawaii.gov/>

THIS PROPERTY IS WITHIN A DAM EVACUATION ZONE: NO  
 FOR MORE INFO, VISIT: <http://dlnreng.hawaii.gov/dam/>



*Disclaimer: The Hawaii Department of Land and Natural Resources (DLNR) assumes no responsibility arising from the use, accuracy, completeness, and timeliness of any information contained in this report. Viewers/Users are responsible for verifying the accuracy of the information and agree to indemnify the DLNR, its officers, and employees from any liability which may arise from its use of its data or information.*

*If this map has been identified as 'PRELIMINARY', please note that it is being provided for informational purposes and is not to be used for flood insurance rating. Contact your county floodplain manager for flood zone determinations to be used for compliance with local floodplain management regulations.*

### FLOOD HAZARD ASSESSMENT TOOL LAYER LEGEND (Note: legend does not correspond with NFHL)

**SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD** - The 1% annual chance flood (100-year), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. SFHAs include Zone A, AE, AH, AO, V, and VE. The Base Flood Elevation (BFE) is the water surface elevation of the 1% annual chance flood. Mandatory flood insurance purchase applies in these zones:

	<b>Zone A:</b> No BFE determined.
	<b>Zone AE:</b> BFE determined.
	<b>Zone AH:</b> Flood depths of 1 to 3 feet (usually areas of ponding); BFE determined.
	<b>Zone AO:</b> Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined.
	<b>Zone V:</b> Coastal flood zone with velocity hazard (wave action); no BFE determined.
	<b>Zone VE:</b> Coastal flood zone with velocity hazard (wave action); BFE determined.
	<b>Zone AEF:</b> Floodway areas in Zone AE. The floodway is the channel of stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without increasing the BFE.

**NON-SPECIAL FLOOD HAZARD AREA** - An area in a low-to-moderate risk flood zone. No mandatory flood insurance purchase requirements apply, but coverage is available in participating communities.

	<b>Zone XS (X shaded):</b> Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.
	<b>Zone X:</b> Areas determined to be outside the 0.2% annual chance floodplain.

### OTHER FLOOD AREAS

	<b>Zone D:</b> Unstudied areas where flood hazards are undetermined, but flooding is possible. No mandatory flood insurance purchase apply, but coverage is available in participating communities.
--	---

DAVID Y. IGE  
GOVERNOR OF HAWAII



SUZANNE D. CASE  
CHAIRPERSON  
BOARD OF LAND AND NATURAL RESOURCES  
COMMISSION ON WATER RESOURCE MANAGEMENT



**STATE OF HAWAII**  
**DEPARTMENT OF LAND AND NATURAL RESOURCES**  
**LAND DIVISION**

POST OFFICE BOX 621  
HONOLULU, HAWAII 96809

February 23, 2016

**MEMORANDUM**

*From: JG:*

**DLNR Agencies:**

- Div. of Aquatic Resources
- Div. of Boating & Ocean Recreation
- Engineering Division
- Div. of Forestry & Wildlife
- Div. of State Parks
- Commission on Water Resource Management
- Office of Conservation & Coastal Lands
- Land Division – Oahu District
- Historic Preservation

DEPT. OF LAND &  
NATURAL RESOURCES  
STATE OF HAWAII

2016 MAR - 7 AM 7:38

RECEIVED  
LAND DIVISION

*To:* FROM:

SUBJECT:

Russell Y. Tsuji, Land Administrator  
REVISED Pre-assessment consultation for a community training kitchen at  
Ohana Ola O Kahumana, 86-433 Kuwale Road

LOCATION: Lualualei Homesteads, Waianae, Oahu; TMK: (1) 8-6-006:001  
APPLICANT: Alternative Structures International

Transmitted for your review and comment is information on the above-referenced project. We would appreciate your comments on this project. Please submit any comments by March 7, 2016.

If no response is received by this date, we will assume your agency has no comments. If you have any questions about this request, please contact Lydia Morikawa at 587-0410. Thank you.

- ( ) We have no objections.
- (  ) We have no comments.
- ( ) Comments are attached.

Signed: T. Chee

Print name: Timothy Chee

Date: 2/25/16

cc: Central Files

DAVID Y. IGE  
Governor

SHAN S. TSUTSUI  
Lt. Governor



SCOTT E. ENRIGHT  
Chairperson, Board of Agriculture

PHYLLIS SHIMABUKURO-GEISER  
Deputy to the Chairperson

State of Hawaii  
DEPARTMENT OF AGRICULTURE  
1428 South King Street  
Honolulu, Hawaii 96814-2512  
Phone: (808) 973-9600 FAX: (808) 973-9613

March 11, 2016

Ms. Catie Cullison, AICP  
Planner  
PBR Hawaii & Associates, Inc.  
1001 Bishop St., Suite 650  
Honolulu, Hawaii 96813

Dear Ms. Cullison:

Subject: Pre-Assessment Consultation for a Community Training Kitchen at Ohana Ola O Kahumana, 86-600 Lualualei Homestead R. Waianae, Oahu, TMK: 8-6-001:001

The Hawaii Department of Agriculture (HDOA) has reviewed the February 8, 2016, Pre-assessment consultation request letter from PBR Hawaii (PBR Letter), and the September 15, 2015 letter from Alternative Structures International (Alternative Structures Letter), and offers the following comments.

### **General Information**

Alternative Structures International, dba "Kahumana" (applicant) wants to build a commercial kitchen on 12.38 acres (subject property) that currently houses about 48 formerly homeless families on approximately 5.88 acres of the property. (Alternative Structures Letter). The subject property is zoned as AG-1 (Restricted Agriculture) by the City and is within the Agricultural Boundary according to the Waianae Sustainable Communities Plan. (2012 Waianae Sustainable Communities plan, Appendix A-10). The housing complex was built in 2 phases, the first in 1989 and the second in 2000. (Alternative Structures Letter). Both phases were approved by City Council Resolutions (Resolution 89-351, Resolution 00-198) that exempted them from certain planning, zoning, and development standards.

From the information provided, it seems the purpose of having a commercial kitchen at Kahumana is to: (1) fulfill contracts to prepare meals for underprivileged children; (2) vocational training for homeless/low income/developmentally disabled residents; and (3), synergize with the existing organic farm on one of their other campuses and the planned organic farm in the Ohana Ola campus. (Project Description, p. 2).

### **Applicant's Proposal**

The applicant is currently seeking confirmation from the City Department of Community Services (DCS) and the City Department of Planning and Permitting that they do not need to go through the permitting process, because the exemptions received by the earlier City Council resolutions carry forward to the present proposal. (PBR Letter). In the alternative, the applicant



plans to work with DCS to draft a City Council Resolution exempting the project from certain planning, zoning, and development standards. (Alternative Structures Letter).

**Comments and Recommendations**

The Department of Agriculture is very concerned about the applicant's plan to claim continued exemption for the proposed project under the earlier City Council resolutions, or to draft a new City Council Resolution in order to exempt the proposed project from the City's standards. The draft environmental assessment (DEA) should explain why this is necessary and identify other options available to seek approval. The Department prefers that Kahumana, a mature and well established entity, go through the normal permitting process which ensures the production of information and facts for review and due diligence by the County and State.

Lands in active agricultural use exist to the north, west, and south of the project site. To the east of the project site, separated by Kuwale road, is a residential complex and a church. The Department notes that in 2015, the applicant has contacted eight landowners and four renters surrounding the Ohana Ola campus to discuss plans for the project site (PBR Letter). The Department recommends that the applicant fully inform the surrounding neighbors on the proposed project and to provide them opportunity to comment.

Additionally, we recommend the DEA fully describe the functional linkage between the proposed commercial kitchen and the agricultural activities within the land the applicant manages in Lualualei Valley. Please include detailed information on the total acreage the applicant currently farms or plans to farm once the commercial kitchen is in operation, the number of workers the applicant plans to hire and/or train for meal preparation, what portion of each meal is planned to be sourced from the applicant's agricultural production, the estimated amount of agricultural products the farms are expected to produce per month, the estimated amount of agricultural products to be used at the proposed commercial kitchen, the list of current and potential clients the meals are being produced for, and a plan to address applicable food safety standards for fresh produce in their meals.

Should you have any questions, please contact Earl Yamamoto at 973-9466, or by email at earl.j.yamamoto@hawaii.gov.

Sincerely,  
  
Scott E. Enright  
Chairperson, Board of Agriculture

c: Department of Planning and Permitting, City and County of Honolulu  
Department of Community Services, City and County of Honolulu



# PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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*Senior Associate*

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*Managing Director - Hilo*

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*Associate*

DACHENG DONG, LEED® AP  
*Associate*

MARC SHIMATSU, ASLA  
*Associate*

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Fax: (808) 523-1402  
E-mail: sysadmin@pbrhawaii.com

**HILO OFFICE**

1719 Haleloke Street  
Hilo, Hawai'i 96720-1553  
Tel/Cel: (808) 315-6878

*printed on recycled paper*

Mr. Scott E. Enright  
Chairperson, Board of Agriculture  
State of Hawai'i  
Department of Agriculture  
1428 South King Street  
Honolulu, Hawai'i 96814-2512

Attn: Mr. Earl Yamamoto

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A  
COMMUNITY TRAINING KITCHEN AT OHANA OLA O  
KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK  
8-6-006:001**

Dear Mr. Enright:

Thank you for your letter dated March 11, 2016, regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your input, and provide the following responses:

- Please note that the project description has since been revised, such that the incubator kitchen and training kitchen have been eliminated from the proposed project. There is now only one kitchen, which will provide job training to people primarily from the Ohana Ola 'O Kahumana (Ohana Ola) transitional housing. It is believed that this revised concept will qualify the Community Training Kitchen as one of Ohana Ola's "community facilities," which is defined under 201H-1 as "buildings, equipment, lands, and grounds for recreational or social assemblies, or educational, health, or welfare purposes."
- We acknowledge your concern regarding the plan to claim continued exemption for the proposed project under the earlier City Council resolutions, or to draft a new City Council Resolution in order to exempt the proposed project from the City's standards. The Draft Environmental Assessment (EA) will explain why the Kitchen is a logical community support facility for Ohana Ola and functionally relevant to the farm uses at Kahumana. A new 201H application will be submitted to the City and County of Honolulu to for this community facility.
- The Draft EA will describe the functional linkage between the proposed commercial kitchen and the agricultural activities within the land managed by Kahumana in Lualualei Valley.

July 27, 2016

Mr. Scott Enright

SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A COMMUNITY TRAINING  
KITCHEN AT OHANA OLA 'O KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK  
8-6-006:001

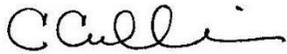
Page 2 of 2

- Following your recommendation, Ohana Ola 'O Kahumana's surrounding neighbors will be kept fully informed on the proposed project and will be provided opportunity to comment.

We value your participation in the environmental review process. Your letter will be included in the Draft EA. We will send you a copy of the Draft EA when it is available.

Sincerely,

PBR HAWAII



Catie Cullison  
Senior Associate

Cc:

DAVID Y. IGE  
GOVERNOR



ARTHUR J. LOGAN  
MAJOR GENERAL  
ADJUTANT GENERAL

KENNETH S. HARA  
BRIGADIER GENERAL  
DEPUTY ADJUTANT GENERAL

STATE OF HAWAII  
**DEPARTMENT OF DEFENSE**  
OFFICE OF THE ADJUTANT GENERAL  
3949 DIAMOND HEAD ROAD  
HONOLULU, HAWAII 96816-4495

March 14, 2016

PBR HAWAII & Associates, Inc.  
1001 Bishop Street  
ASB Tower, Suite 650  
Honolulu, Hawai'i 96813

Attention: Ms. Katie Cullison, AICP

Subject: Pre-Assessment Consultation for a Community Training Kitchen at Ohana Ola O  
Kahumana, 86-433 Kuwale Road, Waianae, Oahu, TMK: 8-6-006:001

Dear Ms. Cullison:

Thank you for the opportunity to comment on the above project.

The Department of Defense, Hawaii Emergency Management Agency (HIEMA) has determined that no disaster warning siren coverage exists for the project location. Therefore, as part of the proposed development, Kahumana shall install one (1) solar-powered 121 db(c) omni-directional siren on the property to provide the necessary siren coverage.

In addition, Kahumana shall:

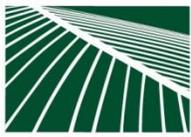
- a. Work with HIEMA staff regarding the specific siren requirements and its proper location,
- b. Obtain all necessary permits for the siren's installation,
- c. Obtain the approval of the City & County of Honolulu to enter into a license agreement, and
- d. Provide the State with a surveyed easement that will allow HIEMA's staff, agents and contractors to access and maintain the siren.

Should there be any questions or concerns, please have your staff contact Mr. George Burnett, Telecommunications Branch Chief, HIEMA at 733-4250.

Sincerely,

  
ARTHUR J. LOGAN  
Major General  
Hawaii National Guard  
Adjutant General

c: Mr. George Burnett, HIEMA  
Ms. Havinne Okamura, HIEMA



# PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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**HILO OFFICE**  
1719 Haleloke Street  
Hilo, Hawai'i 96720-1553  
Tel/Cel: (808) 315-6878

*printed on recycled paper*

Maj. Gen. Arthur J. Logan, Adjutant General  
Department of Defense, State of Hawai'i  
Office of the Adjutant General  
3949 Diamond Head Road  
Honolulu, Hawai'i 96816-4495

Attn: Mr. George Burnett, Telecommunications Branch Chief, HIEMA

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A  
COMMUNITY TRAINING KITCHEN AT OHANA OLA O  
KAHUMANA, 86-433 KUWALE RD., WAI'ANAЕ, O'AHU, TMK  
8-6-006:001**

Dear Maj. Gen. Logan:

Thank you for your letter dated March 14, 2016, regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your input, and we acknowledge your suggestion to install a solar-powered 121 db(c) omni-directional siren on the property.

Alternative Structures International leases this property from the City and County of Honolulu. Should the State desire to install a siren on the City's property, the proposed project does not preclude this opportunity.

We value your participation in the environmental review process. Your letter will be included in the Draft EA. We will send you a copy of the Draft EA when it is available.

Sincerely,

PBR HAWAII

Catie Cullison  
Senior Associate

Cc:

DAVID Y. IGE  
GOVERNOR OF HAWAII



VIRGINIA PRESSLER, M.D.  
DIRECTOR OF HEALTH

STATE OF HAWAII  
DEPARTMENT OF HEALTH  
P. O. BOX 3378  
HONOLULU, HI 96801-3378

In reply, please refer to:  
EMD/CWB

03009PNN.16

March 7, 2016

Ms. Catie Cullison, AICP  
Planner  
PBR Hawaii & Associates, Inc.  
1001 Bishop Street, Suite 650  
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

**SUBJECT: Comments on the Pre-Assessment Consultation for a Community Training Kitchen at Ohana Ola O Kahumana  
TMK: (1) 8-6-001:001  
Waianae, Island of Oahu, Hawaii**

The Department of Health (DOH), Clean Water Branch (CWB), acknowledges receipt of your transmittal, dated February 8, 2016, requesting comments on your project. The DOH-CWB has reviewed the subject document and offers these comments. Please note that our review is based solely on the information provided in the subject document and its compliance with the Hawaii Administrative Rules (HAR), Chapters 11-54 and 11-55. You may be responsible for fulfilling additional requirements related to our program. We recommend that you also read our standard comments on our website at: <http://health.hawaii.gov/epo/files/2013/05/Clean-Water-Branch-Std-Comments.pdf>.

1. Any project and its potential impacts to State waters must meet the following criteria:
  - a. Antidegradation policy (HAR, Section 11-54-1.1), which requires that the existing uses and the level of water quality necessary to protect the existing uses of the receiving State water be maintained and protected.
  - b. Designated uses (HAR, Section 11-54-3), as determined by the classification of the receiving State waters.
  - c. Water quality criteria (HAR, Sections 11-54-4 through 11-54-8).
2. You may be required to obtain National Pollutant Discharge Elimination System (NPDES) permit coverage for discharges of wastewater, including storm water runoff, into State surface waters (HAR, Chapter 11-55).

For NPDES general permit coverage, a Notice of Intent (NOI) form must be submitted at least 30 calendar days before the commencement of the discharge. An application for an NPDES individual permit must be submitted at least 180 calendar days before the commencement of the discharge. To request NPDES permit coverage, you must submit the applicable form ("CWB Individual NPDES Form" or "CWB NOI Form") through the e-Permitting Portal and the hard copy certification statement with the respective filing fee (\$1,000 for an individual NPDES permit or \$500 for a Notice of General Permit Coverage). Please open the e-Permitting Portal website located at: <https://eha-cloud.doh.hawaii.gov/epermit/>. You will be asked to do a one-time registration to obtain your login and password. After you register, click on the Application Finder tool and locate the appropriate form. Follow the instructions to complete and submit the form.

3. If your project involves work in, over, or under waters of the United States, it is highly recommended that you contact the Army Corp of Engineers, Regulatory Branch (Tel: 835-4303) regarding their permitting requirements.

Pursuant to Federal Water Pollution Control Act [commonly known as the "Clean Water Act" (CWA)], Paragraph 401(a)(1), a Section 401 Water Quality Certification (WQC) is required for "[a]ny applicant for Federal license or permit to conduct any activity including, but not limited to, the construction or operation of facilities, which may **result** in any discharge into the navigable waters..." (emphasis added). The term "discharge" is defined in CWA, Subsections 502(16), 502(12), and 502(6); Title 40 of the Code of Federal Regulations, Section 122.2; and HAR, Chapter 11-54.

4. Please note that all discharges related to the project construction or operation activities, whether or not NPDES permit coverage and/or Section 401 WQC are required, must comply with the State's Water Quality Standards. Noncompliance with water quality requirements contained in HAR, Chapter 11-54, and/or permitting requirements, specified in HAR, Chapter 11-55, may be subject to penalties of \$25,000 per day per violation.
5. It is the State's position that all projects must reduce, reuse, and recycle to protect, restore, and sustain water quality and beneficial uses of State waters. Project planning should:
  - a. Treat storm water as a resource to be protected by integrating it into project planning and permitting. Storm water has long been recognized as a source of irrigation that will not deplete potable water resources. What is often overlooked is that storm water recharges ground water supplies and feeds streams and estuaries; to ensure that these water cycles are not disrupted, storm water cannot be relegated as a waste product of impervious surfaces. Any project

planning must recognize storm water as an asset that sustains and protects natural ecosystems and traditional beneficial uses of State waters, like community beautification, beach going, swimming, and fishing. The approaches necessary to do so, including low impact development methods or ecological bio-engineering of drainage ways must be identified in the planning stages to allow designers opportunity to include those approaches up front, prior to seeking zoning, construction, or building permits.

- b. Clearly articulate the State's position on water quality and the beneficial uses of State waters. The plan should include statements regarding the implementation of methods to conserve natural resources (e.g., minimizing potable water for irrigation, gray water re-use options, energy conservation through smart design) and improve water quality.
- c. Consider storm water Best Management Practice (BMP) approaches that minimize the use of potable water for irrigation through storm water storage and reuse, percolate storm water to recharge groundwater to revitalize natural hydrology, and treat storm water which is to be discharged.
- d. Consider the use of green building practices, such as pervious pavement and landscaping with native vegetation, to improve water quality by reducing excessive runoff and the need for excessive fertilization, respectively.
- e. Identify opportunities for retrofitting or bio-engineering existing storm water infrastructure to restore ecological function while maintaining, or even enhancing, hydraulic capacity. Particular consideration should be given to areas prone to flooding, or where the infrastructure is aged and will need to be rehabilitated.

If you have any questions, please visit our website at:  
<http://health.hawaii.gov/cwb>, or contact the Engineering Section, CWB, at (808) 586-4309.

Sincerely,

  
ALEC WONG, P.E., CHIEF  
Clean Water Branch

NN:ak

c: DOH-EPO #16-050 [via e-mail [Noella.Narimatsu@doh.hawaii.gov](mailto:Noella.Narimatsu@doh.hawaii.gov) only]



July 27, 2016

**PRINCIPALS**

THOMAS S. WITTEN, FASLA  
*Chairman*

R. STAN DUNCAN, ASLA  
*President*

RUSSELL Y. J. CHUNG, FASLA, LEED®AP BD+C  
*Executive Vice-President*

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Mr. Alec Wong, P.E., Chief  
State of Hawai'i  
Department of Health  
Clean Water Branch  
P.O. Box 3378  
Honolulu, Hawai'i 96801-3378

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A  
COMMUNITY TRAINING KITCHEN AT OHANA OLA O  
KAHUMANA, 86-433 KUWALE RD., WAI'ANAЕ, O'AHU, TMK  
8-6-006:001**

Dear Mr. Wong:

Thank you for your letter dated March 7, 2016 (reference number EMD/CWB 03009PNN.16), regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we have reviewed the Department of Health (DOH) Clean Water Branch's (CWB) standard comments on your website. We understand that all standard comments specifically applicable to the proposed project must be adhered to. We provide the following responses:

- Potential Impacts to State Waters.** Any potential impacts to the waters off the coast makai of the project site caused by the construction and/or operation of the proposed project will meet the provisions of the: a) anti-degradation policy (Chapter 11-54-1.1, HAR); b) designated uses (Chapter 11-54-3, HAR); and c) water quality criteria (Chapter 11.54-4 through 11-54-8, HAR). However, direct discharges of storm water runoff into marine waters are not expected to occur due to Best Management Practices to reduce airborne dust and waterborne silt during construction, and due to the distance from the shoreline.
- National Pollutant Discharge Elimination System permit coverage.** If the area to be disturbed will be greater than one acre, a National Pollutant Discharge Elimination System (NPDES) permit for Storm Water Associated with Construction Activity will be necessary. An application/notice of intent of coverage under the general construction permit will be submitted at least 30 days prior to construction activities that will create discharge. Additionally, during the design phase the project team will further assess if the completed project will require an individual NPDES permit and submit the required application and documentation 180 days prior to the completion of construction or discharge (whichever is sooner).
- Clean Water Act.** Pursuant to the "Clean Water Act," a Section 401 Water Quality Certification from the State Department of Health, Clean Water Branch will be obtained if it is determined that the project may result in any discharge into navigable waters or as otherwise triggered.
- State Water Quality Standards (Chapter 11-54 and 11-55, HAR).** All discharges related to the construction and operation of the proposed project will comply with the State's Water Quality requirements contained in Chapters 11-54 and 11-55, HAR.

July 27, 2016

Mr. Alec Wong

SUBJECT:REVISED PRE-ASSESSMENT CONSULTATION FOR A COMMUNITY TRAINING KITCHEN AT OHANA OLA O KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK 8-6-006:001

Page 2 of 2

5. **The State's position on water quality.** We acknowledge that water is a limited resource that needs to be managed appropriately and not wasted. We concur with the State's position that projects must reduce, reuse, and recycle to protect, restore, and sustain water quality and beneficial uses of State waters. Project planning will:
  - a. Treat storm water as a resource through management strategies such as low-impact development methods or bio-engineering of drainage ways, in order to maintain or improve hydraulic capacity;
  - b. Clearly articulate the State's position on water quality and the beneficial uses of State waters, and include statements regarding the implementation of methods to conserve natural resources and improve water quality; and
  - c. Consider the use of storm water Best Management Practice (BMP) approaches, as well as green building practices.

We value your participation in the environmental review process. Your letter will be included in the Draft Environmental Assessment (EA). We will send you a copy of the Draft EA when it is available.

Sincerely,

PBR HAWAII



Catie Cullison  
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services  
Tom McDonald, Alternative Structures, Inc.



STATE OF HAWAII  
DEPARTMENT OF HEALTH  
P. O. BOX 3378  
HONOLULU, HI 96801-3378

In reply, please refer to:  
File:  
EPO 16-050

February 24, 2016

Ms. Catie Cullison  
PBR Hawaii & Associates, Inc.  
1001 Bishop Street, Suite 650  
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

**SUBJECT: Pre-Assessment Consultation (PAC) for a Community Training Kitchen at Ohana Ola O Kahumana, Waianae, Oahu**  
**TMK: 8-6-001:001**

The Department of Health (DOH), Environmental Planning Office (EPO), acknowledges receipt of your PAC to our office on February 12, 2016. Thank you for allowing us to review and comment of the proposed project. The PAC was routed to the Clean Water, Waste Water, and Sanitation Branches. They will provide specific comments to you if necessary. EPO recommends that you review the standard comments and available strategies to support sustainable and healthy design provided at: <http://health.hawaii.gov/epo/landuse>. Projects are required to adhere to all applicable standard comments.

EPO also encourages you to examine and utilize the Hawaii Environmental Health Portal. The portal provides links to our e-Permitting Portal, Environmental Health Warehouse, Groundwater Contamination Viewer, Hawaii Emergency Response Exchange, Hawaii State and Local Emission Inventory System, Water Pollution Control Viewer, Water Quality Data, Warnings, Advisories and Postings. The Portal is continually updated. Please visit it regularly at: <https://eha-cloud.doh.hawaii.gov>.

We request that you utilize all of this information on your proposed project to increase sustainable, innovative, inspirational, transparent and healthy design.

Mahalo nui loa,

Laura Leialoha Phillips McIntyre, AICP  
Program Manager, Environmental Planning Office

Attachments: OEQC viewer: <http://eha-web.doh.hawaii.gov/oeqc-viewer>  
U.S. EPA EJScreen Map, 3 page report: <http://www2.epa.gov/ejscreen>

c: DOH: CWB, WWB, SAN {via email only}

waianae 23 sites found

Results Filter

Biocontrol Strawberry Guava (FEA-FONSI) Environmental Assessment (Agency)

Interisland Renewable Energy Wind (FEA-EISPN) Environmental Impact Statement (Agency)

Hawaii Statewide Fish Aggregating System (FEA-FONSI) Environmental Assessment (Agency)

Nettle Caterpillar (FEA-FONSI) Environmental Assessment (Agency)

Papahānaumokuākea Management Plan (FEA-FONSI) Environmental Assessment (Agency)

Statewide Fish Aggregating Device Program (DEA-AFNSI) Environmental Assessment (Agency)

Farrington Hwy Imp Nansakuli (DEA-AFNSI) Environmental Assessment (Agency)

Field Release *Fopius* Biocontrol of Medfly (DEA-AFNSI) Environmental Assessment (Agency)

SANDWICH ISLES COMM SUB FIBER OPTIC CABLE (FEA-FONSI) Environmental Assessment (Applicant)

Field Release of *Eurytoma* *Erythrina* Gall Wasp Biocontrol (FEA-FONSI) Environmental Assessment (Agency)

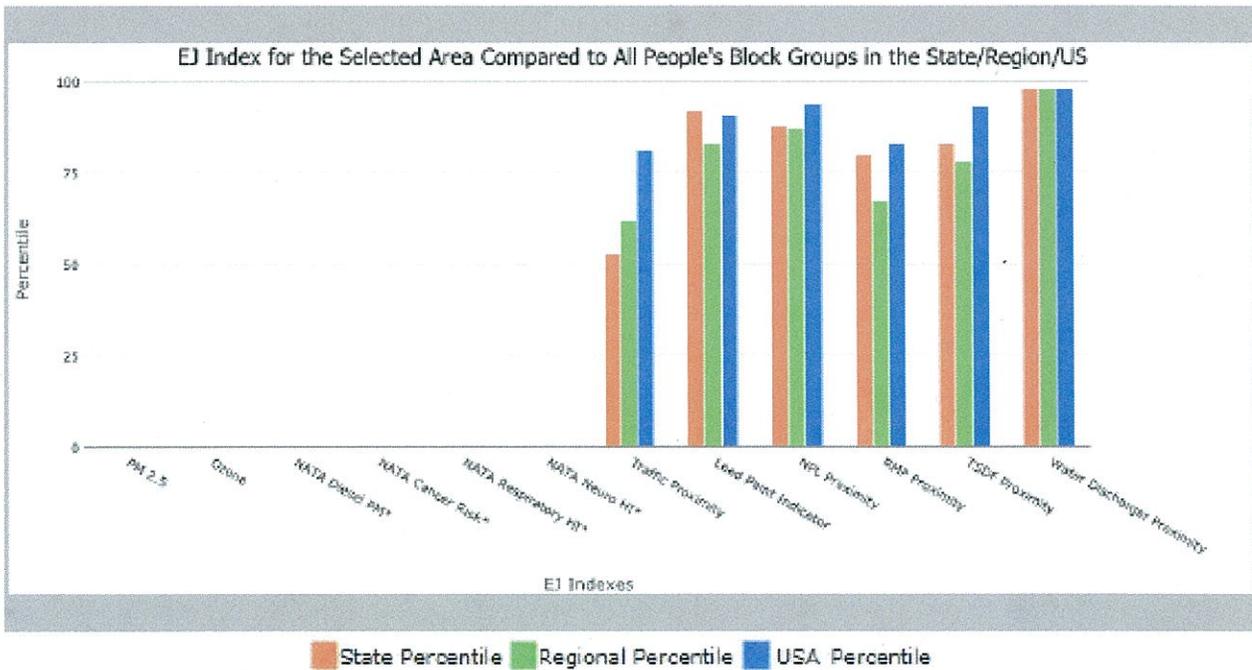




for 1 mile Ring Centered at 21.441969,-158.153050, HAWAII, EPA Region 9

Approximate Population: 2064

Selected Variables	State Percentile	EPA Region Percentile	USA Percentile
<b>EJ Indexes</b>			
EJ Index for PM2.5	N/A	N/A	N/A
EJ Index for Ozone	N/A	N/A	N/A
EJ Index for NATA Diesel PM*	N/A	N/A	N/A
EJ Index for NATA Air Toxics Cancer Risk*	N/A	N/A	N/A
EJ Index for NATA Respiratory Hazard Index*	N/A	N/A	N/A
EJ Index for NATA Neurological Hazard Index*	N/A	N/A	N/A
EJ Index for Traffic Proximity and Volume	53	62	81
EJ Index for Lead Paint Indicator	92	83	91
EJ Index for Proximity to NPL sites	88	87	94
EJ Index for Proximity to RMP sites	80	67	83
EJ Index for Proximity to TSDFs	83	78	93
EJ Index for Proximity to Major Direct Dischargers	98	98	98



This report shows environmental, demographic, and EJ indicator values. It shows environmental and demographic raw data (e.g., the estimated concentration of ozone in the air), and also shows what percentile each raw data value represents. These percentiles provide perspective on how the selected block group or buffer area compares to the entire state, EPA region, or nation. For example, if a given location is at the 95th percentile nationwide, this means that only 5 percent of the US population has a higher block group value than the average person in the location being analyzed. The years for which the data are available, and the methods used, vary across these indicators. Important caveats and uncertainties apply to this screening-level information, so it is essential to understand the limitations on appropriate interpretations and applications of these indicators. Please see EJSCREEN documentation for discussion of these issues before using reports.

# EJSCREEN Report

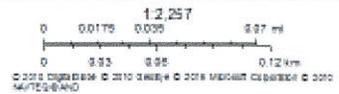


for 1 mile Ring Centered at 21.441969, -158.153050, HAWAII, EPA Region 9

Approximate Population: 2064



February 23, 2016  
+ Digitized Point



Selected Variables	Raw Data	State Avg.	%ile in State	EPA Region Avg.	%ile in EPA Region	USA Avg.	%ile in USA
<b>Environmental Indicators</b>							
Particulate Matter (PM 2.5 in $\mu\text{g}/\text{m}^3$ )	N/A	N/A	N/A	9.95	N/A	9.78	N/A
Ozone (ppb)	N/A	N/A	N/A	49.7	N/A	46.1	N/A
NATA Diesel PM ( $\mu\text{g}/\text{m}^3$ ) <sup>*</sup>	N/A	N/A	N/A	N/A	N/A	N/A	N/A
NATA Cancer Risk (lifetime risk per million) <sup>*</sup>	N/A	N/A	N/A	N/A	N/A	N/A	N/A
NATA Respiratory Hazard Index <sup>*</sup>	N/A	N/A	N/A	N/A	N/A	N/A	N/A
NATA Neurological Hazard Index <sup>*</sup>	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Traffic Proximity and Volume (daily traffic count/distance to road)	23	280	25	190	23	110	39
Lead Paint Indicator (% Pre-1960 Housing)	0.23	0.17	67	0.25	58	0.3	52
NPL Proximity (site count/km distance)	0.09	0.092	71	0.11	67	0.096	71
RMP Proximity (facility count/km distance)	0.093	0.18	48	0.41	20	0.31	32
TSDF Proximity (facility count/km distance)	0.057	0.092	45	0.12	47	0.054	78
Water Discharger Proximity (facility count/km distance)	0.67	0.33	88	0.19	95	0.25	92
<b>Demographic Indicators</b>							
Demographic Index	64%	51%	86	46%	75	35%	85
Minority Population	95%	77%	86	57%	90	36%	94
Low Income Population	32%	25%	70	35%	51	34%	52
Linguistically Isolated Population	1%	6%	30	9%	23	5%	50
Population With Less Than High School Education	18%	10%	85	18%	58	14%	69
Population Under 5 years of age	8%	6%	72	7%	63	7%	68
Population over 64 years of age	11%	14%	36	12%	57	13%	47

<sup>\*</sup> The National-scale Air Toxics Assessment (NATA) environmental indicators and EJ indexes, which include cancer risk, respiratory hazard, neurodevelopment hazard, and diesel particulate matter will be added into EJSCREEN during the first full public update after the soon-to-be-released 2011 dataset is made available. The National-Scale Air Toxics Assessment (NATA) is EPA's ongoing, comprehensive evaluation of air toxics in the United States. EPA developed the NATA to prioritize air toxics, emission sources, and locations of interest for further study. It is important to remember that NATA provides broad estimates of health risks over geographic areas of the country, not definitive risks to specific individuals or locations. More information on the NATA analysis can be found at: <http://www.epa.gov/ttn/atw/natamain/index.html>.

For additional information, see: [www.epa.gov/environmentaljustice](http://www.epa.gov/environmentaljustice)

EJSCREEN is a screening tool for pre-decisional use only. It can help identify areas that may warrant additional consideration, analysis, or outreach. It does not provide a basis for decision-making, but it may help identify potential areas of EJ concern. Users should keep in mind that screening tools are subject to substantial uncertainty in their demographic and environmental data, particularly when looking at small geographic areas. Important caveats and uncertainties apply to this screening-level information, so it is essential to understand the limitations on appropriate interpretations and applications of these indicators. Please see EJSCREEN documentation for discussion of these issues before using reports. This screening tool does not provide data on every environmental impact and demographic factor that may be relevant to a particular location. EJSCREEN outputs should be supplemented with additional information and local knowledge before taking any action to address potential EJ concerns.



July 27, 2016

**PRINCIPALS**

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*President*

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Ms. Laura Leialoha Phillips McIntyre, AICP  
Program Manager, Environmental Planning Office  
State of Hawai'i  
Department of Health  
P.O. Box 3378  
Honolulu, Hawai'i 96801-3378

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A  
COMMUNITY TRAINING KITCHEN AT OHANA OLA O  
KAHUMANA, 86-433 KUWALE RD., WAI'ANAЕ, O'AHU, TMK  
8-6-006:001**

Dear Ms. McIntyre:

Thank you for your letter dated February 24, 2016 (reference number EPO 16-050), regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we have reviewed the Environmental Planning Office's (EPO) standard comments relating to Environmental Health programs. We understand that all standard comments specifically applicable to the proposed project must be adhered to. The organization of this letter follows the list of standard comments on your website.

**Clean Air Branch**

We acknowledge that there is a potential for fugitive dust emissions during all phases of construction and operations. The Draft EA will address construction-related impacts related to fugitive dust. All construction activities will comply with the provisions of Section 11-60.1-33, Hawaii Administrative Rules (HAR) related to Fugitive Dust. Adequate measures to control dust during various phases of construction will be required to be implemented by the general contractor to effect the project's development.

**Clean Water Branch**

We have reviewed and understand the standard comments provided by the Clean Water Branch (CWB).

- i. **Potential Impacts to State Waters.** Any potential impacts to the waters off the coast makai of the project site caused by the construction and/or operation of the proposed project will meet the provisions of the: a) anti-degradation policy (Chapter 11-54-1.1, HAR); b) designated uses (Chapter 11-54-3, HAR); and c) water quality criteria (Chapter 11.54-4 through 11-54-8, HAR). However, direct discharges of storm water runoff into marine waters are not expected to occur due to Best Management Practices to reduce airborne dust and waterborne silt during construction, and due to the distance from the shoreline.
- ii. **National Pollutant Discharge Elimination System permit coverage.** If the area to be disturbed will be greater than one acre, a National Pollutant Discharge Elimination System (NPDES) permit for Storm Water Associated with Construction Activity will be necessary.
- iii. **Clean Water Act.** Pursuant to the "Clean Water Act," a Section 401 Water Quality Certification from the State Department of Health, Clean Water Branch will be obtained if it is determined that the project may result in any discharge into navigable waters or as otherwise triggered.

July 27, 2016

Ms. Laura Leialoha McIntyre, AICP

REVISED PRE-ASSESSMENT CONSULTATION FOR A COMMUNITY TRAINING KITCHEN AT  
OHANA OLA O KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK 8-6-006:001

Page 2 of 2

- iv. **State Water Quality Standards (Chapter 11-54 and 11-55, HAR).** All discharges related to the construction and operation of the proposed project will comply with the State's Water Quality requirements contained in Chapters 11-54 and 11-55, HAR.

**Hazard Evaluation and Emergency Response Office**

We will contact the HEER Office if hazardous substances, pollutants, or contaminants are present at the project site.

**Indoor and Radiological Health (IRH) Branch**

The proposed project will comply with the following Hawai'i Administrative Rules:

- Chapter 11-39 Air conditioning and Ventilation
- Chapter 11-46 Community Noise Control

In addition, the proposed project will most likely not trigger the need to comply with HAR Chapter 11-45 regarding radiation control, as well as HAR Chapters 11-501 through 11-504 regarding asbestos.

**Safe Drinking Water Branch**

We note that the Safe Drinking Water Branch administers programs to protect drinking water sources from contamination.

- i. **Public Water System.** The project will involve connection to the existing Board of Water supply system.
- ii. **Underground Injection Control.** Wastewater generated by the users of the proposed project will be handled by a septic tank system with leach fields or potentially a constructed sub-surface wetland with absorption beds. UIC is not anticipated.

**Solid and Hazardous Waste Branch**

Solid waste generated at the Site during the construction phase will increase over current conditions. Waste is expected to include materials from construction and grading activities. Every effort will be made to reduce the waste generated during the construction phase.

The proposed project will also comply with the provisions of Section 11-260 to 11-280, Hawaii Administrative Rules, relating to hazardous waste.

**Wastewater Branch**

The proposed project will not connect to the County wastewater system.

We have also reviewed the Hawaii Environmental Health Portal and its links to various sources of state environmental data. The Draft Environmental Assessment (EA) will include any relevant information from these sources.

We acknowledge your objective to promote sustainable, innovative, inspirational, transparent, and healthy design in the state of Hawai'i. We hope to contribute to that vision through appropriate use of social and environmental data in the planning process.

We value your participation in the environmental review process. Your letter will be included in the Draft EA. We will send you a copy of the Draft EA when it is available.

Sincerely,  
PBR HAWAII



Catie Cullison  
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services  
Tom McDonald, Alternative Structures, Inc.

DAVID Y. IGE  
GOVERNOR



**STATE OF HAWAII**  
**DEPARTMENT OF TRANSPORTATION**  
869 PUNCHBOWL STREET  
HONOLULU, HAWAII 96813-5097

FORD N. FUCHIGAMI  
DIRECTOR

Deputy Directors  
JADE T. BUTAY  
ROSS M. HIGASHI  
EDWIN H. SNIFFEN  
DARRELL T. YOUNG

IN REPLY REFER TO:  
**STP 8.1949**

March 10, 2016

Ms. Catie Cullison, AICP  
Associate  
PBR HAWAII & Associates, Inc.  
1001 Bishop Street, Suite 650  
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

Subject: Community Training Kitchen at Ohana Ola O Kahumana  
Pre-Assessment Consultation for an Environmental Assessment  
Waianae, Oahu, Hawaii  
TMK: (1) 8-6-006:001

The subject project is not expected to significantly impact the State highway facility. However, a permit from DOT Highways Division, is required for the transport of oversized and/or overweight materials and equipment on State highway facilities.

If there are any questions, please contact Mr. Norren Kato of the DOT Statewide Transportation Planning Office at telephone number (808) 831-7976.

Sincerely,

*Ford N. Fuchigami*  
FORD N. FUCHIGAMI  
Director of Transportation



# PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

**PRINCIPALS**

THOMAS S. WITTEN, FASLA  
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Ford N. Fuchigami  
Director of Transportation  
State of Hawai'i  
Department of Transportation  
869 Punchbowl Street  
Honolulu, Hawai'i 96813-5097

ATTN: Mr. Norren Kato, DOT Statewide Transportation Planning Office

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A  
COMMUNITY TRAINING KITCHEN AT OHANA OLA O  
KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK  
8-6-006:001**

Dear Mr. Fuchigami:

Thank you for your letter dated March 10, 2016 (reference number STP 8.1949), regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your participation in the environmental review process, and your input that the subject project is not expected to significantly impact the State highway facility. We acknowledge that a permit from the Department of Transportation (DOT) Highways Division is required for the transport of oversized and/or overweight materials and equipment on State highway facilities. Your letter will be included in the Draft Environmental Assessment (EA).

Sincerely,

PBR HAWAII

Catie Cullison  
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services  
Tom McDonald, Alternative Structures, Inc.

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# OFFICE OF ENVIRONMENTAL QUALITY CONTROL

DAVID Y. IGE  
GOVERNOR

SCOTT GLENN  
INTERIM DIRECTOR

DEPARTMENT OF HEALTH, STATE OF HAWAII  
235 South Beretania Street, Suite 702, Honolulu, HI 96813

Phone: (808) 586-4185  
Email: [oeqchawaii@doh.hawaii.gov](mailto:oeqchawaii@doh.hawaii.gov)

March 11, 2016

Catie Cullison, AICP  
PBR HAWAII & Associates, Inc.  
1001 Bishop St., Suite 650  
Honolulu, HI 96813

Dear Ms. Cullison,

SUBJECT: Consultation Request for a Community Training Kitchen at Ohana Ola O Kahumana,  
Wai'anae, O'ahu, Hawai'i

The Office of Environmental Quality Control (OEQC) has reviewed your February 18, 2016 letter about the proposed action and offers the following comments for your consideration.

The information provided includes no site plan or much detail as to the particulars of the proposal, so the OEQC is unable to offer any specific comments on the project at this time. For future requests, we recommend the provision of sufficient detail to enable an effective pre-assessment consultation. As a general comment for any proposed action, OEQC recommends the incorporation of low impact development strategies, such as minimizing impervious surface areas to help groundwater recharge in the area and decrease stormwater runoff. OEQC also suggests using native vegetation for landscaping, as well as designing a low carbon/energy efficient project.

Additionally, OEQC advises factoring climate change into this and all future projects. Changing weather patterns in the Pacific are projected to result in localized heavy rainfall as well as increased tropical storm activity, likely producing periodic extreme downpours. Similarly, strengthened drought conditions in arid areas, such as the project site, are also expected. We encourage the incorporation of project design standards that will accommodate these and other scenarios related to our changing climate.

Thank you for your role in Hawai'i's environmental review process and for the opportunity to comment at this early stage of the development. We look forward to reviewing the draft Environmental Assessment being prepared for this project. If you have any questions please consult our website at <http://health.hawaii.gov/oeqc> or contact our office at (808) 586-4185.

Sincerely,

Scott Glenn  
Interim Director



# PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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DACHENG DONG, LEED®AP  
*Associate*

MARC SHIMATSU, ASLA  
*Associate*

Mr. Scott Glenn, Interim Director  
Department of Health, State of Hawai'i  
Office of Environmental Quality Control  
235 South Beretania Street, Suite 702  
Honolulu, Hawai'i 96813

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A  
COMMUNITY TRAINING KITCHEN AT OHANA OLA O  
KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK  
8-6-006:001**

Dear Mr. Glenn:

Thank you for your letter dated March 11, 2016, regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your input, and provide the following responses to your comments:

We acknowledge your suggestions to: 1) incorporate low-impact development (LID) strategies to help groundwater recharge and decrease runoff; 2) use native vegetation for landscaping; 3) design a low carbon/energy efficient project; and 4) incorporate project design standards that will accommodate climate change scenarios. The Draft Environmental Assessment (EA) will include discussions that address these points.

We value your participation in the environmental review process. Your letter will be included in the Draft EA.

Sincerely,

PBR HAWAII

Catie Cullison  
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services  
Tom McDonald, Alternative Structures, Inc.

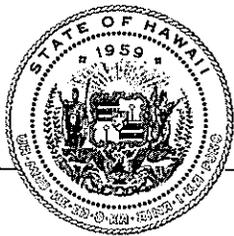
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## OFFICE OF PLANNING STATE OF HAWAII

DAVID Y. IGE  
GOVERNOR

LEO R. ASUNCION  
DIRECTOR  
OFFICE OF PLANNING

235 South Beretania Street, 6th Floor, Honolulu, Hawaii 96813  
Mailing Address: P.O. Box 2359, Honolulu, Hawaii 96804

Telephone: (808) 587-2846  
Fax: (808) 587-2824  
Web: <http://planning.hawaii.gov/>

Ref. No. P-15063

March 8, 2016

Ms. Catie Cullison, AICP  
Planner  
PBR HAWAII & Associates, Inc.  
1001 Bishop Street, Suite 650  
Honolulu Hawaii 96813-3484

Dear Ms. Cullison:

Subject: Pre-Assessment Consultation – Community Training Kitchen At Ohana  
Ola Kahumana, 86-433 Kuawale Road, Waianae, Oahu;  
TMK: (1) 8-6-006:001

Thank you for the opportunity to provide comments on this pre-assessment consultation request for a community training kitchen proposed by Ohana Ola O Kahumana. The pre-consultation review material was transmitted to our office by letter dated February 18, 2016.

It is our understanding that Ohana Ola O Kahumana proposes the development of a training kitchen facility. The kitchen is needed to maintain and expand the applicant's vocational training program for homeless, extremely low-income, and developmentally disabled residents, while maintaining and increasing its meal preparation for underprivileged children.

The proposed development is expected to include a 9,000 square foot kitchen facility that will house a central kitchen for vocational training and meal preparation, a smaller instructional kitchen, and community incubator facilities for use by low-income or underemployed residents working to develop food-based micro-enterprises, associated parking and loading areas, and a new driveway access on Kuwale Road.

The Office of Planning (OP) has reviewed the transmitted material and has the following comments to offer:

1. Pursuant to the Hawaii Administrative Rules (HAR) § 11-200-10(4) – general description of the action's technical, economic, social, and environmental characteristics; this project must demonstrate that it is consistent with a number of State environmental, social policies, economic goals, and policies for land use. OP provides technical assistance to State and county agencies in administering the statewide planning system in Hawaii Revised Statutes (HRS) Chapter 226, the Hawaii State Plan. The Hawaii State Plan provides goals, objectives, policies, and priority guidelines for growth, development, and the allocation of resources throughout the State in areas of state interest including but not limited to the economy, agriculture,

the visitor industry, federal expenditure, the physical environment, facility systems, socio-cultural advancement, climate change adaptation, and sustainability.

The Draft Environmental Assessment (Draft EA) should include an analysis that addresses whether the proposed project conforms to or is in conflict with the goals, objectives, policies, and priority guidelines listed in the Hawaii State Plan.

2. The coastal zone management (CZM) area is defined as “all lands of the State and the area extending seaward from the shoreline to the limit of the State’s police power and management authority, including the U.S. territorial sea” see HRS § 205A-1 (definition of "coastal zone management area").

HRS § 205A-5(b) requires all State and county agencies to enforce the CZM objectives and policies. The Draft EA should include an assessment as to how the proposed project conforms to the CZM objectives and its supporting policies set forth in HRS § 205A-2. The assessment on compliance with HRS § 205A-2 is an important component for satisfying the requirements of HRS Chapter 343. These objectives and policies include recreational resources, historic resources, scenic and open space resources, coastal ecosystems, economic uses, coastal hazards, managing development, public participation, beach protection, and marine resources.

3. It appears that this project is within the State Land Use Agricultural District and in an area zoned by the City and County of Honolulu as Restricted Agriculture (AG-1). Pursuant to HRS § 205A-2(d), the proposed kitchen training facility may not be a permitted use.

Additionally, pursuant to HRS § 205-4.5(a), if the parcel has a land study bureau (LSB) classification rating class A or B further restrictions apply. The Draft EA should indicate the LSB rating class, and indicate all restrictions that may apply. Please consult with the State Land Use Commission to determine if this proposed use is permitted in the State Agricultural District.

Furthermore, the area is zoned by the City and County of Honolulu as Restricted Agriculture (AG-1). Pursuant to the Land Use Ordinances of the City and County of Honolulu, Chapter 21, the proposed facility may not be a permitted use in AG-1. Please consult with the Department of Planning and Permitting on permitting or zoning change matters.

4. The review material acknowledges that Federal funds may be sought to finance a portion of the training kitchen. If Federal funds are pursued, then this project may

need to be evaluated on Federal Consistency requirements. The national Coastal Zone Management Act requires direct federal activities and development projects to be consistent with approved state coastal programs to the maximum extent practicable. Federal actions are defined by this act as activities performed by a Federal agency or contractor for the benefit of a Federal agency; activities not performed by a Federal agency, but require federal permits or approval; or State and local government projects that receive Federal financial assistance.

In the Draft EA, please indicate whether Federal funds are used, and the Federal agency provided this funding source. OP is the lead state agency in charge of conducting Federal Consistency review. Please contact our office on the procedures for this review.

5. Pursuant to HAR § 11-200-10(6) – identification and summary of impacts and alternatives considered; in order to ensure that the coastline and water resources along the Waianae Coast remain protected, the negative effects of stormwater inundation ensuing from development activities should be evaluated in the Draft EA. This 12.5-acre project lies within an agricultural area with a limited level of drainage infrastructure. During heavy storm events, the natural contours of the land and drainage infrastructure may transport upslope sediment, land-based pollutants, and toxicant-load contributions into nearby Waianae Coastline.

The Draft EA should examine potential benefits and/or negative impacts resulting from this project on coastal and marine resources. Issues that may be examined in the Draft EA include, but are not limited to, project site characteristics in relation to erosion controls on flood prone areas, undeveloped open spaces, and the absorption characteristics of the soil. Furthermore, it should differentiate between the existing permeable surfaces versus hardened surfaces in the area. These items, as well as the marine water quality classification, should be considered when developing mitigation measures to protect the coastal ecosystem.

The enclosed map of this project, as well as resources available to us, indicate that this project is located approximately two miles upslope from the nearshore waters of Pokai Bay and the Waianae coastline; the landscape is relatively undeveloped with dry brush vegetation; and has limited drainage infrastructure.

The Draft EA should examine the cumulative impact on coastal resources from land-based polluted runoff and sediment loss. It should take into account any of the natural features in the area, undeveloped open spaces, down-sloping topography,

hardened non-permeable surfaces that have a cumulative effect on the volume and speed of storm runoff, and soil absorption rates.

OP has a number of resources available to assist in the development of projects which ensure sediment and stormwater control on land, thus protecting the nearshore environment. OP recommends consulting these guidance documents and stormwater evaluative tools when developing strategies to address polluted runoff. They offer useful techniques to keep land-based pollutants and sediment in place and prevent contaminating nearshore waters, while considering the practices best suited for this project. These three evaluative tools that should be used during the design process include:

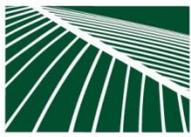
- Hawaii Watershed Guidance provides direction on mitigation strategies in urban areas that will safeguard Hawaii's watersheds and implement watershed plans [http://files.hawaii.gov/dbedt/op/czm/initiative/nonpoint/Hi Watershed Guidance Final.pdf](http://files.hawaii.gov/dbedt/op/czm/initiative/nonpoint/Hi_Watershed_Guidance_Final.pdf)
- Stormwater Impact Assessments can be used to identify and evaluate information on hydrology, stressors, sensitivity of aquatic and riparian resources, and management measures to control runoff, as well as consider secondary and cumulative impacts to the area [http://files.hawaii.gov/dbedt/op/czm/initiative/stormwater\\_impact/final\\_storm\\_water\\_impact\\_assessments\\_guidance.pdf](http://files.hawaii.gov/dbedt/op/czm/initiative/stormwater_impact/final_storm_water_impact_assessments_guidance.pdf)
- Low Impact Development (LID), A Practitioners Guide covers a range of structural best management practices (BMP's) for stormwater control management, roadway development, and urban layout that minimizes negative environmental impacts [http://files.hawaii.gov/dbedt/op/czm/initiative/lid/lid\\_guide\\_2006.pdf](http://files.hawaii.gov/dbedt/op/czm/initiative/lid/lid_guide_2006.pdf)

If you have any questions regarding this comment letter, please contact Josh Hekeka of our office at (808) 587-2845.

Sincerely,



Leo R. Asuncion  
Director



July 27, 2016

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Mr. Leo R. Asuncion, Director  
State of Hawai'i  
Office of Planning  
P.O. Box 2359  
Honolulu, Hawai'i 96804

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A  
COMMUNITY TRAINING KITCHEN AT OHANA OLA O  
KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK 8-  
6-006:001**

Dear Mr. Asuncion:

Thank you for your letter dated March 8, 2016 (reference number P-15063), regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we appreciate your input and provide the following responses:

1. The Draft Environmental Assessment (EA) will include an analysis that addresses whether the proposed project conforms to or is in conflict with the goals, objectives, policies, and priority guidelines listed in the Hawai'i State Plan (HRS Chapter 226, the Hawai'i State Planning Act).
2. The Draft EA will include an assessment as to how the proposed project conforms to the coastal zone management (CZM) objectives and its supporting policies set forth in HRS §205A-2.
3. The Draft EA will discuss the proposed project's conformance to §HRS 205A-2(d) regarding the uses permitted in the State Land Use Agricultural District and in the Restricted Agriculture (AG-1) zone. The Draft EA will also discuss the proposed project parcel's land study bureau (LSB) rating class and its restrictions. The information received through the pre-consultation process and subsequent agency discussions helped to better define the proposed Kitchen to a more modest facility that is more functionally related to workforce development of the residents at Ohana Ola and the use of produce grown at Kahumana Farms. The project description has since been revised, such that the incubator kitchen and training kitchen have been eliminated from the proposed project and the building size reduced to approximately 3,000 square feet in area. While the Kitchen is functionally linked to the agricultural activities at Kahumana Farms, it is anticipated that an application pursuant to Section 201H HRS will be submitted to the City and County of Honolulu to incorporate the Kitchen into the Ohana Ola residential use.
4. We acknowledge that Federal Consistency requirements may apply if certain federal funds are sought. We recognize OP is the lead state agency for conducting Federal Consistency review and will coordinate accordingly.
5. The Draft EA will evaluate: a) the negative effects of stormwater inundation ensuing from development activities related to the project; b) the potential benefits and/or negative impacts resulting from this project on coastal and marine resources; and c) the cumulative impact on coastal resources from land-based polluted runoff and sediment loss.

**Mr. Leo Asuncion**

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A COMMUNITY TRAINING KITCHEN AT OHANA OLA O KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK 8-6-006:001**

Page 2 of 2

6. The three evaluative tools provided – Hawai'i Watershed Guidance, Stormwater Impact Assessments, and the Low Impact Development (LID) Practitioners Guide – will be reviewed for applicability to the project. The Draft EA will include any relevant information from these sources.

We value your participation in the environmental review process. Your letter will be included in the Draft EA. We will send you a copy of the Draft EA when it is available.

Sincerely,  
PBR HAWAII



Catie Cullison  
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services  
Tom McDonald, Alternative Structures, Inc.



**DEPARTMENT OF THE ARMY**  
HONOLULU DISTRICT, U.S. ARMY CORPS OF ENGINEERS  
FORT SHAFTER, HAWAII 96858-5440

March 29, 2016

**SUBJECT: No Permit Required for the Kahumana Community Training Kitchen at Ohana Ola O Kahumana located at 84-433 Kauwale Road, Waianae, Oahu Island, Hawaii (TMK (1)-8-6-006:001). DA File No. POH-2016-00051.**

Ms. Catie Cullison  
PBR Hawaii & Associates, Inc.  
1001 Bishop Street, Suite 650  
Honolulu, Hawaii 96813-3484

Dear Ms. Cullison:

The U.S. Army Corps of Engineers, Honolulu District (Corps) has received your letter, dated February 8, 2016, requesting comments for the preparation of a State of Hawaii environmental assessment (EA) for the above-subject project. Department of the Army (DA) file number POH-2016-00051 is assigned this project. Please reference this file number in all future correspondence with our office concerning this project.

We have completed review of your submittal pursuant our authorities at Section 404 of the Clean Water Act (33 U.S.C. 1344)(Section 404) and Section 10 of the Rivers and Harbors Act of 1899 (33 U.S.C. 403)(Section 10). Section 404 requires authorization prior to the discharge and/or placement of dredged or fill material into waters of the U.S., including adjacent wetlands. Section 10 requires authorization prior to installing structures or conducting work in, over, under, and affecting navigable waters.

Based on our review of the information provided and available resources, we have determined that the subject tax map key parcel (1) 8-6-006:001 consists entirely of uplands and is absent of waters of the U.S. that are subject to the Corps' regulatory jurisdiction (Enclosure 1). Accordingly, the proposed work activities at the subject parcel would not result in work or the discharge and/or placement of fill material in waters of the U.S., and; therefore, a DA permit is not required.

Enclosed is an approved jurisdictional determination (Enclosure 2) for your project area. This determination is valid for a period of five (5) years from the date of this letter, unless new information warrants revision of the determination before its expiration date. If you object to this determination, you may request an Administrative Appeal under 33 CFR 331. A Notification of Appeal Process and Request for Appeal (NAP/RFA) form is also included in this letter. Should you request to appeal this determination you must submit a completed RFA form, according to instructions in the RFA, to the Corps' Pacific Ocean Division office at the following address:

Civil Works and Regulatory Program Manager  
U.S. Army Corps of Engineers  
Pacific Ocean Division, ATTN: CEPOD-PDC  
Building 525  
Fort Shafter, HI 96858-5440

Please be advised, although a permit is not required from this office, we recommend the use of Best Management Practices measures to avoid and minimize adverse impacts to off-site aquatic resources that may be affected. It is your responsibility to ensure that your project complies with all other federal, State, or local laws and regulations.

Thank you for your cooperation with the Honolulu District Regulatory Program. Should you have any questions related to this determination, please contact Ms. Joy Anamizu of my staff at (808) 835-4308 or via e-mail at [joy.n.anamizu@usace.army.mil](mailto:joy.n.anamizu@usace.army.mil). You are encouraged to provide comments on your experience with the Honolulu District Regulatory Office by accessing our web-based customer survey form at [http://corpsmapu.usace.army.mil/cm\\_apex/f?p=136:4:0](http://corpsmapu.usace.army.mil/cm_apex/f?p=136:4:0).

Sincerely,

A handwritten signature in black ink that reads "Joy Anamizu" with a long horizontal line extending to the right.

Joy N. Anamizu  
Ecologist, Regulatory Office

Enclosures

CC w/Encls via Email:  
DOH-CWB (office email)  
CZM Program (J. Nakagawa)



# PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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Ms. Joy N. Anamizu  
Ecologist, Regulatory Office  
U.S. Department of the Army  
Honolulu District, U.S. Army Corps of Engineers  
Fort Shafter, Hawai'i 96858-5440

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A  
COMMUNITY TRAINING KITCHEN AT OHANA OLA O  
KAHUMANA, 86-433 KUWALE RD., WAI'ANAЕ, O'AHU, TMK  
8-6-006:001**

Dear Ms. Anamizu:

Thank you for your letter dated March 29, 2016 (DA File No. POH-2016-00051), regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we welcome your input, and provide the following responses to your comments:

We appreciate the determination that the subject tax map key parcel (1) 8-6-006:001 consists entirely of uplands and is absent of waters of the U.S. subject to the Corps' regulatory jurisdiction, and that a Department of the Army (DA) permit is therefore not required.

Thank you for your recommendation to utilize Best Management Practices (BMPs) to avoid and minimize adverse impacts to off-site aquatic resources that may be affected. The Draft Environmental Assessment (EA) will include descriptions of the BMP measures to be utilized for this project.

We value your participation in the environmental review process. Your letter will be included in the Draft EA. We will send you a copy of the Draft EA when it is available.

Sincerely,

PBR HAWAII

Catie Cullison  
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services  
Tom McDonald, Alternative Structures, Inc.



## United States Department of the Interior



FISH AND WILDLIFE SERVICE  
Pacific Islands Fish and Wildlife Office  
300 Ala Moana Boulevard, Room 3-122  
Honolulu, Hawai'i 96850

In Reply Refer To:  
01EPIF00-2016-TA-0208

MAR 16 2016

Ms. Catie Cullison  
PBR HAWAII & Associates, Inc.  
1001 Bishop Street, Suite 650  
Honolulu, Hawaii 96813-3484

Subject: Technical Assistance for the Proposed Ohana Ola O Kahumana Community  
Training Kitchen, Waianae, O'ahu

Dear Ms. Cullison:

The U.S. Fish and Wildlife Service received your letter on February 22, 2016, requesting our comments on the proposed Ohana Ola O Kahumana Community Training Kitchen located on 12.5 acres at 86-433 Kuwale Road, Waianae, O'ahu [TMK: 8-6-006:001]. We understand PBR HAWAII & Associates, Inc., on behalf of Alternative Structures International, doing business as Kahumana, will be preparing the environmental documents for the proposed project in accordance with Chapter 343, Hawai'i Revised Statutes and the National Environmental Policy Act. The proposed project involves constructing a 7,000-9,000 square foot kitchen at Ohana Ola O Kahumana, an existing transitional housing facility. The project components include: a central kitchen for vocational training and meal preparation program; a smaller instructional kitchen; community kitchen facilities for use by low-income or underemployed residents working to develop food-based micro-enterprises; associated parking and loading areas; and a new driveway access on Kuwale Road. The purpose for the proposed project is to expand Kahumana's vocational training program for homeless, extremely low-income, and developmentally disabled residents, and provide meals for underprivileged children. Federal funds may be sought to fund a portion of the project.

We have reviewed the information you provided and pertinent information in our files, including data compiled by the Hawai'i Biodiversity and Mapping Program as it pertains to listed species and designated critical habitat in accordance with section 7 of the Endangered Species Act of 1973 (ESA), as amended (16 U.S.C. 1531 *et seq.*). There is no federally designated critical habitat within the immediate vicinity of the proposed project. Our data indicate the federally endangered Hawaiian hoary bat or ope'ape'a (*Lasiurus cinereus semotus*) and the wedge-tailed shearwater or 'ua'u kani (*Puffinus pacificus*), a seabird protected under the Migratory Bird Treaty Act [16 U.S.C. 703-712] (MBTA), may occur within the vicinity of the proposed project. We offer the following comments for your consideration.

### Hawaiian hoary bat

The Hawaiian hoary bat roosts in both exotic and native woody vegetation and, while foraging, will leave young unattended in "nursery" trees and shrubs when they forage. If trees or shrubs

suitable for bat roosting are cleared during the breeding season, there is a risk that young bats could inadvertently be harmed or killed since they are too young to fly or may not move away. To minimize impacts to the endangered Hawaiian hoary bat, woody plants greater than 15 feet (4.6 meters) tall should not be disturbed, removed, or trimmed during the bat birthing and pup rearing season (June 1 through September 15). Site clearing should be timed to avoid disturbance to Hawaiian hoary bats in the project area.

#### Wedge-tailed shearwater

Outdoor lighting, such as street lights and night-time work, can adversely impact listed and migratory seabird species found in the vicinity of the proposed project. Seabirds fly at night and are attracted to artificially lighted areas which can result in disorientation and subsequent fallout due to exhaustion or collision with objects such as utility lines, guy wires, and towers that protrude above the vegetation layer. Once grounded, they are vulnerable to predators or often struck by vehicles along roadways. Wedge-tailed shearwater nesting colonies are located on offshore islets and several locations on Oahu and every year many young shearwaters are downed and struck along Oahu roadways. Any increase in the use of night-time lighting, particularly during each year's peak fallout period (September 15 through December 15), could result in additional seabird injury or mortality.

If night-time work is proposed for your project, impacts to seabirds can be minimized by shielding outdoor lights to the maximum extent possible, eliminating night-time construction, and providing all project staff with information about seabird fallout. All lights, including street lights, should be shielded so the bulb can only be seen from below and use the lowest wattage bulbs possible. The project should address all potential impacts to seabirds and outline conservation measures to minimize these impacts.

If it is determined that the proposed project may affect federally listed species, we recommend you contact our office in the planning process so that we may assist you with Endangered Species Act (ESA) compliance. If the proposed project is funded, authorized, or permitted by a Federal agency, then the Federal agency should consult with us pursuant to section 7(a)(2) of the ESA. If no Federal agency is involved with the proposed project, the applicant should apply for an incidental take permit under section 10(a)(1)(B) of the ESA. A section 10 permit application must include a habitat conservation plan laying out the proposed actions, determine the effects of the action on affected fish and wildlife species and their habitats, and define measures to minimize and mitigate adverse effects.

We appreciate your efforts to conserve listed species. If you have questions about our comments, please contact Leila Gibson, Fish and Wildlife Biologist (phone: 808-792-9400, email: leila\_gibson@fws.gov).

Sincerely,



Aaron Nadig  
Island Team Manager  
Oahu, Kauai, North Western Hawaiian Islands,  
and American Samoa



# PBR HAWAII

& ASSOCIATES, INC.

July 27, 2016

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*Chairman Emeritus*

Mr. Aaron Nadig  
Island Team Manager  
O'ahu, Kaua'i, North Western Hawaiian Islands, and American Samoa  
U.S. Department of the Interior  
Fish and Wildlife Service  
Pacific Islands Fish and Wildlife Office  
300 Ala Moana Boulevard, Room 3-122  
Honolulu, Hawai'i 96850

Attn: Ms. Leila Gibson, Fish & Wildlife Biologist

**SUBJECT: REVISED PRE-ASSESSMENT CONSULTATION FOR A  
COMMUNITY TRAINING KITCHEN AT OHANA OLA O  
KAHUMANA, 86-433 KUWALE RD., WAI'ANAE, O'AHU, TMK  
8-6-006:001**

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*Associate*

DACHENG DONG, LEED®AP  
*Associate*

MARC SHIMATSU, ASLA  
*Associate*

Dear Mr. Nadig:

Thank you for your letter dated March 16, 2016 (your reference number 01EPIF00-2016-TA-0208), regarding the subject project. As the planning consultant for Alternative Structures International (dba Kahumana), we welcome your input, and provide the following responses to your comments:

We appreciate the information provided on the lack of a federally designated critical habitat within the immediate vicinity of the proposed project, as well as the information provided on the federally endangered Hawaiian hoary bat or ope'ape'a (*Lasiurus cinereus semotus*) and the wedge-tailed shearwater or 'ua'u kani (*Puffinus pacificus*), which may occur within the vicinity of the proposed project. The Draft Environmental Assessment (EA) will include discussions that address all potential impacts to these species, and outline conservation measure to minimize these impacts.

We value your participation in the environmental review process. Your letter will be included in the Draft EA. We will send you a copy of the Draft EA when it is available.

Sincerely,

PBR HAWAII

Catie Cullison  
Senior Associate

Cc: Steve Karel, Honolulu Department of Community Services  
Tom McDonald, Alternative Structures, Inc.

**HONOLULU OFFICE**  
1001 Bishop Street, Suite 650  
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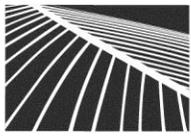
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# Appendix F: Wai'anae Neighborhood Board Meeting Notes







**DRAFT MEETING NOTES**

**PRINCIPALS**

THOMAS S. WITTEN, FASLA  
*Chairman*

R. STAN DUNCAN, ASLA  
*President*

RUSSELL Y. J. CHUNG, FASLA, LEED®AP BD+C  
*Executive Vice-President*

VINCENT SHIGEKUNI  
*Vice-President*

GRANT T. MURAKAMI, AICP, LEED®AP BD+C  
*Vice-President*

TOM SCHNELL, AICP  
*Principal*

KIMI MIKAMI YUEN, LEED®AP BD+C  
*Principal*

W. FRANK BRANDT, FASLA  
*Chairman Emeritus*

**ASSOCIATES**

RAYMOND T. HIGA, ASLA  
*Senior Associate*

CATIE CULLISON, AICP  
*Senior Associate*

ROY TAKEMOTO  
*Managing Director - Hilo*

SCOTT MURAKAMI, ASLA, LEED®AP  
*Associate*

DACHENG DONG, LEED®AP  
*Associate*

MARC SHIMATSU, ASLA  
*Associate*

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**HILO OFFICE**  
1719 Haleloke Street  
Hilo, Hawai'i 96720-1553  
Tel/Cel: (808) 315-6878

**DATE:**

July 19, 2016

**MEETING DATE:**

July 5, 2016

**PRESENT:**

Wai‘anae Coast Neighborhood Board  
Representatives of Alternative Structures Inc.  
General Public

**DISTRIBUTION:**

Prepared for inclusion in Draft EA (TO BE REPLACED WITH BOARD NOTES UPON APPROVAL)

**SUBJECT:**

Meeting Agenda Item pertaining to the Community Training Kitchen at Ohana Ola

Alternative Structures, Inc. (doing business as Kahumana) presented the proposed Community Training Kitchen at Ohana Ola to the public and the Wai‘anae Coast Neighborhood Board at the Board’s meeting of July, 2016. Presenting for Kahumana was Tom McDonald, Executive Director.

Tom described Kahumana’s mission: to end family homelessness; to provide educational and employment opportunities for individuals who are homeless; to provide educational and employment opportunities for individuals with developmental challenges; and farming/food security for the community.

He described the proposed kitchen: 2,000-3,000 square foot building adjacent to the existing Ohana Ola residential development. The Kitchen is a necessary component at Ohana Ola in that it provides job training to residents. Tom further described that the Kitchen is needed to continue a keiki lunch program that currently feeds underprivileged school children each day. Currently, the keiki lunches are prepared at the Kitchen at Ulu Ke Kukui, a DHHL owned property in Mā‘ili. The lease at Ulu Ke Kukui is expiring in 2018. The kitchen at Ulu Ke Kukui is also limited in space. Therefore, to continue the program uninterrupted and eventually expand, Kahumana is proposing to construct the Kitchen of an adequate size on lands they have better control. The proposed location is advantageous in that it provides walkable access from Ohana Ola, where most of the trainees reside.

**Questions/Comments from the Board:**

**Koike:** How many meals are prepared and is local produce used?

**Tom McDonald:** The Kitchen serves about 1,100 keiki meals per day and there is demand for more. Local produce is used. All of the eggs used in the keiki lunches come from chickens at Kahumana. Greens also come from kahumana Kalo comes from Ka‘ala farms, and other produce is sourced as much as possible from nearby farms.

MEETING NOTES  
WAI'ANAЕ COAST NEIGHBORHOOD BOARD  
JULY 5, 2016

Endo: Where do the residents at Ohana Ola come from? Are they all Wai'anae families? How is the residential facility funded?

Tom McDonald: Residents are homeless families from O'ahu, predominantly from the leeward coast, but not exclusively. Funding comes from a State stipend as well as contributions from the families.

Poe: Will the program be coordinated with other culinary job training/educational efforts such as community colleges and culinary arts majors?

Tom McDonald: There is nothing formal set up now, but Susan Austin at Kahumana has successfully attracted grant monies for a job coach. The job coach position will help with outplacement of the Kitchen trainees, which could include coordination with culinary arts programs. Restaurants in Ko'olina are known to hire former Kitchen trainees.

Gates: Expressed appreciation for the programs that Kahumana provides.

Cachola: Inquired about the land designation of agriculture and if the Kitchen is permitted at this location. Is an Environmental Assessment going to be prepared?

Tom McDonald: Introduced Catie Cullison, a planner from PBR Hawaii & Associates, Inc. Catie explained that the housing, Ohana Ola has been approved under the State 201H process for low-income housing. Section 201H of the Hawaii Revised Statutes allows for exemptions from certain land use requirements. The Kitchen is planned to be submitted to the City and County of Honolulu for review under this process as a "Community Facility" associated with the established Ohana Ola. She added that an EA will be available for review in the near future, and Kahumana can notify the NB when it is available for public comment.

Comments/Questions from the Community:

Community Member #1: Comments regarding the dire need to serve Wai'anae families; the need for summer programs for kids; suggesting that the housing at Ohana Ola could have been two stories to accommodate more families; need for more employment.

Community Member #2: Former Ulu Ke Kukui resident. Concerns about anything that is funded by USDA as rent rates have risen which has been a problem for some residents at Ulu Ke Kukui.

Community Member #3: Member Makaha Hawaiian Civic Club. Expressed support for the project. Has long-time knowledge of Kahumana, its founders, and the service they provide to the community.

Community Member #4: Former resident of Ulu Ke Kukui. Expressed that her family did not get enough support from the case managers at Ulu Ke Kukui.



## WAIANAE COAST NEIGHBORHOOD BOARD NO. 24

c/o NEIGHBORHOOD COMMISSION • 530 SOUTH KING STREET ROOM 406 • HONOLULU, HAWAII, 96813  
PHONE (808) 768-3710 • FAX (808) 768-3711 • INTERNET: <http://www.honolulu.gov/nco>

### REGULAR MEETING AGENDA

Tuesday, July 5, 2016  
6:30 p.m. – 9:30 p.m.  
Waianae District Park – Multi-Purpose Room  
85-601 Farrington Highway

**Rules of Speaking:** Anyone wishing to speak is asked to raise their hand, and when recognized by the Chair, to address comments to the Chair. Speakers are encouraged to keep their comments under three (3) minutes, and those giving reports are urged to keep their reports to three (3) minutes or less. Please silence all electronic devices.

**Note:** The Board may take action on any agenda item. As required by the State Sunshine Law (HRS 92), specific issues not noted on this agenda cannot be voted on, unless added to the agenda.

All written testimony must be received in the Neighborhood Commission Office 48 hours prior to the meeting. If within 48 hours, written and/or oral testimony may be submitted directly to the board at the meeting. **If submitting written testimony, please note the board and agenda item(s) your testimony concerns.** Send to: Neighborhood Commission Office, 530 South King Street, Room 406, Honolulu, HI 96813. Fax: (808) 768-3711. Email: [nbttestimony@honolulu.gov](mailto:nbttestimony@honolulu.gov)

**Please note the change of the meeting start time to 6:30 p.m.**

1. **Call to Order:** Cedric Asuega Gates, Chair
2. **Pule**
3. **Board Elections**
  - 3.1 Election of Board Officers
  - 3.2 Appointment of Committee and Committee Chairs
  - 3.3 Filling of one (1) At-Large Vacancy
4. **Public Safety Reports:** (Allocated time: 35 minutes)
  - 4.1 Honolulu Police Department (HPD)
  - 4.2 Honolulu Fire Department (HFD)
5. **New Business:** (Testimony limited to two (2) minutes)
  - 5.1 Kahumana Farms, Community Training Kitchen Facility – Presentation by Tom McDonald, Executive Director
  - 5.2 Update on proposed Off-Shore Wind Turbines at Ka'ena Point
  - 5.3 Update on City and County of Honolulu's Modular Housing Unit Project across of Wai'anae High School
6. **Community Reports:**
  - 6.1 Board of Water Supply (BWS)
  - 6.2 U.S. Army 25th Infantry Division
  - 6.3 Department of Land and Natural Resources
  - 6.4 Mayor Kirk Caldwell's Representative
  - 6.5 Councilmember Kymberly Pine
7. **Board Committees and Membership:**
  - 7.1 Education Committee: Calvin Endo and Kellen Smith

- 7.2 Parks, Recreation, and Customer Service: Ken Koike
- 7.3 Hawaiian Affairs, Business, Economic Development, and Tourism: Shar Poe
- 7.4 Housing Committee: Marcus Paaluhi
- 7.5 Transportation Committee: Cedric Gates and Julie Cachola

- 8. Board Administration:** (Allocated time: 30 minutes)
  - 8.1 Approval of the June 7, 2016 regular meeting minutes
  - 8.2 Treasurer's Report

**9. Reports of Members' Attendance at Other Meetings**

- 10. Residents'/Community Concerns:** (Limited to two (2) minutes each.)  
Items that are not listed on the agenda may be discussed but no Board action may be taken.

- 11. Elected Officials or their Representatives:** (Limited to three (3) minutes each)
  - 11.1 Governor David Ige's Representative
  - 11.2 State Senator Maile Shimabukuro
  - 11.3 State Representative Jo Jordan
  - 11.4 State Representative Andria Tupola

- 12. Announcements:**
  - 12.1 The next regular meeting of the Waianae Neighborhood Board No. 24 is scheduled for Tuesday, July 5, 2016, 7:00 p.m. at the Waianae District Park Meeting Room.

**13. Adjournment**

A mailing list is maintained for interested persons and agencies to receive this Board's agenda and minutes. Additions, corrections, and deletions to the mailing list may be directed to the Neighborhood Assistant, Relley Araceley, Honolulu Hale, 530 South King Street, Room 406, Honolulu, Hawaii 96813; Telephone: (808) 768-3790, Fax: (808) 768-3711, or Email: [relley.araceley@honolulu.gov](mailto:relley.araceley@honolulu.gov); Agendas and minutes are also available on the internet at [www.honolulu.gov/nco](http://www.honolulu.gov/nco).

Any individual wishing to attend a Neighborhood Board meeting who has questions about accommodations for a physical disability or a special physical need should call the NCO at 768-3710 between 8:00 a.m. and 4:00 p.m., at least 24 hours before the scheduled meeting.



September 9, 2015

Councilmember Kymberly Pine  
Honolulu City Council – District One  
530 South King Street, Room 202  
Honolulu, HI 96813

SUBJECT: Project to Build a Community Training Kitchen

Dear Councilmember Pine:

I am writing to ask you to support Alternative Structures International, dba Kahumana, in our efforts to build a Community Training Kitchen in Waianae. The proposed Kitchen will provide opportunities for homeless, extremely low-income, or developmentally disabled people to gain vocational skills and work experience. As Oahu's homeless population continues to swell, this program will offer a crucial stepping stone to people working toward financial independence.

The proposed site for the new facility is Ohana Ola O Kahumana (Ohana Ola). You may recall that Ohana Ola is one of Kahumana's two transitional housing programs for homeless families with minor, dependent children. At any given time, Ohana Ola provides housing and wrap-around services for 48 homeless families. It is a successful program that enables 70% of participants to secure permanent housing in two or less years, and to remain in permanent housing at least 6 months after leaving the program.

The new Community Training Kitchen will be located on an undeveloped portion of Ohana Ola. Based on preliminary estimates, it will have 7,000-to-9,000 square feet under roof and a parking/loading area for about a dozen vehicles. (Please see the attached Project Site Plan.)

Kahumana leases the Ohana Ola property from the City & County of Honolulu, Department of Community Services (DCS). This lease will expire in 2054, by which time we expect to purchase the

(Continued)

Alternative Structures International, dba Kahumana, dba Kahumana Community Center, dba Kahumana Organic Farm & Café, dba Ohana Ola 'O Kahumana and Ulu Ke Kukui Transitional Homeless Shelters for Families with Children

Business Office: 86-660 Lualualei Homestead Road, Waianae 96792  
(808) 696-2655 Fax (808) 696-6608

property. The lot has two entrances with separate street addresses: 86-704 Lualuelei Homestead Road and 86-433 Kuwale Road, Waianae, HI 96792. The Tax Map Key is 8-6-006:001. Next to Ohana Ola is Kahumana's main campus, which includes an organic farm as well as a program for people with developmental disabilities. The attached Aerial View shows Kahumana's proximity to Ohana Ola.

**Project Background:** Ohana Ola is located in an AG-1 Restricted Agricultural District. It was developed in two phases with City Council Resolutions exempting the projects from certain planning, zoning, and development standards. Resolution 89-351 for Phase I was adopted on August 9, 1989, and Resolution 00-198, CD1 for Phase II was adopted on October 18, 2000.

Together, Phases I and II occupy a little less than half of the 12.382 acre property, leaving approximately 6.5 acres undeveloped. We plan to create an organic farm on most of the undeveloped land while reserving a small portion for the proposed Kitchen.

The new facility will replace an existing kitchen at Kahumana's second transitional housing complex, Ulu Ke Kukui. This existing kitchen trains over 20 unemployed, homeless, or developmentally disabled people annually. Their training takes place as the kitchen fulfills meal contracts for approximately 1,100 underprivileged children per school day. It is a productive program with high potential for growth: we estimate that the kitchen could add the full-time equivalent of up to 16 vocational training positions by increasing meal contracts to 1,500 per day. Unfortunately, expansion is not possible given the existing kitchen's cramped quarters. Moreover, the lease for Ulu Ke Kukui will expire in 2019, leaving the kitchen's future uncertain. We are thus planning to build a new, larger facility at Ohana Ola.

**Project Goals:** The goals of this project are to gain a larger, multi-kitchen facility and to have long-term site control of that facility in order to retain and expand our kitchen program. A comprehensive vision for the new facility includes three sections:

1. A Central Kitchen that accommodates a vocational training program, where participants fulfill meal contracts for underprivileged children;
2. An Instructional Kitchen for culinary/vocational skills training and healthy cooking classes that benefit participants in our programs for homeless families and people with developmental disabilities, and other low-income residents;
3. Community Incubator Training Kitchens (up to three kitchens with storage) used by low-income or unemployed residents developing food-based micro-enterprises.

**Project Site Advantages:** Situating the new facility at Ohana Ola will offer several advantages to residents in the transitional housing complex, who often cannot afford to own cars or pay for bus fare. They will be able to walk to the Kitchen for work, culinary/vocational skills training, and healthy cooking classes. They will also be within walking distance of two organic farms: one that is being planned for the remaining undeveloped land at Ohana Ola, and Kahumana's existing six-acre farm adjacent to Ohana Ola. The close proximity of the new Kitchen, housing complex, and farms will create innumerable opportunities for educating participants about the farm-to-table process. It will also streamline the process of incorporating fresh farm produce into the Kitchen's meals for underprivileged children.

(continued)

Councilmember Kymberly Pine  
September 9, 2015  
Page 3 of 3

**Further Benefits:** In addition, the new facility will enable Kahumana to support unemployed, low-income, and/or homeless residents who are trying to improve their financial future by developing food-based micro-enterprises. We continue to receive inquiries from local residents seeking the use of a licensed kitchen to develop small businesses such as food trucks. The new facility will respond to this need by providing up to three Community Incubator Training Kitchens (with accompanying cold/dry storage) that will be rented on an hourly basis for a minimal fee to low-income or unemployed individuals. These individuals will need to qualify under income guidelines similar to those used by the transitional housing program.

**Coordination with Government Agencies:** We have received a conditional letter of approval to proceed with this project from DCS. Final DCS approval will depend on obtaining all necessary permits and approvals from the Department of Planning and Permitting (DPP), and submitting final drawings that meet DCS' requirements. We anticipate working with DCS in the coming months to draft a City Council Resolution exempting the project from certain planning, zoning, and development standards.

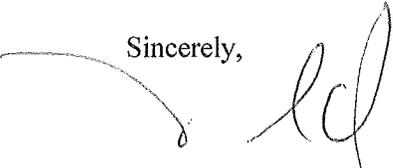
Our initial meeting with DPP was also encouraging. Director George Atta and several other staff members were receptive to the project concept and to working with us as we navigate the permitting process.

Further, we are pleased to report that the area should have sufficient water for the new facility. This determination is based on an engineer's consultation with the Board of Water Supply.

**Next Steps:** Our next steps are to arrange for an environmental assessment of the proposed site and seek input from Ohana Ola's neighbors. We are also contacting elected officials such as you to explain the merits of this project. Once we have gained significant community support, we will make a presentation to the Waianae Coast Neighborhood Board and launch a capital campaign.

I would like to meet with you to discuss our proposed Community Training Kitchen. Someone from my staff will be contacting you shortly to set up a meeting. In the meantime, if you have any questions regarding this letter, please feel free to call me at 696-2655.

Sincerely,



Tom McDonald  
Executive Director

Attachments

1. Project Site Plan
2. Aerial View of Ohana Ola O Kahumana and Kahumana's Main Campus



September 9, 2015

Senator Maile Shimabukuro  
Senate District 21  
Hawaii State Capitol, Room 222  
415 S. Beretania Street  
Honolulu, HI 96813

SUBJECT: Project to Build a Community Training Kitchen

Dear Senator Shimabukuro:

I am writing to ask you to support Alternative Structures International, dba Kahumana, in our efforts to build a Community Training Kitchen in Waianae. The proposed Kitchen will provide opportunities for homeless, extremely low-income, or developmentally disabled people to gain vocational skills and work experience. As Oahu's homeless population continues to swell, this program will offer a crucial stepping stone to people working toward financial independence.

The proposed site for the new facility is Ohana Ola O Kahumana (Ohana Ola). You may recall that Ohana Ola is one of Kahumana's two transitional housing programs for homeless families with minor, dependent children. At any given time, Ohana Ola provides housing and wrap-around services for 48 homeless families. It is a successful program that enables 70% of participants to secure permanent housing in two or less years, and to remain in permanent housing at least 6 months after leaving the program.

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(continued)

Senator Maile Shimabukuro  
September 9, 2015  
Page 3 of 3

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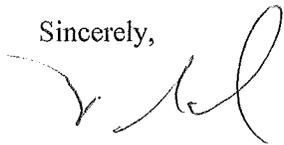
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Sincerely,

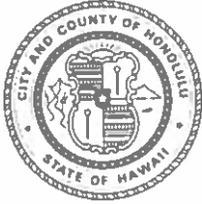


Tom McDonald  
Executive Director

*Mahalo, Maile!*

Attachments

1. Project Site Plan
2. Aerial View of Ohana Ola O Kahumana and Kahumana's Main Campus



**CITY COUNCIL**  
CITY AND COUNTY OF HONOLULU  
530 SOUTH KING STREET, ROOM 202  
HONOLULU, HAWAII 96813-3065  
TELEPHONE: (808) 768-5010 • FAX: (808) 768-5011

**KYMBERLY MARCOS PINE**  
COUNCILMEMBER, DISTRICT 1  
TELEPHONE: (808) 768-5001  
EMAIL: kmpine@honolulu.gov

Jun 3, 2016

Tom McDonald  
Executive Director  
Kahumana  
86-660 Luualualei Homestead Road  
Waianae, HI 96792

**SUBJECT: Letter of Support for Proposed Community Training Kitchen**

Dear Tom,

It is my pleasure to provide this letter of support for the proposed Community Training Kitchen at Ohana Ola O Kahumana in Waianae.

This project to expand vocational training opportunities for homeless or extremely low-income residents, and to increase Kahumana's meal service for underprivileged children addresses the growing need for these types of programs on the Waianae Coast. I am extremely pleased with the opportunities this project will provide.

The proposed project site on an undeveloped portion of the Ohana Ola property (located in an AG-1 Restricted Agricultural District) is an appropriate use to support ongoing agricultural operations at the farm. Its proximity to the existing array of social services, social ventures, and training venues operated by Kahumana is a perfect fit for the overall program.

Kahumana continues to serve the community with great vision; they understand the needs of the community and are creating opportunities that will provide long-term benefits.

I greatly appreciate and support the commitment of Kahumana to the Waianae Coast and I look forward to their continued success in our community.

Sincerely,

A handwritten signature in black ink, appearing to read "Kymberly", is written over a faint, larger version of the same signature.

Kymberly Marcos Pine  
Councilmember, District 1



## The Senate

STATE CAPITOL  
HONOLULU, HAWAII 96813

October 26, 2015

Waianae Coast Neighborhood Board No. 24  
c/o Neighborhood Commission  
530 South King Street, Room 406  
Honolulu, HI 96813

RE: Support for Kahumana's Proposed Community Training Kitchen in Waianae

Dear WCNB Members:

I am writing to express my support for the project by Alternative Structures International, dba Kahumana, to build a Community Training Kitchen in Waianae. The proposed kitchen will provide much-needed opportunities for homeless, extremely low-income, or developmentally disabled people to gain vocational skills and work experience. As our island community continues to struggle with the homeless crisis, this program will offer a crucial stepping stone to people working toward financial independence.

Kahumana is a well-respected non-profit organization in the Waianae community. Kahumana has helped thousands of residents through its transitional housing programs for homeless families (Ohana Ola O Kahumana and Ulu Ke Kukui) and holistic program for people with developmental disabilities (Hale Lana O Kahumana). Kahumana is also experienced in providing program participants with culinary and food service training at its café and small commercial kitchen. This new multi-kitchen facility will enable Kahumana to train larger numbers of unemployed/low-income individuals while also providing incubator kitchens for low-income residents developing food-based micro-enterprises.

Kahumana will ask the Waianae Coast Neighborhood Board to be put on the agenda in the next few months. I urge you to join me in supporting this project when they make their presentation. If you would like to learn more about the project before then, please contact Susan Austin in Kahumana's Development Office at 696-2655 or [saustin@ASI-Hawaii.org](mailto:saustin@ASI-Hawaii.org).

Sincerely,

Maile S.L. Shimabukuro  
Senator  
Hawaii State District 21

Office of State Senator Maile S.L. Shimabukuro - Hawaii Senate District 21

Wai'anae Coast ❖ Ko Olina ❖ Honokai Hale ❖ Kalaeloa

415 S. Beretania Street, Room 222, Honolulu, Hawaii 96813

(808) 586-7793 ❖ (808) 586-7797 FAX ❖ [senshimabukuro@capitol.hawaii.gov](mailto:senshimabukuro@capitol.hawaii.gov) ❖ [21maile.com](http://21maile.com)



November 3, 2015

Herb Farm Inc.  
c/o Tak Fai Ho  
1074 Rue Des Trappistes  
Winnipeg, Manitoba R3V-1B8  
CANADA

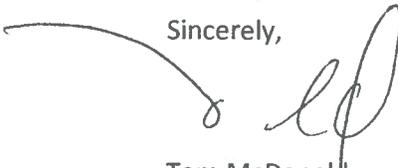
Dear Mr. Ho:

We are contacting you as the land owner of the lot next to Ohana Ola O Kahumana, which is located at 86-433 Kuwale Road. As you may be aware, Ohana Ola O Kahumana is a transitional housing program for homeless families with children. We are currently making plans for the unfinished portion of the property, and we would like an opportunity to inform you about our plans.

**If you are interested in receiving information about our plans for Ohana Ola O Kahumana, please contact Susan Austin at [saustin@asi-hawaii.org](mailto:saustin@asi-hawaii.org) or at the mailing address below.**

Your input is very important to us. We look forward to hearing from you.

Sincerely,



Tom McDonald  
Executive Director

Alternative Structures International, dba Kahumana, dba Kahumana Community Center, dba  
Kahumana Organic Farm & Café, dba Ohana Ola 'O Kahumana and Ulu Ke Kukui Transitional  
Homeless Shelters for Families with Children  
Business Office: 86-660 Lualualei Homestead Road, Waianae 96792  
(808) 696-2655 Fax (808) 696-6608



November 3, 2015

Mr. George K. Asato  
2508 Awalii St.  
Pearl City, HI 96782

Dear Mr. Asato:

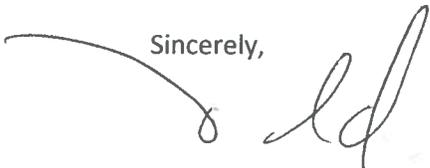
We are contacting you as a land owner of a property on Kuwale Road. Our transitional housing program for homeless families with children, Ohana Ola O Kahumana, is located at 86-433 Kuwale Road. We are currently making plans for the unfinished portion of Ohana Ola O Kahumana, and we would like an opportunity to speak with you about our plans.

**We could either visit you at your home or meet you at your property on Kuwale Road. We will be visiting homes on Kuwale Road on Tuesday, November 17, between 12:30 p.m. – 3:30 p.m.** If you would rather have us stop by your home, we will be making house calls outside of Waianae on Wednesday, November 18, between 1:00 p.m. – 3:00 p.m.

**Please call Susan Austin at 696-2655 to let us know the best way to contact you.** You may also request an alternate date and time, or leave a phone number if you prefer to be reached by phone.

Your input is very important to us. We look forward to hearing from you.

Sincerely,

  
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Executive Director

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November 3, 2015

Mr. Chi Jen Su  
91-1002 Hooilo Place  
Ewa Beach, HI 96706

Dear Mr. Su:

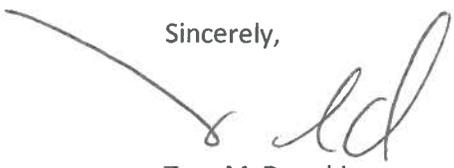
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(808) 696-2655 Fax (808) 696-6608



November 3, 2015

Mr. Ronald F. Timbreza  
91-1019 Waaula St., #C  
Kapolei, HI 96707

Dear Mr. Timbreza:

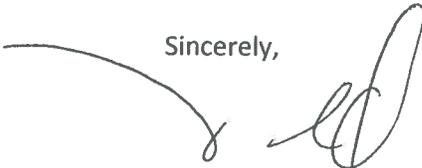
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November 3, 2015

The Divine Church of God  
c/o Leatrice Maiava  
92-554 Akaula Street  
Kapolei, HI 96707

Dear Ms Maiava:

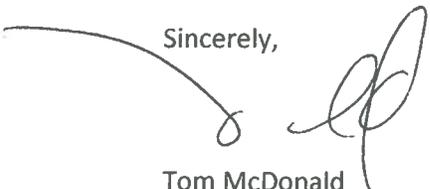
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November 3, 2015

Neighbor  
86-445 Kuwale Rd.  
Waianae, HI 96792

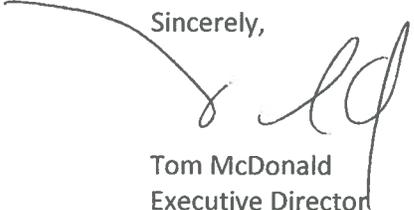
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November 3, 2015

Neighbor  
86-401 Kuwale Rd.  
Waianae, HI 96792

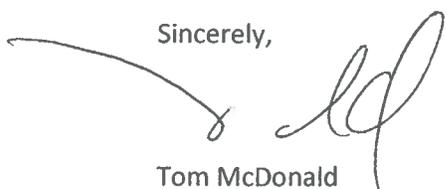
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November 3, 2015

Neighbor  
86-446A Kuwale Rd.  
Waianae, HI 96792

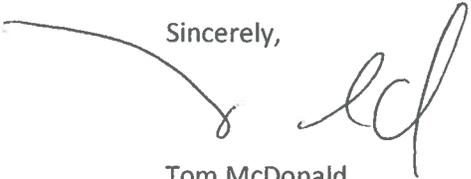
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November 3, 2015

Neighbor  
86-440 Kuwale Rd.  
Waianae, HI 96792

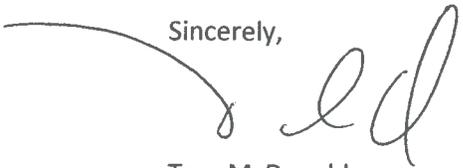
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(808) 696-2655 Fax (808) 696-6608



November 3, 2015

Gwendolyn F. Akau  
86-430 Kuwale Rd.  
Waianae, HI 96792

Dear Ms Akau:

As you may know, Ohana Ola O Kahumana is a transitional housing program for homeless families with children. We are located in your neighborhood at 86-433 Kuwale Road. We are currently making plans for the unfinished portion of our property and we would like an opportunity to speak with you about our plans.

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(808) 696-2655 Fax (808) 696-6608



November 3, 2015

Roy & Mary Yoshikawa  
86-424 Kuwale Rd.  
Waianae, HI 96792

Dear Mr. & Mrs. Yoshikawa:

As you may know, Ohana Ola O Kahumana is a transitional housing program for homeless families with children. We are located in your neighborhood at 86-433 Kuwale Road. We are currently making plans for the unfinished portion of our property and we would like an opportunity to speak with you about our plans.

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Executive Director

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Homeless Shelters for Families with Children  
Business Office: 86-660 Lualualei Homestead Road, Waianae 96792  
(808) 696-2655 Fax (808) 696-6608



November 3, 2015

Mr. Jimmy Lorenzo  
86-416 Kuwale Rd.  
Waianae, HI 96792

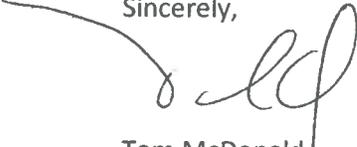
Dear Mr. Lorenzo:

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Sincerely,



Tom McDonald  
Executive Director

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Kahumana Organic Farm & Café, dba Ohana Ola 'O Kahumana and Ulu Ke Kukui Transitional  
Homeless Shelters for Families with Children  
Business Office: 86-660 Lualualei Homestead Road, Waianae 96792  
(808) 696-2655 Fax (808) 696-6608



May 31, 2016

Herb Farm Inc.  
c/o Tak Fai Ho  
1074 Rue Des Trappistes  
Winnipeg, Manitoba  
R3V 1B8  
CANADA

Dear Mr. Ho:

**Our presentation to the Waianae Coast Neighborhood Board has been changed from their meeting on June 7<sup>th</sup> to their meeting on July 5th.** We will be discussing our plans to add a Community Training Kitchen to Ohana Ola O Kahumana (Ohana Ola) transitional housing for homeless families. The project site is located on an undeveloped portion of Ohana Ola, at 86-433 Kuwale Road.

The Community Training Kitchen will provide job training primarily for residents of Ohana Ola. Trainees will gain food-preparation skills and work experience that will help them find jobs in the larger community. This is a crucial step in securing financial independence and permanent housing for families in transition.

If you are interested in learning more about our project, please join us at the Waianae Coast Neighborhood Board meeting:

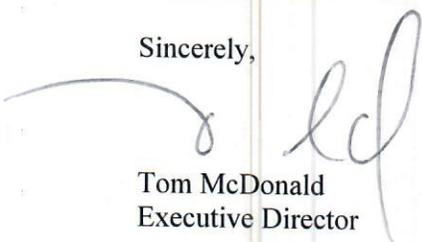
Tuesday, July 5, 2016

7:00 p.m.

Waianae District Park – Multi-Purpose Room  
85-601 Farrington Highway

We look forward to seeing you there!

Sincerely,



Tom McDonald  
Executive Director



May 31, 2016

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86-424 Kuwale Road  
Waianae, HI 96792

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Tuesday, July 5, 2016

7:00 p.m.

Waianae District Park – Multi-Purpose Room  
85-601 Farrington Highway

We look forward to seeing you there!

Sincerely,

Tom McDonald  
Executive Director



May 31, 2016

Ronald F Timbreza  
91-1019 Waaula Street, #C  
Kapolei, HI 96707

Dear Mr. Timbreza:

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We look forward to seeing you there!

Sincerely,

Tom McDonald  
Executive Director



May 31, 2016

Neighbor  
86-445 Kuwale Road  
Waianae, HI 96792

Dear Neighbor:

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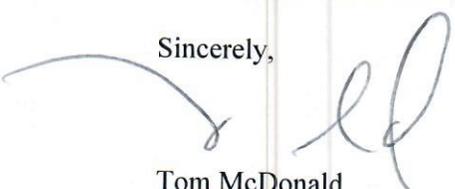
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Executive Director



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Waianae, HI 96792

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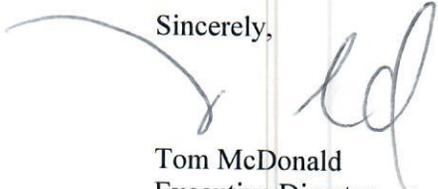
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Executive Director



May 31, 2016

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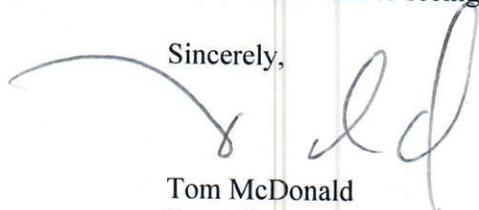
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May 31, 2016

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Waianae, HI 96792

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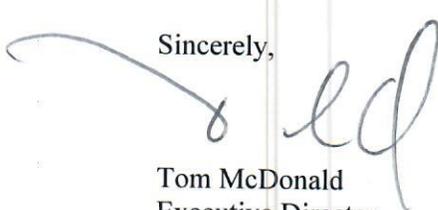
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c/o Leatrice Maiava  
92-554 Akaula Street  
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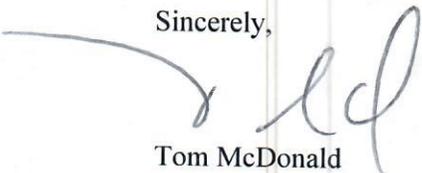
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Executive Director



May 31, 2016

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96-416 Kuwale Road  
Waianae, HI 96792

**Dear Mr. Lorenzo:**

**Our presentation to the Waianae Coast Neighborhood Board has been changed from their meeting on June 7<sup>th</sup> to their meeting on July 5th.** We will be discussing our plans to add a Community Training Kitchen to Ohana Ola O Kahumana (Ohana Ola) transitional housing for homeless families. The project site is located on an undeveloped portion of Ohana Ola, at 86-433 Kuwale Road.

The Community Training Kitchen will provide job training primarily for residents of Ohana Ola. Trainees will gain food-preparation skills and work experience that will help them find jobs in the larger community. This is a crucial step in securing financial independence and permanent housing for families in transition.

If you are interested in learning more about our project, please join us at the Waianae Coast Neighborhood Board meeting:

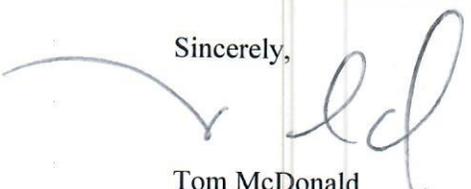
Tuesday, July 5, 2016

7:00 p.m.

Waianae District Park – Multi-Purpose Room  
85-601 Farrington Highway

We look forward to seeing you there!

Sincerely,



Tom McDonald  
Executive Director



May 31, 2016

Gwendolyn F. Akau  
86-430 Kuwale Road  
Waianae, HI 96792

Dear Ms Akau:

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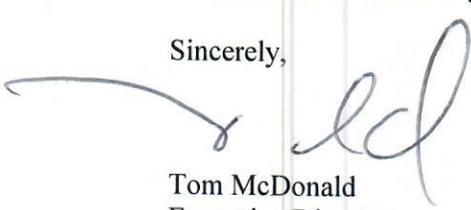
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7:00 p.m.

Waianae District Park – Multi-Purpose Room  
85-601 Farrington Highway

We look forward to seeing you there!

Sincerely,



Tom McDonald  
Executive Director



May 31, 2016

Mr. George K. Asato  
2508 Awalii Street  
Pearl City, HI 96782

Dear Mr. Asato:

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85-601 Farrington Highway

We look forward to seeing you there!

Sincerely,

Tom McDonald  
Executive Director



May 31, 2016

Chi Jen Su  
91-1002 Hooilo Place  
Ewa Beach, HI 96706

Dear Mr. Su:

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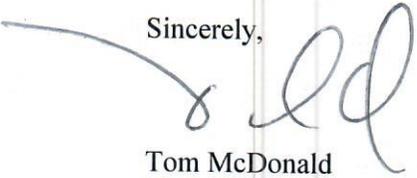
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Waianae District Park – Multi-Purpose Room  
85-601 Farrington Highway

We look forward to seeing you there!

Sincerely,



Tom McDonald  
Executive Director



May 31, 2016

Herb Farm Inc.  
c/o Tak Fai Ho  
1074 Rue Des Trappistes  
Winnipeg, Manitoba  
R3V 1B8  
CANADA

Dear Mr. Ho:

**Our presentation to the Waianae Coast Neighborhood Board has been changed from their meeting on June 7<sup>th</sup> to their meeting on July 5th.** We will be discussing our plans to add a Community Training Kitchen to Ohana Ola O Kahumana (Ohana Ola) transitional housing for homeless families. The project site is located on an undeveloped portion of Ohana Ola, at 86-433 Kuwale Road.

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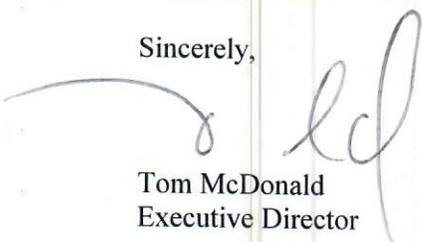
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7:00 p.m.

Waianae District Park – Multi-Purpose Room  
85-601 Farrington Highway

We look forward to seeing you there!

Sincerely,

  
Tom McDonald  
Executive Director



May 31, 2016

Roy & Mary Yoshikawa  
86-424 Kuwale Road  
Waianae, HI 96792

Dear Mr. & Mrs Yoshikawa:

**Our presentation to the Waianae Coast Neighborhood Board has been changed from their meeting on June 7<sup>th</sup> to their meeting on July 5th.** We will be discussing our plans to add a Community Training Kitchen to Ohana Ola O Kahumana (Ohana Ola) transitional housing for homeless families. The project site is located on an undeveloped portion of Ohana Ola, at 86-433 Kuwale Road.

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7:00 p.m.

Waianae District Park – Multi-Purpose Room  
85-601 Farrington Highway

We look forward to seeing you there!

Sincerely,

Tom McDonald  
Executive Director



May 31, 2016

Ronald F Timbreza  
91-1019 Waaula Street, #C  
Kapolei, HI 96707

Dear Mr. Timbreza:

**Our presentation to the Waianae Coast Neighborhood Board has been changed from their meeting on June 7<sup>th</sup> to their meeting on July 5<sup>th</sup>.** We will be discussing our plans to add a Community Training Kitchen to Ohana Ola O Kahumana (Ohana Ola) transitional housing for homeless families. The project site is located on an undeveloped portion of Ohana Ola, at 86-433 Kuwale Road.

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7:00 p.m.

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85-601 Farrington Highway

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Sincerely,

Tom McDonald  
Executive Director



May 31, 2016

Neighbor  
86-445 Kuwale Road  
Waianae, HI 96792

Dear Neighbor:

**Our presentation to the Waianae Coast Neighborhood Board has been changed from their meeting on June 7<sup>th</sup> to their meeting on July 5<sup>th</sup>.** We will be discussing our plans to add a Community Training Kitchen to Ohana Ola O Kahumana (Ohana Ola) transitional housing for homeless families. The project site is located on an undeveloped portion of Ohana Ola, at 86-433 Kuwale Road.

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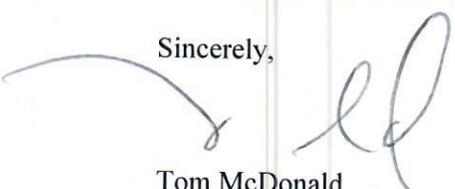
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7:00 p.m.

Waianae District Park – Multi-Purpose Room  
85-601 Farrington Highway

We look forward to seeing you there!

Sincerely,



Tom McDonald  
Executive Director



May 31, 2016

Neighbor  
86-401 Kuwale Road  
Waianae, HI 96792

Dear Neighbor:

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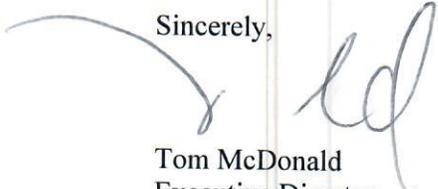
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7:00 p.m.  
Waianae District Park – Multi-Purpose Room  
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Sincerely,



Tom McDonald  
Executive Director



May 31, 2016

Neighbor  
86-446A Kuwale Road  
Waianae, HI 96792

Dear Neighbor:

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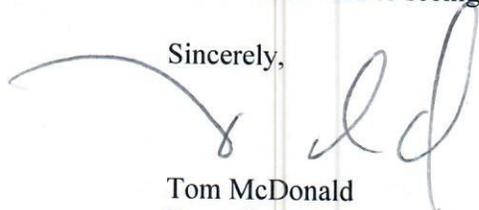
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7:00 p.m.

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85-601 Farrington Highway

We look forward to seeing you there!

Sincerely,



Tom McDonald  
Executive Director



May 31, 2016

Neighbor  
86-440 Kuwale Road  
Waianae, HI 96792

Dear Neighbor:

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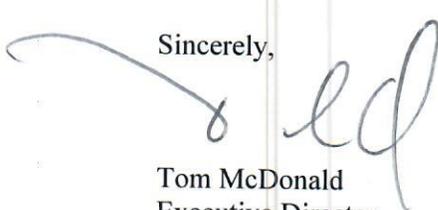
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Sincerely,



Tom McDonald  
Executive Director



May 31, 2016

The Divine Church of God  
c/o Leatrice Maiava  
92-554 Akaula Street  
Kapolei, HI 96707

Dear Ms Maiava:

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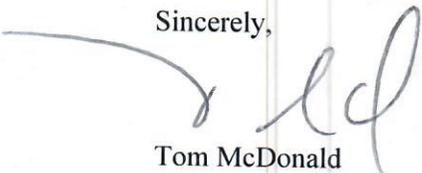
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Sincerely,



Tom McDonald  
Executive Director



May 31, 2016

Mr. Jimmy C. Lorenzo  
96-416 Kuwale Road  
Waianae, HI 96792

**Dear Mr. Lorenzo:**

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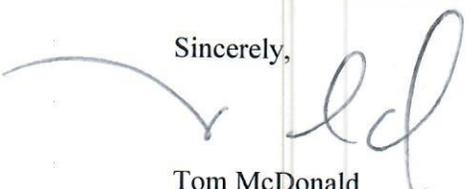
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Executive Director



May 31, 2016

Gwendolyn F. Akau  
86-430 Kuwale Road  
Waianae, HI 96792

Dear Ms Akau:

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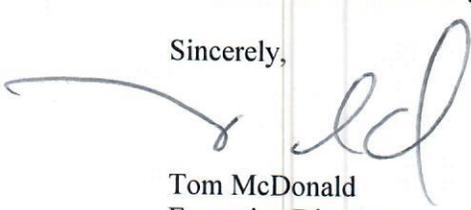
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Executive Director



May 31, 2016

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2508 Awalii Street  
Pearl City, HI 96782

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Executive Director



May 31, 2016

Chi Jen Su  
91-1002 Hooilo Place  
Ewa Beach, HI 96706

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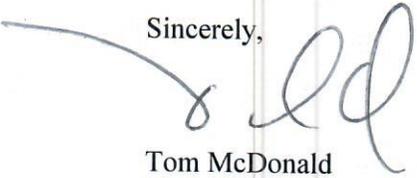
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