



Final Environmental Assessment

# KAPI'OLANI COMMUNITY COLLEGE CULINARY INSTITUTE OF THE PACIFIC

March 2009

**KAPI'OLANI COMMUNITY COLLEGE  
CULINARY INSTITUTE OF THE PACIFIC  
FINAL ENVIRONMENTAL ASSESSMENT**

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**LIST OF ACRONYMS**

The following is a list of terms, abbreviations, and acronyms used in this document.

**A**

A.C.	All Concrete
ADA	American Disability Act
ADAAG	American Disability Act Accessibility Guidelines
ALISH	Agricultural Lands in the State of Hawai'i

**B**

BLNR	State of Hawai'i, Board of Land and Natural Resources
BMP	Best Management Practices
BWS	City & County of Honolulu, Board of Water Supply

**C**

CA	College Access
CAA	Clear Air Act
CATV	Cable Television
CBRA	Coastal Barrier Resources Act
CFR	Code of Federal Regulations
cfs	Cubic Feet per Second
CIP	Culinary Institute of the Pacific
City	City & County of Honolulu
CZM	Coastal Zone Management
CZMA	Coastal Zone Management Act

**D**

DFM	City & County of Honolulu, Department of Facility Maintenance
DHCAC	Diamond Head Citizens Advisory Committee
DHSM	Diamond Head State Monument
DLNR	State of Hawai'i, Department of Land & Natural Resources
DOH	State of Hawai'i, Department of Health
DP	Development Plan
DPP	City & County of Honolulu, Department of Planning & Permitting
DTS	City & County of Honolulu, Department of Transportation Services

**E**

E.O.	Executive Order
EA	Environmental Assessment
EIS	Environmental Impact Statement
EPA	Environmental Protection Agency
ESA	Endangered Species Act

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<b>F</b>		
	FM	Domestic/fire service (water meter)
	FONSI	Finding of No Significant Impact
	FWCA	Fish and Wildlife Coordination Act
<b>G</b>		
	GPD	Gallons per Day
<b>H</b>		
	H-POWER	Honolulu Program of Waste Energy Recovery
	HAR	Hawaii Administrative Rules
	HECO	Hawaiian Electric Company, Inc.
	HFD	City & County of Honolulu, Honolulu Fire Department
	HRS	Hawaii Revised Statutes
	HT	Hawaiian Telcom
<b>K</b>		
	KCC	Kapi'olani Community College
	kVA	Kilovolt Ampere
<b>L</b>		
	LEED	Leadership in Energy and Environmental Design
	LUC	State of Hawai'i, Land Use Commission
	LUO	Land Use Ordinance
<b>M</b>		
	MdC	Makalapa Clay
	MGD	Million Gallons per Day
	Mph	Miles per Hour
	MSL	Mean sea level
	MuC	Molokai Silty Clay
	MVA	Megavolt Amperes
<b>N</b>		
	NC	New Construction
	NEPA	National Environmental Policy Act
	NHPA	National Historic Preservation Act
	NRHP	National Register of Historic Places
	NPDES	National Pollutant Discharge Elimination System Permit
	NWSRS	National Wild and Scenic Resources Act
<b>O</b>		
	OCCL	Department of Land and Natural Resources, Office of Conservation and Coastal Lands
	OPNAVINST	Office of the Chief of Naval Operations Instruction
	OTWC	Oceanic Time Warner Cable

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**P**

PBN Pacific Business News  
PER Preliminary Engineering Report  
PRU Planned Review Use  
PUC Primary Urban Center

**R**

RCP Reinforced Concrete Pipe  
RCRA Resource Conservation and Recovery Act  
ROH Revised Ordinances of Honolulu  
rRk Rock Land

**S**

SD Special District  
SHPD State Historic Preservation Division  
SLUDB State Land Use District Boundary  
SMA Special Management Area  
SMP Special Management Area Use Permit  
State State of Hawai'i  
State DOD State of Hawai'i, Department of Defense

**T**

TMK Tax Map Key

**U**

UH University of Hawai'i  
UIC Underground Injection Control Line  
USC United States Code

**V**

VIC Visitor/Interpretive Center  
VOC Visitor Orientation Center

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# SECTION I

---

## GENERAL INFORMATION

**KAPI'OLANI COMMUNITY COLLEGE  
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## **I. GENERAL INFORMATION**

This Environmental Assessment (EA) has been prepared for the University of Hawai'i (UH), Kapi'olani Community College (KCC) to develop the Culinary Institute of the Pacific (CIP) at Diamond Head (Project) on the Cannon Club property, located on the northern slope of Diamond Head Crater and identified by Tax Map Key (TMK): (1) 3-1-42:11 (see Figures 1 and 2). The proposed action calls for the use of State lands and funds and County lands; therefore, the project is subject to Chapter 343, *Hawaii Revised Statutes* (HRS), and Title 11, Chapter 200, *Hawaii Administrative Rules* (HAR) of the Department of Health.

The Cannon Club property (project site) was previously examined as part of the *Diamond Head State Monument Master Plan Update Final Environmental Impact Statement* (2000). This EA has been prepared as the supporting document for the Special Management Area Use Permit (SMP), Plan Review Use (PRU) permit, and a Diamond Head Special District approval for the Culinary of the Pacific at Diamond Head project.

According to the City and County of Honolulu, Department of Planning and Permitting (DPP), the project site is zoned P-1, Restricted Preservation; P-2, General Preservation; and F-1, Military and Federal Preservation. The proposed project is intended for college or university use, as such, the applicant is required to secure a Plan Review Use (PRU) permit. A PRU allows college or university use in any zoning district (except P-1) and if requested and approved, allows "variances" from the development standards of the underlying zoning district. Such "variances" or deviations from the development standards of the underlying zoning district(s) include, but are not limited to: maximum building area, off-street parking calculations, height limits, and floor area ratio.

The City & County of Honolulu Zoning Districts did not match the State Land Use District Boundary (SLUDB) Map, and as a result, a SLUDB Interpretation was requested from the LUC. The LUC found that the entire site was in the SLUDB Urban District. The P-1 County zoning district is indicative and reflective of the SLUDB Conservation District. Due to the fact that the existing County zoning is not consistent with the recent State Land Use Urban District Designation, a Zoning District Boundary Adjustment will be needed to be conducted by the City & County of Honolulu, but not necessarily for the proposed project.

In addition, it is our understanding that given the transfer of the Cannon Club site via Executive Order (E.O.) 3918 effective April 23, 2002, which set aside 7.878 acres of land for public purpose to the Department of Land and Natural Resources (DLNR) Parks Division; that the appropriate zoning for the site would be the zoning adjacent to the project site (R-5).

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In accordance with Chapter 343, HRS, EA's must be approved by the government agency empowered to approve permits for a project. In this instance, the University of Hawai'i Community Colleges is the approving agency.

**I.A. APPLICANT**

The applicant is the University of Hawai'i, Kapi'olani Community College. The contact information for the Kapi'olani Community College is provided below.

University of Hawai'i  
Kapi'olani Community College  
4303 Diamond Head Road  
Honolulu, Hawai'i 96816-4421  
Contact: Carol Hoshiko, Dean  
Telephone: (808) 734-9567  
Facsimile: (808) 734-9828

**I.B. RECORDED FEE OWNER**

State of Hawai'i  
Department of Land Natural Resources Land Division  
1151 Punchbowl Street, Room 310  
Honolulu, Hawai'i 96813  
Contact: Daniel Quinn, State Parks Administrator  
Telephone: 587-0290  
Facsimile: 587-0311

During the pre-consultation period, the State of Hawai'i (State), Department of Land and Natural Resources (DLNR), Office of Conservation and Coastal Lands (OCCL) noted that Executive Order (E.O.) 3918 effective April 23, 2002 set aside 7.878 acres of land for public purpose to the Department of Land and Natural Resources Parks Division. DLNR leases the land to the University of Hawai'i (General lease No. 5661). As recommended by OCCL, the DLNR's Parks Division will continue to be consulted regarding the potential impacts to their existing or proposed projects, plans, policies or programs.



Legend

-  Project Site Boundary
-  Inside Special Management Area

Source:  
US Geological Survey

Disclaimer:  
This map has been prepared for general planning purposes only.

Figure 1  
Location Map  
Kapi'olani Community College  
Culinary Institute of the Pacific

Kapi'olani Community College ISLAND OF O'AHU

NORTH 

LINEAR SCALE (FEET)  
0 1,000 2,000 4,000 

  
PBR HAWAII  
& ASSOCIATES, INC.



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**I.C. AGENT**

The University of Hawai'i, Kapi'olani Community College's agent for the Culinary Institute of the Pacific at Diamond Head is PBR HAWAII.

PBR HAWAII  
1001 Bishop Street  
ASB Tower, Suite 650  
Honolulu, Hawai'i 96813  
Contact: Mr. Vincent Shigekuni, Vice President  
Telephone: (808) 521-5631  
Facsimile: (808) 523-1402

**I.D. TAX MAP KEY**

The property is identified as Tax Map Key (TMK): (1) 3-1-42:11 (see Figure 2)

**I.E. LOT AREA**

The property occupies approximately 7.878 acres.

**I.F. PROJECT ZONING AND ACREAGES**

According to the City and County of Honolulu, Department of Planning and Permitting (DPP) GIS map sources, approximately 1.0 acres of the project site is zoned P-1, Restricted Preservation, approximately 2.4 acres of the project site is zoned P-2, General Preservation; and approximately 4.4 acres of the project site is zoned F-1, Military and Federal Preservation.

The City & County of Honolulu Zoning Districts did not match the State Land Use District Boundary (SLUDB) Map, and as a result, a SLUDB Interpretation was requested from the LUC. The LUC found that the entire site was in the SLUDB Urban District. The P-1 County zoning district is indicative and reflective of the SLUDB Conservation District, thus the County zoning over the project site needs adjustment. Due to the fact that the existing County zoning is not consistent with the recent State Land Use Urban District Designation, the City & County of Honolulu will eventually need to perform a Zoning District Boundary Adjustment (presumably to R-3.5, which is the zoning designation of the adjoining zoning district). The original discussions with the Department of Planning and Permitting did not result in directions that rezoning or a Zoning District Boundary Adjustment was required.

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**I.G. ESTIMATED PROJECT COST**

Construction of the project is estimated to cost approximately \$45 million in 2010 dollars. The project's construction cannot be started until receipt of the SMA Major Use Permit, PRU and Diamond Head Special District approvals and building permits.

**I.H. APPROXIMATE DEVELOPMENT SCHEDULE**

Upon the receipt of the building permit, the project will take approximately two years to construct. At the earliest, the CIP cannot be occupied until the fall semester of 2012.

**I.I. MAJOR LAND USE PERMITS REQUIRED**

The proposed project will require a Special Management Area (SMA) Major Use Permit, Plan Review Use (PRU) approval and a Diamond Head Special District – Major approval.

**I.J. AGENCIES CONSULTED**

Pre-consultation request letters were sent to the following list of agencies and individuals. Agencies, organizations, or individuals that submitted comments are listed in bold. The comment letters and responses are provided in Appendix A.

**Table 1. Pre-Consultation Comment Letters**

AGENCY	REQUEST SENT	COMMENT RECEIVED
<b>STATE OF HAWAII</b>		
Department of Business, Economic Development & Tourism	11-6-06	-
<b>Department of Health, Office of Hazard Evaluation &amp; Emergency Response</b>	10-19-06	12-1-06
<b>Department of Land and Natural Resources</b>	11-6-06	11-24-06
<b>State Historic Preservation Division</b>	8-16-06	11-15-06, 12-26-06
<b>Office of Environmental Quality Control</b>	11-6-06	11-28-06
<b>Office of Hawaiian Affairs</b>	11-6-06	11-27-06
<b>CITY &amp; COUNTY OF HONOLULU</b>		
<b>Board of Water Supply</b>	11-6-06	11-29-06
Department of Community Services	11-6-06	-
<b>Department of Design &amp; Construction</b>	11-6-06	11-29-06
Department of Environmental Services	11-6-06	-
<b>Department of Facility Maintenance</b>	11-6-06	1-18-07
<b>Department of Planning &amp; Permitting</b>	10-19-06	1-4-07
<b>Department of Transportation Services</b>	11-6-06	1-2-07

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AGENCY	REQUEST SENT	COMMENT RECEIVED
<b>Fire Department</b>	11-6-06	11-16-06
<b>Police Department</b>	11-6-06	11-8-06
<b>FEDERAL</b>		
Department of the Army	11-6-06	-
U.S. Fish and Wildlife Service	11-6-06	-
<b>PRIVATE ORGANIZATIONS &amp; INDIVIDUALS</b>		
Hawaiian Electric Company	7-3-05	-
State Senator Sam Slom	11-6-06	-
State Representative Scott Y. Nishimoto	11-6-06	-
Councilmember Charles K. Djou	11-6-06	-

**I.J.1. Public Notification**

In October 2000, a Final Environmental Impact Statement (EIS) for the Diamond Head State Monument Master Plan Update was filed. As part of the key elements of the Master Plan update, the following was proposed: "...utilizing the Cannon Club site for food service and/or visitor orientation and providing restroom facilities..."

Several presentations have been made to the Diamond Head Citizens' Advisory Committee over the years and most recently on February 25, 2009. Presentations have also been made at neighborhood board meetings, industry and civic organizations, state and municipal agencies and events. In addition, a community meeting sponsored by Senator Ihara and Representative Nishimoto was held subsequent to the publication of the Draft EA to discuss the proposed project. Stories about the proposed project have been published in various newspapers including:

- Pacific Business News, May 18, 2001
- Pacific Business News, April 11, 2003
- Pacific Business News, June 2, 2006
- Star Bulletin, June 21, 2007
- Star Bulletin, June 22, 2007
- Honolulu Advertiser, June 27, 2007

Appendix B contains copies of the above articles.

Appendix C contains letters of support for the project.

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# SECTION II

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## DESCRIPTION OF THE PROPOSED ACTION

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## **II. DESCRIPTION OF THE PROPOSED ACTION**

### **II.A. GENERAL DESCRIPTION**

This section provides background information, identifies the project's purpose and need, and describes the proposed improvements.

#### **II.A.1. Background**

The former Fort Ruger Military Reservation is located in a primarily residential area on lands in, on, and adjacent to Diamond Head Crater (Mount Lē'ahi). The Cannon Club property is located on Diamond Head's northern slopes at the former site of the United States (U.S.) Army Fort Ruger Officers Club. The Army closed the Cannon Club in 1997. It had been an elite social club for military officers for more than 50 years.

The State of Hawai'i acquired the 7.878-acre parcel from the federal government in March 2001. Executive Order 3918 (effective April 23, 2002) set aside the 7.878-acre Cannon Club parcel for public purpose to the DLNR Parks Division, as an addition to the Diamond Head State Monument.

Diamond Head lies on the southern coastline of O'ahu, approximately one and a half miles south of the slopes of the Ko'olau mountain range. To the northwest are residences, Kapi'olani Park, the Honolulu Zoo and Waikiki. To the north across Diamond Head Road are Kapi'olani Community College and the residential areas of Kapahulu and Kaimuki. To the east of Diamond Head is the residential area of Kāhala. To the south is the Diamond Head State Monument and Diamond Head Beach Park. Diamond Head, including the project site, was historically under the jurisdiction of the military and was transferred to the DLNR in 2000.

##### **II.A.1.a. Kapi'olani Community College**

Kapi'olani Community College was established in 1946 as Kapi'olani Technical School. The first program was food service. The technical school realigned its programs and became part of the open door community college system of the University of Hawai'i in 1965 and was renamed Kapi'olani Community College (KCC).

Originally located at the Ala Wai Center, and then relocated to the corner of Pensacola and Kapi'olani Boulevard, KCC's enrollment grew rapidly during the 1970s that the need to move to larger quarters became a priority. In 1974, the UH Board of Regents provided for a phased transition and transfer of the Pensacola programs to a new 52-acre campus located on the slopes of Diamond Head. Occupying five temporary renovated buildings

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once owned by Fort Ruger, KCC received the distinction of being the first two-campus college in the system.

As of February 2009, KCC has an enrollment of approximately 7,900 students, of which more than 300 students are enrolled in the culinary program. Currently the culinary program is housed in the 'Ohelo and Ohia buildings on the KCC campus. KCC includes 10 modern kitchens, a 130-seat culinary demonstration auditorium, on-campus restaurants, banquet rooms, computer labs, as well as showers and lockers for culinary arts students.

#### **II.A.1.b. The Culinary Institute of the Pacific**

The Culinary Institute of the Pacific (CIP) was established in January 2000 as a University of Hawai'i Community College system-wide consortium, made up of seven culinary arts programs located on six campuses on O'ahu, Maui, Kaua'i and the Big Island. The mission of the CIP is to offer career, technical and cultural culinary education to Hawai'i and the global community. The goal of the CIP is to become the premier culinary training and education center in the Pacific.

In December 2003, a strategic plan for a new Program for Advanced Culinary Education was designed to prepare graduates to obtain executive level positions in the food service industry. The former Fort Ruger Cannon Club property at the foot of Diamond Head, and directly across the street from the KCC campus, was selected as the proposed site for this advanced culinary program.

#### **II.A.1.c Diamond Head State Monument Visitor Orientation Center**

The Diamond Head State Monument (DHSM) was first officially established under Executive Order (E.O.) 2000 by Hawai'i's Governor Quinn in 1962. This early designation covered approximately 145 acres. Subsequent Executive Orders have added lands to the DHSM. The interior of the crater had been closed to the public (except for special events such as Boy Scout camping) from 1906 until 1968. In 1976, the Division of State Parks, Outdoor Recreation and Historic Sites (now called "Division of State Parks"), under the direction of the Department of Land and Natural Resources (DLNR), became the agency generally responsible for the planning and management of the DHSM. The first master plan for the DHSM was finalized in the *Diamond Head State Monument Planning Report* dated June 1979 and accepted by the Board of Land and Natural Resources on November 9, 1979.

In 1997, the State Legislature funded an update of the 1979 plan. On January 1998, the Division of State Parks and its planning consultant, PBR HAWAII, met with the Diamond Head Citizens Advisory Committee once or twice a month. The most important issue discussed was the location of the proposed Visitor Interpretive Center, its size and

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program components. In September 1998, the EIS process was started with an EIS Preparation Notice publication. The EIS was finalized in October 2000.

The *Diamond Head State Monument (DHSM) Master Plan Update* was finalized and published in July 2003. To date, funding for the implementation of the Master Plan has not been a legislative priority. Subsequent to the adoption of the Master Plan Update, parking fees and separate entry fees are collected, the interior parking lot was improved, a parking guard house was installed, a small visitor information/entry collection fee building was built, and the old restroom facility was replaced with a new one. There have also been some minor hiking trail improvements. In recent years, there have been landslides that have closed the makai portion of Diamond Head Road and as a result, some of the crater slopes have had to be removed. In anticipation of other hazardous areas around the crater, including the hiking trail, other potentially dangerous rocks and soils are being removed.

The *Diamond Head State Monument (DHSM) Master Plan Update* proposed that ultimately visitor parking would be relocated from within the crater, where visitor parking is currently located, to the crater exterior. At the time the Final EIS for the *DHSM Master Plan Update* was being finalized, there was no certainty that the U.S. Army would be vacating the Cannon Club property (or that the DLNR State Parks would be allowed to develop the project site), so the *DHSM Master Plan Update* stated that when it is decided to move visitor parking to the crater exterior, the first choice would be to utilize the existing entries and parking at the Cannon Club (this was proposed because the Cannon Club site has a sizable existing parking lot). The *DHSM Master Plan Update* went on to state that if the Cannon Club cannot be acquired, then a new parking lot could be built near the Makapu'u Avenue/Diamond Head Road intersection. When an exterior parking lot is in place, for those who cannot or who do not desire to walk into the crater, a small, motorized "people mover," could be provided. Once a visitor reaches the north side of the crater exterior, he or she would have the option of walking into the crater via either the Kāhala or Kapahulu Tunnels, or to pay a fee to board the people mover. The people mover would start from the exterior parking lot (Cannon Club or near the Makapu'u Avenue/Diamond Head Road intersection - which would ultimately be the main entry into the Diamond Head crater interior) and make a stop at the Battery Harlow. The people mover would then enter the crater via Kapahulu Tunnel (which affords a higher vantage point than the Kāhala Tunnel) make a loop inside the crater, and exit the crater via Kāhala Tunnel.

To support moving the parking to the exterior of the crater, a Visitor Orientation Center (VOC) was proposed. As originally proposed, the VOC was not envisioned as being a duplicate or a replacement of the proposed major Visitor/Interpretive Center (VIC). Instead, the VOC was envisioned to have an entirely different function, a more modest facility where visitors could get information about the crater (whether they decided to enter or not), have access to restroom facilities, buy souvenirs and purchase refreshments.

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When the U.S. Army vacated the Cannon Club site, it fell into the State of Hawai'i's land inventory, but the disposition of Federal property gives higher priority to particular activities, and one of the highest priorities is educational providers. As a result, KCC sought, and received, a long-term lease for the Cannon Club site to develop its Culinary Institute of the Pacific.

In addition to KCC securing a lease over the Cannon Club site, there have been several other developments that have occurred subsequent to the *DHSM Master Plan Update*, which would appear to leave the VOC more suited closer to the ultimate entry to the crater (at the Makapu'u Avenue/Diamond Head Road intersection) than at the Cannon Club site, these are: 1) the City announced plans to signalize the intersection of Makapu'u Avenue/Diamond Head Road (thus ensuring a safer vehicular entry and facilitating this intersection as the main entry into the crater); 2) as architectural planning and design has occurred for the CIP, it is becoming evident that to meet the City's parking requirements nearly all of the area available for parking on the Cannon Club site is needed for the CIP, however it is KCC's continued intent to share parking with the DHSM; and 3) the schedule for relocating visitor parking from the interior of the crater to its exterior is unknown given State funding priorities.

The Draft EA included a Preliminary Site Plan showing a potential location for a VOC within the Cannon Club site, both near Diamond Head Road, and near a proposed internal road connecting the Cannon Club site and the future Makapu'u Avenue/Diamond Head Road entry to the DHSM. The area set aside for the VOC was approximately 1,600 square feet, which would appear adequate to include restrooms, gift shop, an office, storage and mechanical room. The Preliminary Engineering Report (PER) for this Environmental Assessment also contemplated the civil engineering requirements of the VOC in order to ensure that future design of required water, sewer, drainage, electrical and communications facilities for the KCC CIP could accommodate a modest VOC (as described above), without requiring the VOC to replace water and sewer lines (when it is eventually built), while not placing an unfair burden to the KCC CIP (since the VOC could be located elsewhere in the DHSM).

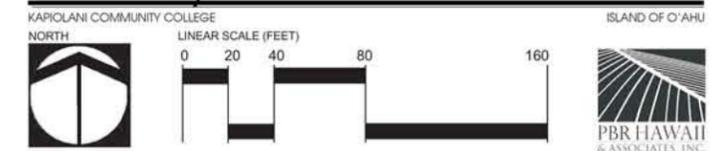
Subsequent to the publication of the Draft EA, the Diamond Head Citizen's Advisory Committee commented that "the Monument's Visitor Orientation Center in the draft EA is unnecessary and should be removed." As such, the VOC has been removed from the updated preliminary site plan (see Figure 3).

### **II.A.2. Project Description**

The Culinary Institute of the Pacific at Diamond Head will be a culinary training ground that will rival any in the world, and is uniquely positioned geographically to bring together the tastes and influences of Asia and the Pacific with those of the mainland United States



Figure 3  
 Preliminary Site Plan  
 Kapi'olani Community College  
 Culinary Institute of the Pacific



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and Europe. The Project will build upon the strong foundation of KCC's food service and hospitality education department, creating an advanced program that offers more options in noncredit training.

The main KCC campus will continue to offer food service courses and programs. The current culinary degree program will be retained on the KCC campus with the Culinary Institute of the Pacific facility offering new third and fourth year advanced courses. The curriculum will be aligned with the two-year degree currently offered, as well as, offering further education to graduates, will also offer advanced education for industry professionals wishing to advance their culinary and culinary management skills. The KCC CIP will be integrated operationally and functionally with the KCC's main campus.

KCC anticipates that by 2017, the anticipated number of credit students who will attend the Culinary Institute of the Pacific facility during the school year will be 200; during the summer session approximately 80 students, and professional/continuing education and public demos will account for approximately 1,025 persons.

The Project will construct an advanced culinary program facility on the site formerly occupied by the U.S. Army's Cannon Club. This site will allow KCC to expand its current curriculum to go beyond the two-year programs offered at the community colleges in culinary arts. .

A new state-of-the-art facility will be constructed on the site to house the Program for Advanced Culinary Education, and will include a teaching restaurant, administration/faculty building, auditorium building, classroom building, multi-function lab buildings, central building plant, exterior education features and open areas.

Once the proposed CIP is completed, the expected hours of operation of the proposed CIP as an educational facility are Monday through Friday from 8:00 AM to 7:00 PM (Labs will be conducted from 8:00 AM to 2:00 PM; Non-credit professional development courses will be held from 2:00 PM to 7:00 PM). The expected hours of operation for the restaurant are Monday through Sunday (seven day a week) from 7:00 AM to 10:00 AM for Breakfast; 11:00 AM to 2:00 PM for Lunch; and 5:00 PM to 10:00 PM for Dinner. KCC envisions that by 2017, approximately 280 students and 11 faculty and staff will use the facility. The restaurant is anticipated to hold approximately 175 dining patrons. Potential on-site activities include baccalaureate degree program instruction, continuing education/professional development instruction, administration activities, distance education and video recording, cultural events, chef demonstrations and lectures, culinary competitions, and visitor tours.

Program graduates will qualify for high-paying jobs, enhancing local hospitality industry, or helping to meet the growing demand around the world for executive chefs and restaurant managers.

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Figure 3 contains a preliminary site plan. While there are no plans for the VOC, a possible site for it has been identified on the site plan.

**II.A.2.a. Purpose and Need for the Project**

The purpose for this project is to provide classroom and facility space for KCC's advanced culinary programs. The Culinary Institute of the Pacific at Diamond Head will be dedicated to training and education with state-of-the-art culinary facilities. The advanced training programs are designed to continue local industry growth and also serve as an attraction to those from outside Hawai'i who wish to learn the techniques of Pacific regional cuisine. Currently, Hawai'i students who want advanced culinary training have to leave the State. The target population for the advanced program is former students now working in the industry, and those who want specialty training.

The Cannon Club property is on ceded land (former crown and governmental lands originally belonging to the Hawaiian kingdom now held in trust by the State of Hawai'i) and the project would fulfill the educational purpose as provided for by the public land trust of the Admissions Act (Section 5, Subsection f).

KCC's growing enrollment in culinary education demands more classroom and training space. The interest in the CIP becoming the premier program for advanced culinary education requires the CIP to have its own state-of-the-art culinary training facilities separate from the KCC undergraduate culinary program facilities to prevent overcrowding of existing facilities. The close proximity of the project site to the existing KCC campus is also ideal for the CIP students to use KCC resources.

**II.A.2.b Diamond Head State Monument Master Plan Update**

In 1997, the State of Hawai'i (State) Legislature funded an update of the 1979 Diamond Head State Monument (DHSM) Development Plan. The update included the preparation of plans, and designs for the incremental development of the Monument. A Master Plan Update and Final Environmental Impact Statement was completed and finalized in October 2000. The Final EIS for the *Diamond Head State Monument Master Plan Update* was prepared for the State of Hawai'i Department of Land and Natural Resources (DLNR), and as part of State law under Chapter 6E-32, Hawai'i Revised Statutes, amendments to the 1979 Master Plan are allowed by the Board of Land and Natural Resources (BLNR) with the review and recommendations of the Diamond Head Citizens Advisory Committee (DHCAC). As part of the key elements of the Master Plan Update, the following was proposed: "...utilizing the Cannon Club site for food service and/or visitor orientation and providing restroom facilities..." The proposed CIP (which is the subject of this Environmental Assessment) is one of the first major projects proposed in the *DHSM Master Plan Update*.

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### **II.A.3. Relationship of Parcel to the Special Management Area**

The Cannon Club site lies within the Special Management Area (SMA), and is thus subject to the SMA rules and regulations of the City & County of Honolulu (see Figure 4). The project site is located on the crater side of Diamond Head Road and is not on the shoreline; therefore, a shoreline survey was not conducted. Because implementation of the project within the SMA will exceed \$125,000, an SMP-Major Use permit is required from the City & County of Honolulu (City).

This Final EA has been prepared in compliance with Chapter 25, Revised Ordinances of Honolulu (ROH). The Final EA also complies with the State of Hawai'i Environmental Impact Statement Law (Chapter 343, HRS), as State funding will be sought.

This Final EA identifies whether “significant environmental effects” will result from the proposed project. The *Content Guide for preparing an Environmental Assessment Required with an Application for a Special Management Area Use Permit (SMP)* Chapter 25, ROH, as amended, references the Administrative Rules of the Department of Health, Title 11, Chapter 200 “Environmental Impact Statement Rules,” Sections 10, 11, and 12. According to the Department of Health Rules, which are governed by Chapter 343, HRS implementation, if “significant environmental effects” are not identified by an environmental assessment, preparation of a full environmental impact statement is not required, and a Finding of No Significant Impact (FONSI) is issued by the approving authority. Otherwise, a notice of preparation is issued and processing of a full environmental impact statement is required.

### **II.A.4. Location Map**

Figure 1 contains the location map.

### **II.A.5. Land Use Approvals Granted and/or Approvals Required**

This section discusses the current land use designations of the project site, previously granted permits/approvals, and future permits/approvals required for the project.

#### **State of Hawai'i Land Use Districts**

The State of Hawai'i, Land Use Commission (LUC) places all lands in the State of Hawai'i on one of four land use districts: Urban, Agriculture, Conservation or Rural (Chapter 205, HRS). As recommended by the DLNR OCCL, the LUC was requested to provide a Boundary Interpretation. On January 26, 2007, the LUC determined that “there is sufficient basis to interpret the location of the State Land Use Urban/Conservation District

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boundary line along the mauka property boundary of the subject parcel.” Thus, the entire property is located entirely within the Urban district. As illustrated in Figure 5, the project site is located entirely within the Urban district land and is subject to City & County of Honolulu zoning regulations. Permitted uses and activities within the Urban District are subject to City & County of Honolulu ordinances and regulations.

**City & County of Honolulu Development Plans**

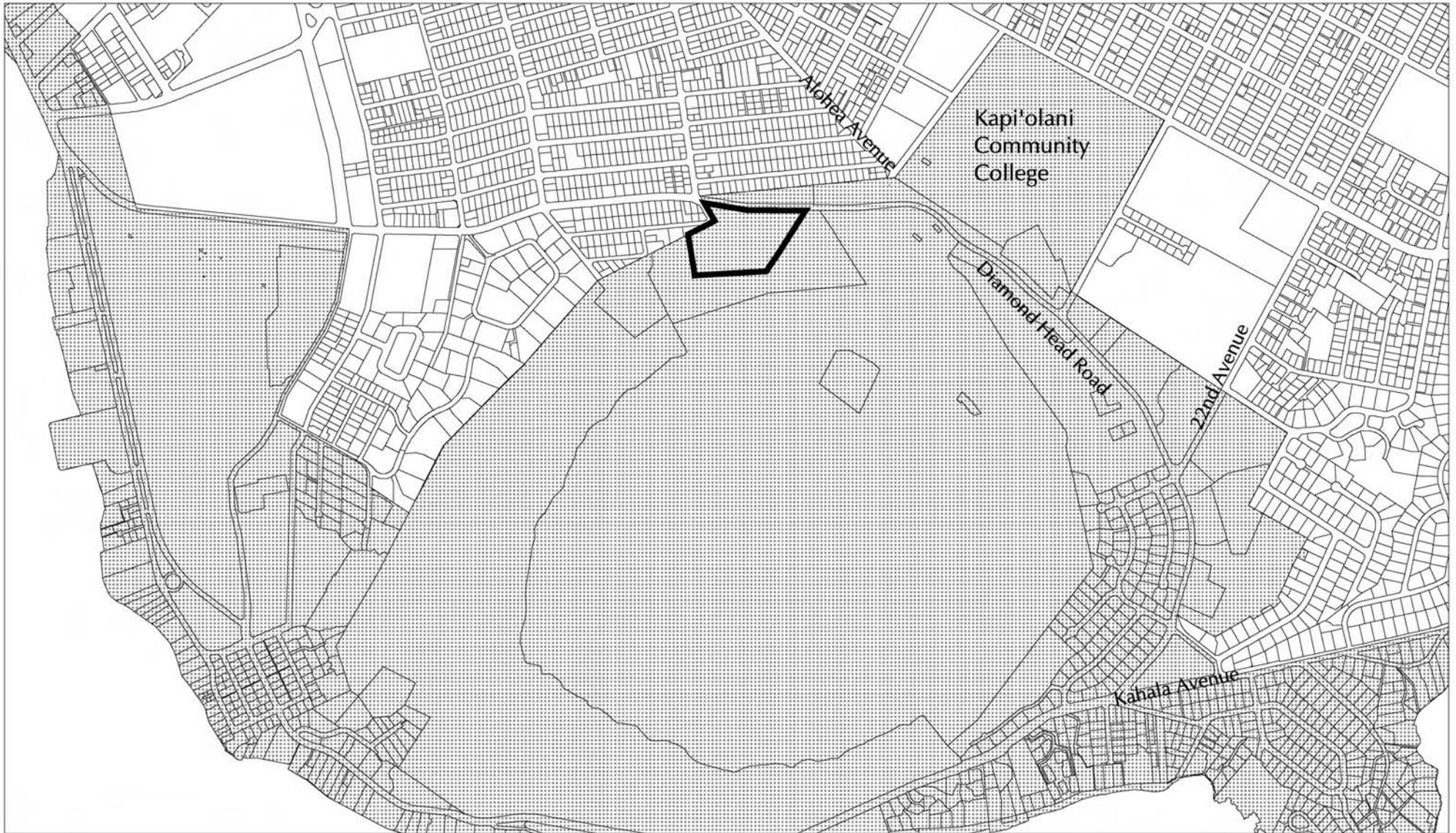
The City & County of Honolulu Development Plans (DPs) represent eight geographic regions that include all areas of O’ahu. Before 1992, the City Charter required DPs to be relatively detailed plans for implementing and accomplishing the development objectives and policies of the General Plan. In 1992, a Charter amendment changed this to require DPs to consist of “conceptual schemes.” In response to the 1992 Charter amendments, the City & County of Honolulu, Department of Planning (now the Department of Planning and Permitting) launched a thorough review of all eight DPs to ensure their conformance with the Charter-mandated conceptual orientation.

The project site is located within the Primary Urban Center (PUC), an area to which growth and supporting facilities will be directed over the next 20 years. The site is designated Low-Density Residential within the PUC DP Land Use Map (see Figure 6). A full discussion of the project’s relationship to relevant DP plans and policies is provided in Section VI.C.2. of this EA.

**City & County of Honolulu Land Use Ordinance**

All lands within the City & County of Honolulu are zoned into specific districts. According to the City and County of Honolulu, Department of Planning and Permitting (DPP), the project site is zoned P-1, Restricted Preservation; P-2, General Preservation; and F-1, Military and Federal Preservation (see Figure 7). These districts and permitted uses within them are described under the Land Use Ordinance (LUO) (Chapter 21, Revised Ordinances of Honolulu), the City & County of Honolulu’s zoning ordinance. The LUO provides regulations for zoning and land use and ensures that adequate controls and review mechanisms are in place. However, because the proposed use is for college or university use, the applicant is required to secure a Plan Review Use (PRU) permit. A PRU allows college or university use in any zoning district (except P-1) and if requested and approved, allows “variances” from the development standards of the underlying zoning district. Such “variances” or deviations from the development standards of the underlying zoning district(s) include, but are not limited to: maximum building area, off-street parking calculations, height limits, and floor area ratio.

The City & County of Honolulu Zoning Districts did not match the State Land Use District Boundary (SLUDB) Map, and as a result, a SLUDB Interpretation was requested from the LUC. The LUC found that the entire site was in the SLUDB Urban District. The P-1



Legend

-  Project Site Boundary
-  Inside Special Management Area
-  Outside Special Management Area

Source:  
City & County of Honolulu (1998)

Disclaimer:  
This map has been prepared for general planning purposes only.

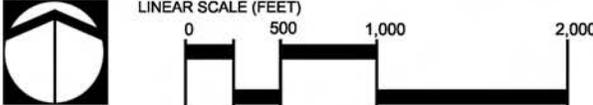
Figure 4  
Special Management Area  
Kapi'olani Community College  
Culinary Institute of the Pacific

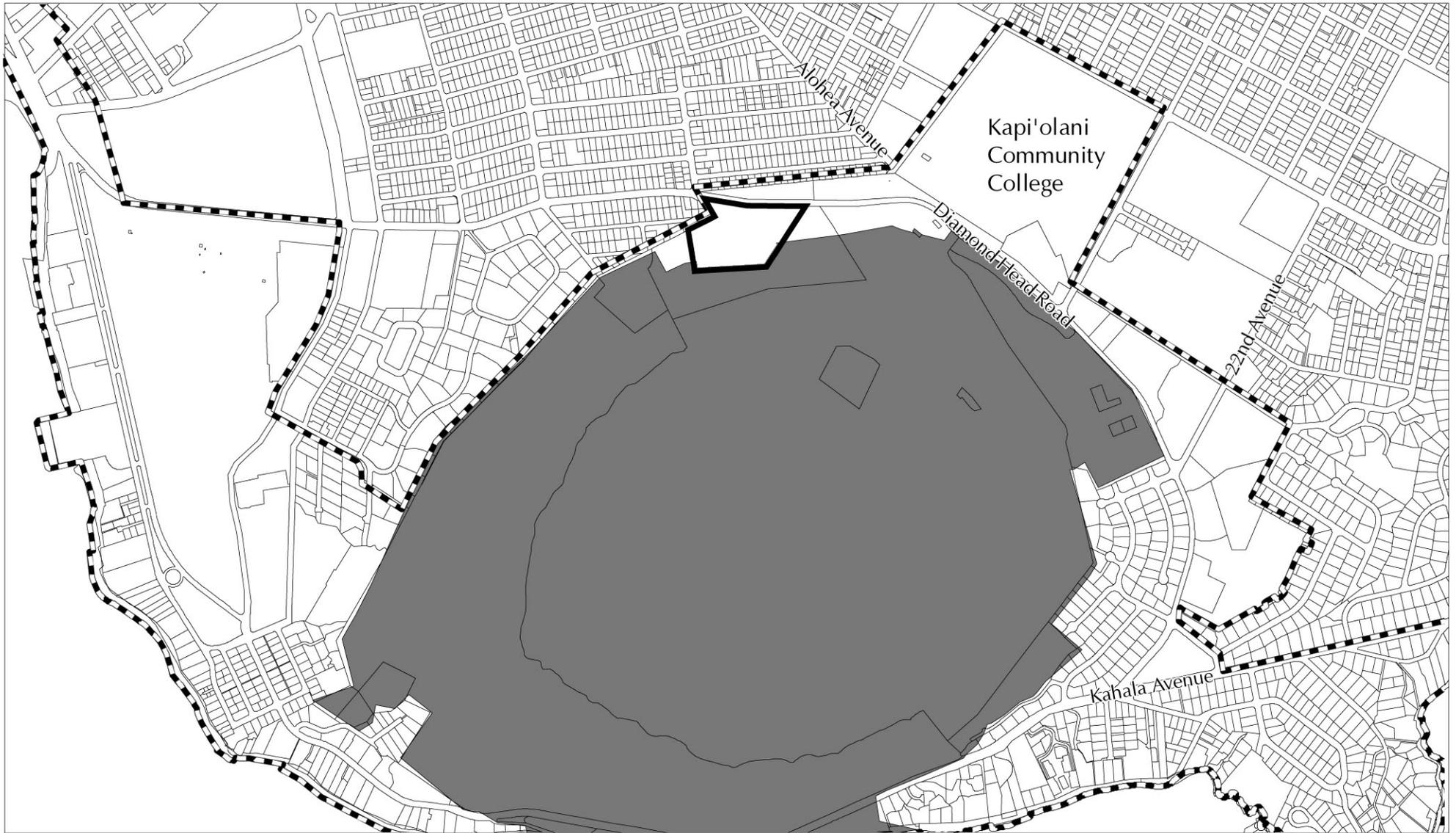
Kapi'olani Community College ISLAND OF O'AHU

NORTH

LINEAR SCALE (FEET)

0 500 1,000 2,000



Legend

-  Project Site Boundary
-  Inside Special Management Area
-  Conservation District
-  Urban District

Source:  
State Land Use Commission (2007)

Disclaimer:  
This map has been prepared for general planning purposes only.

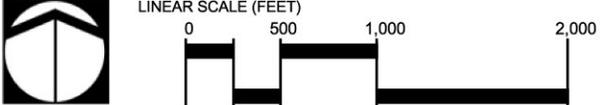
Figure 5  
State Land Use District  
Kapi'olani Community College  
Culinary Institute of the Pacific

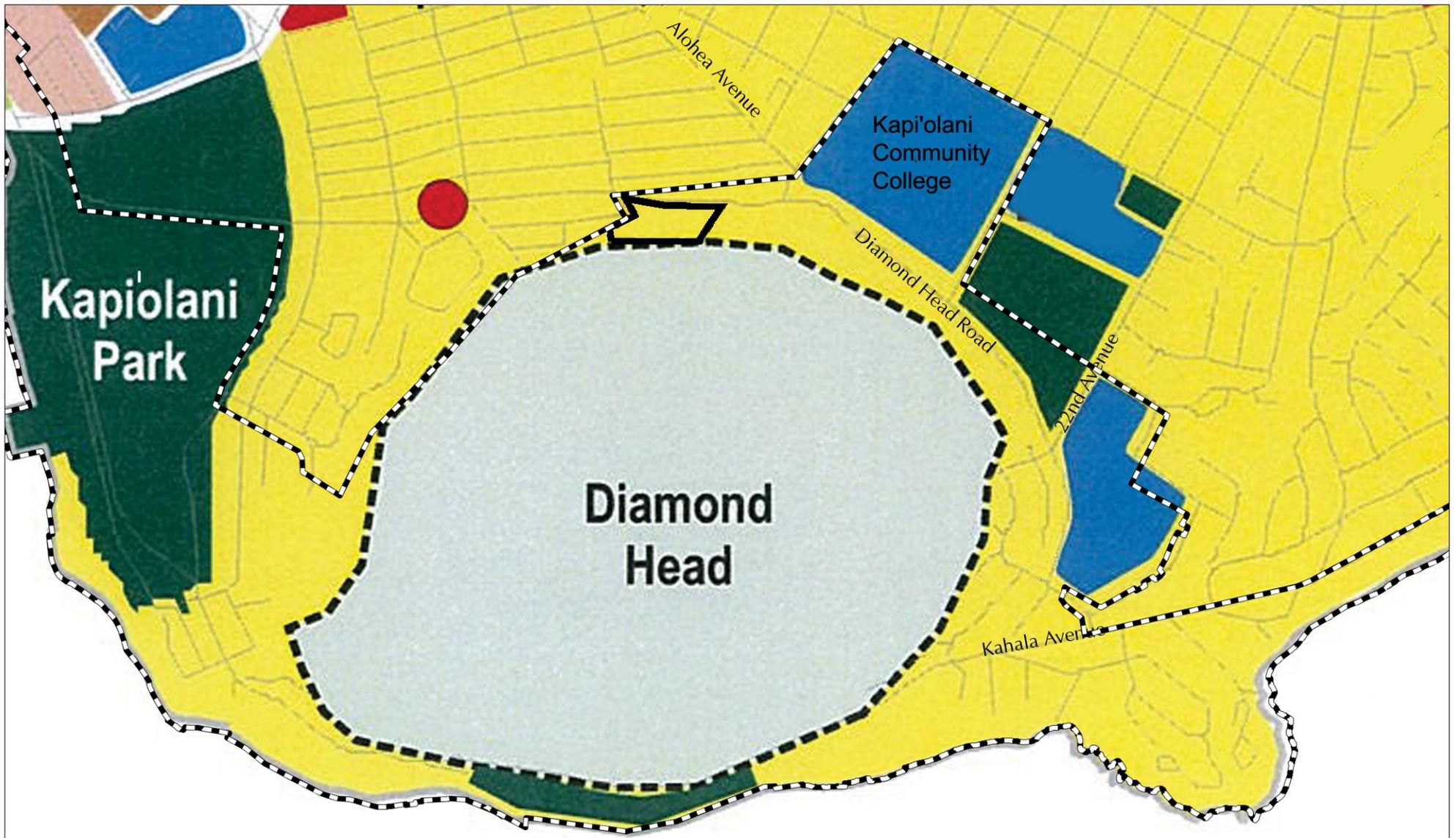
Kapi'olani Community College ISLAND OF O'AHU

NORTH

LINEAR SCALE (FEET)

0 500 1,000 2,000



**Legend**

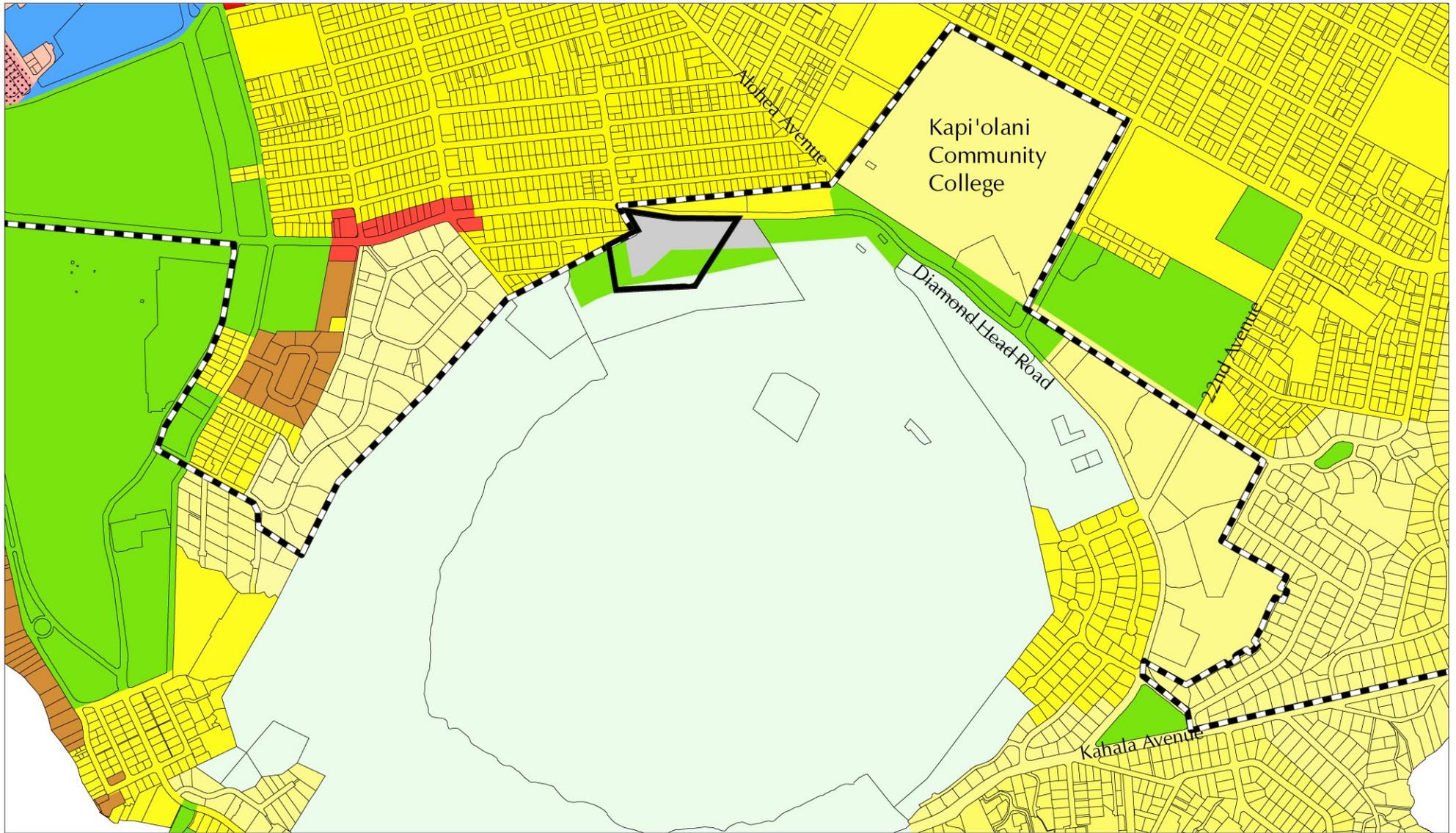
- Project Site Boundary
- Inside Special Management Area
- Lower-Density Residential
- Preservation
- Major Parks & Open Space
- Neighborhood/Community Commercial
- Institutional
- Commercial
- Resort
- Urban Growth Boundary

Source:  
City & County of Honolulu Department of Planning & Permitting  
Disclaimer:  
This map has been prepared for general planning purposes only.

Figure 6  
Primary Urban Center Development Plan Map  
Kapi'olani Community College  
Culinary Institute of the Pacific

Kapi'olani Community College ISLAND OF O'AHU  
NORTH

**Not To Scale**



### Legend

-  Project Site Boundary (Appx. 7.8 Acres)
-  A-2: Apartment
-  B-1: Neighborhood Business
-  F-1: Military and Federal (Appx. 4.4 Acres)
-  P-1: Restricted (Appx. 1.0 Acres)
-  P-2: General (Appx. 2.4 Acres)
-  R-3.5: Residential
-  R-20: Residential
-  Inside Special Management Area

Source:  
City & County of Honolulu (2005)

Disclaimer:  
This map has been prepared for general planning purposes only.

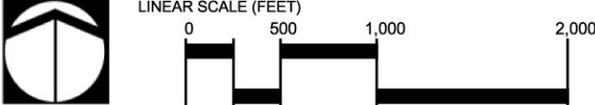
Figure 7  
City & County of Honolulu Zoning Map  
**Kapi'olani Community College**  
**Culinary Institute of the Pacific**

Kapi'olani Community College ISLAND OF O'AHU

NORTH

LINEAR SCALE (FEET)

0 500 1,000 2,000



 PBR HAWAII & ASSOCIATES, INC.

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County zoning district is indicative and reflective of the SLUDB Conservation District. Due to the fact that the existing County zoning is not consistent with the recent State Land Use Urban District Designation, the City & County of Honolulu will eventually need to perform a Zoning District Boundary Adjustment (presumably to R-3.5, which is the zoning designation of the adjoining zoning district). The original discussions with the Department of Planning and Permitting did not result in directions that rezoning or a Zoning District Boundary Adjustment was required.

In addition, it is our understanding that given the transfer of the Cannon Club site via Executive Order (E.O.) 3918 effective April 23, 2002, which set aside 7.878 acres of land for public purpose to the Department of Land and Natural Resources (DLNR) Parks Division; that the appropriate zoning for the site would be the zoning adjacent to the project site (R-5). Depending on the ultimate zoning of the site, the proposed (by others) Visitor Orientation Center may require rezoning and/or a Conditional Use Permit.

**II.A.5.a. Previous Permits and Approvals**

In a letter dated January 4, 2007, DPP commented that the following land use approvals were previously processed for the KCC Diamond Head Campus: 1) Plan Review Use permit No. 87/PRU-3 for a Five Year Master Plan for Development Phases IV and V; and 2) Special Management Area permit No. 88/SMA-70 for the same development.

**Kapi'olani Community College Master Plan Special Management Area Use Permit: 88/SMA-70**

In 1988, the Kapi'olani Community College submitted a Special Management Area Use Permit (SMP) to construct Phases IV and V of the Kapi'olani Community College Master Plan for TMK Parcels: (1) 3-1-42: 9 (por.) and 31 (por.).

On June 21, 1989, the City Council of the City & County of Honolulu approved the Special Management Area Use Permit (Resolution 89-152) with the following conditions (see Appendix D):

- A. *Prior to implementation of the project, the applicant must meet the requirements and obtain approval of all government agencies normally required for such projects.*
- B. *If, during construction, any previously unidentified sites or remains (such as artifacts, shell, bone, or charcoal deposits, human burials, rock or coral alignments, pavings, or walls) are encountered, the applicant shall stop work and contact the State Department of Land and Natural Resources, Historic Sites Office at 5148-7460 immediately. Work in the immediate area shall be stopped until the office is able to assess the impact and make further recommendations for mitigative activity.*
- C. *Drainage improvements as required by DPW shall be submitted to the DLU for approval prior to the issuance of any building or grading permits.*

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- D. Construction permits shall be issued for plans which are substantially consistent with plans approved under this permit. Any change in the size or nature of the project which has a significant effect on coastal resources addressed in Chapter 33, ROH, shall require a new application. Any change which does not have a significant effect on coastal resources shall be considered a minor modification and therefore permitted under this resolution, upon review and approval of the Director of Land Utilization.*
- E. The project shall be started within three years of the date of this permit. Failure to obtain a building permit within this period shall render this permit null and void; the Director of Land Utilization may extend this period if the applicant demonstrates good cause.*

**Kapi'olani Community College Plan Review Use Application: 87/PRU-3**

In 1989, the Kapi'olani Community College applied for a Plan Review Use (PRU) to permit expansion of the Kapi'olani Community College for TMK Parcels: (1) 3-1-42: 9 (por.) and 31 (por.).

On May 24, 1989, the City Council of the City & County of Honolulu approved the Plan Review Use (PRU) Application (Resolution 89-155) (see Appendix E). In 1992, Kapi'olani Community College requested changes to a condition of the previously approved PRU for Kapi'olani Community College to require removal of portables by December 31, 1992, and to allow the City & County of Honolulu, Department of Transportation Services (DTS) to determine if signalization at the intersection of Diamond Head Road and 18<sup>th</sup> Avenue should be required with the five-year PRU period.

On October 14, 1992, the City Council of the City & County of Honolulu granted PRU approval (Resolution 92-193) to expand the existing Kapi'olani Community College be amended as indicated below (see Appendix F). According to former Chancellor (and now current Vice President for UH Community Colleges), KCC is in full compliance with the following conditions of Resolution 92-193.

- 1. This Plan Review Use pertains to the land area described on the map attached as Exhibit A.*
- 2. Develop of the site shall be in general conformance with the attached Exhibits C-1 and C-2, labeled "Revised Site Plan and Site Profiles." Deviations from these plans, other than those of minor impact, shall require Council approval. The Director of Land Utilization may approve minor impact deviations.*
- 3. The applicant shall comply with all conditions of the Special Management Area Use Permit granted for the proposal.*
- 4. The applicant shall submit preliminary drawings for each phase at the time of each proposed development to the Director of Land Utilization for his review and approval under provisions of the Diamond Head Special District.*
- 5. Prior to obtaining any building permit:*
  - a. The applicant shall submit a revised drainage report to the Department of Public Works for review and approval;*

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- b. The applicant shall submit construction plans to the Board of Water Supply and the Department of Public Works for review;*
- c. The applicant shall submit a transportation improvement phasing plan and construction plans to the Department of Transportation Services and the Department of Public Works for approval and shall implement at their own expense, the following transportation improvements:*
  - (1) Widen Kilauea Avenue and 18th Avenue along the project frontage to provide two-lane approaches mauka-bound and Koko Head-bound, at the intersection of these two streets. Improvements to 18th Avenue shall precede the improvements to Kilauea Avenue, and shall include the installation of curbs and sidewalks, per city standards, along both sides of 18th Avenue, along the project frontage;*
  - (2) Improve the vertical sight distance in the Ewa direction on Kilauea Avenue at the 16th Avenue access to meet minimum city standards or the maximum sight distance attainable within physical constraints of the road's right-of-way;*
  - (3) Round the corner at the intersection of Kilauea Avenue and 18th Avenue;*
  - (4) Limit the usage of the 16th Avenue access to authorized personnel for Buildings 924, 925, and 926 only; and*
  - (5) Combine the driveways planned for 18th Avenue and provide access through a single driveway located as far away as possible from all roadway intersections. Revision of the transportation improvement phasing plan, including the improvements enumerated above, shall be done only upon the approval of the Department of Transportation Services and Department of Public Works and notification of the Department of Land Utilization.*
- d. The applicant shall submit a detailed landscape plan (to include plant species, location, quantity, size, and an irrigation system to support the landscaping) to the Director of Land Utilization for his review and approval; and*
- e. The applicant shall submit a plan showing the location of and specifications for the project's exterior lighting, which would show that there will be no direct illumination toward adjoining properties.*
- 6. The applicant shall install traffic signals at the intersection of Diamond Head Road and 18th Avenue prior to the end of the five-year Plan Review Use period if required by the Department of Transportation Services.*
- 7. Prior to December 30, 1993, the applicant shall remove those portable structures which were approved by the City Council on November 8, 1989.*
- 8. Any modification to the conditions or change in use stated herein shall be subject to approval of the Director of Land Utilization.*
- 9. In the event of noncompliance with any of the conditions set forth herein, the Director of Land Utilization may initiate action to halt its operation until all conditions are met. The Director may also terminate the use and revoke the Plan Review Use upon determination that such activity or activities prove harmful to the health, life, safety, and welfare of the neighborhood and/or general public.*

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**II.A.5.b. Required Permits and Approvals**

Each level of government has established legal requirements with regard to zoning, management, facilities and use of Diamond Head under respective designations: City & County of Honolulu Special District, State Monument, and National Historic Landmark. Each of them can be considered as a development constraint.

The following is a list of the major statutes and permitting requirements that apply to the construction activities associated with the proposed project. Upon acceptance of the Final EA/Finding of No Significant Impact, KCC plans to submit a Special Management Area (SMA) Use Permit (Major) and Plan Review Use (PRU) application to the City's Department of Planning and Permitting. Please note that the scope of the PRU application will be limited to the CIP site. KCC is in the process of updating its Long Range Development Plan at which time any new facility proposed will be addressed. It is hoped that these permits would be processed simultaneously or around the same time. City Council approval of the project's SMA and PRU permit will be required prior to DPP's acceptance and processing of the project's Special District Permit (Major) application. The project's construction cannot be started until receipt of the SMA Major Use Permit, PRU and Diamond Head Special District approvals and building permits. Upon the receipt of the building permit, the project will take approximately two years to construct. At the earliest, the CIP cannot be occupied until the fall semester of 2012.

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**Table 2. Required Permits and Approvals**

PERMIT/APPROVAL	RESPONSIBLE AGENCY	STATUS
Section 106, National Historic Preservation Act Review	State of Hawai'i, Department of Land and Natural Resources, State Historic Preservation Division	Completed
Chapter 6E-8	State of Hawai'i, Department of Land and Natural Resources, State Historic Preservation Division	Requested October 13, 2006
Chapter 343, HRS compliance	City & County of Honolulu, Department of Planning and Permitting	On-going
Special Management Area Use Permit (SMP) - Major	City & County of Honolulu, Department of Planning and Permitting	To be applied for after completion of the Chapter 343, HRS process
Plan Review Use (PRU)	City & County of Honolulu, City Council	To be applied for after completion of the Chapter 343, HRS process
Diamond Head Special District (SD) - Major	City & County of Honolulu, Department of Planning and Permitting.	To be applied for after completion of the Chapter 343, HRS process
National Pollutant Discharge Elimination System Permit (NPDES)	State of Hawai'i, Department of Health, Clean Water Branch	To be applied for after receipt of the SMP, PRU and SD approvals
Grading/Building Permits	City & County of Honolulu, Department of Planning and Permitting	To be applied for after receipt of the SMP, PRU and SD approvals
Ordinance 2412 Improvements	City & County of Honolulu, Department of Planning and Permitting	To be applied for after receipt of the SMP, PRU and SD approvals
Trenching Permit	City & County of Honolulu, Department of Planning and Permitting	To be applied for after receipt of the SMP, PRU and SD approvals
Zoning District Boundary Adjustment	City & County of Honolulu, Department of Planning and Permitting	The City will need to adjust the zoning district boundary in the future, but not necessarily for the proposed project.

**State of Hawai'i Environmental Impact Statement Law**

This EA has been prepared in accordance with the provisions of Chapter 343, *Hawaii Revised Statutes* (HRS) and *Hawaii Administrative Rules* (HAR) Title 11, Department of Health, Chapter 200, Environmental Impact Rules. Section 343-5, HRS, establishes nine "triggers" that require either an environmental assessment or an environmental impact

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statement. The project triggers the following: 1) the use of State and County lands and State funds.

**State of Hawai'i Historic Preservation Division**

All development plans for the CIP at the Cannon Club site are subject to review by the State Historic Preservation Division (SHPD) under the State of Hawai'i's historic preservation law (Section 6E-8, HRS). The SHPD was included in the pre-consultation for the preparation of the Draft EA and was sent a copy of the Draft EA. In a letter dated December 26, 2006, the State Historic Preservation Division commented that the project would have no adverse effect.

**Americans with Disabilities Act (ADA)**

All facilities will be designed to meet the Americans with Disabilities Act (ADA) Accessibility Guidelines (AG) and the requirements of Section 103-50, HRS, except: 1) where compliance would cause substantial harm to cultural, historical, religious, or significant natural features and characteristics; 2) where compliance could substantially alter the nature of the setting or the purpose of the facility, or portion of the facility; 3) where compliance would require construction methods or materials that are prohibited by federal, State, or local regulations or statutes; and 4) where compliance would not be feasible due to terrain or the prevailing construction practices.

**National Historic Preservation Act**

The National Historic Preservation Act (NHPA) of 1966 (as amended) (16 United States Code §470) recognized the nation's historic heritage and established a national policy for the preservation of historic properties, as well as created the National Register of Historic Places. The Fort Ruger Historic District was listed on the National Register of Historic Places in 1983 (Allen and Shideler 1996:23). However, the Cannon Club site is not located within the Fort Ruger Historic District. In a letter dated December 26, 2006, the State Historic Preservation Division commented that the project would have no adverse effect. SHPD's letter satisfies the National Historic Preservation Act's requirements for historic review for architectural and archaeological resources.

**National Environmental Policy Act**

This EA is prepared in compliance with the National Environmental Policy Act (NEPA) of 1969 (42 United States Code [USC] §4321), as implemented by the Council on Environmental Quality regulations (40 Code of Federal Regulations [CFR] Parts 1500-1508) and Navy guidelines, the Office of the Chief of Naval Operations Instruction (OPNAVINST) 5090.1B CH-4 Environmental and Natural Resources Program Manual of June 4, 2003.

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Because the CIP may be receiving federal funds, this Environmental Assessment is prepared in compliance with [CFR Part 1501] the requirements of the National Environmental Policy Act (42 USC 4321 et. seq.) and NEPA's implementing regulations (40 CFR Part 6). Section VI.A.I. Environmental and Historic Preservation Laws is provided in fulfillment of the requirement.

## **II.B. TECHNICAL CHARACTERISTICS**

Extensive study of the existing technical conditions within the subject property has been undertaken. These studies are included as Appendices to this EA.

### **II.B.1. Use Characteristics**

The Army closed the Cannon Club in 1997. Today, the site is vacant, with the abandoned buildings (except the Sentry Station) having been burned down in 2003. The entrance roads to the site, off Diamond Head Road, are blocked off. The grounds have not been maintained and are overgrown with weeds. There is also a great deal of trash and debris on the site, and vandalism and illegal dumping are evident.

In September 2001, an interim lease agreement to the University of Hawai'i for use of the Cannon Club was approved by the State of Hawai'i, Board of Land and Natural Resources (BLNR). The 65-year lease to the site was executed in 2004. The University is leasing the site from DLNR for \$1 a year plus a one-time cost of \$440,000 for the existing building (Pacific Business News [PBN] 2003).

### **II.B.2. Physical Characteristics**

Approximately 2.6 acres (or 32 percent) of the 7.878-acre Cannon Club property is currently covered by asphalt or concrete surfaces. All of the vertical elements of the previous development on the site are missing except for the Sentry Station. All that remains are: the foundation of the Cannon Club (former Fort Ruger Officers' Club) which burned down in September 2003; the foundation of a luau pavilion; a sundeck; upper and lower parking lots, three driveways, and six other concrete building foundations.

The Cannon Club was a 10,398 square foot wood building built in 1945. The luau pavilion, built in 1982, was a 6,332 square foot open-front facility with glass sliding doors on the side and a wood shake roof. The concrete sundeck, built in 1945, is 1,467 square feet. The Sentry Station was built in 1956 of stone and is 132 square feet and is the only building still standing (and covered with graffiti).

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The project site contains two asphalt parking lots. The lower lot is 40,950 square feet; the upper lot is 5,400 square feet. The total area of the three driveways is 14,250 square feet.

The project site is vacant and in a state of disrepair. The abandoned buildings (except for the Sentry Station) were burned down in 2003. Figure 8 contains a range of site photographs taken from the project site and from across Diamond Head Road looking toward the project site.

During the Draft EA public review period, DPP commented that the document should include “an existing site plan that can be compared to the proposed preliminary site plan (Figure 3), particularly with regard to the locations of the existing and proposed driveways, parking and interior circulation, and structures (if any remain).” Figure 9 has been prepared to compare the existing site with the updated preliminary site plan.

**II.B.3. Construction Characteristics**

The proposed CIP facility will consist of nine new buildings with a total net interior floor area of approximately 40,150 square feet (sf) in size. The nine buildings will consist of three classrooms, five kitchens, offices, conference rooms and main dining room. Figure 3 includes an updated preliminary site plan. The facility will represent a lot coverage of less than 12 percent. Planned setbacks of all proposed structures from perimeter property lines are shown on Figure 3.

**Table 3. Preliminary Building Sizes**

<b>BUILDING</b>	<b>FUNCTION</b>	<b>BUILDING/FLOOR AREA*</b>	<b>HEIGHT</b>	<b>NUMBER OF FLOORS</b>
Restaurant	Restaurant	10,300 sf	24'-6"	1
Classroom	Classroom	3,250 sf	24'-6"	1
Auditorium	Auditorium	4,700 sf	25'-0"	1
Administration	Administration/ Faculty	4,300 sf	24'-6"	1
Asian & Multi-Function Lab	Classroom/Lab	6,800 sf	24'-6"	1**
Baking & Pastry Lab	Classroom/Lab	4,900 sf	24'-6"	1**
Building Plant	Maintenance and Operations	3,100 sf	14'-0"	1
Storage	Facility Support	950 sf	14'-0"	1
Student Lounge	Facility Support	1,800 sf	14'-0"	1
<b>TOTAL</b>		<b>40,150 sf</b>		
<b>Notes:</b>				
* - accounts for the use of net interior floor area.				
** - a portion of the space beneath the structure may be used to conceal mechanical systems and minor storage from public view.				



1. Views from across Diamond Head Road towards the eastern-most and middle entries to the project site.



2. View from across Diamond Head Road towards the western-most entry to the project site.



3. View from the project site towards the middle entry to the project



4. View from Trousseau Street towards the north-western boundary of the project site.



Location Map

Figure 8A  
 Site Photographs  
**Kapi'olani Community College**  
**Culinary Institute of the Pacific**  
 Kapi'olani Community College ISLAND OF O'AHU



1. View from the upper deck of the project site looking north towards the existing site conditions.



2. View from the upper deck of the project site looking east towards the existing site conditions.



3. View from the lower deck of the project site looking east towards the existing site conditions.



4. View from the lower deck of the project site looking east towards the existing site conditions.



Location Map

Figure 8B  
 Site Photographs  
 Kapi'olani Community College  
 Culinary Institute of the Pacific

Kapi'olani Community College

ISLAND OF O'AHU





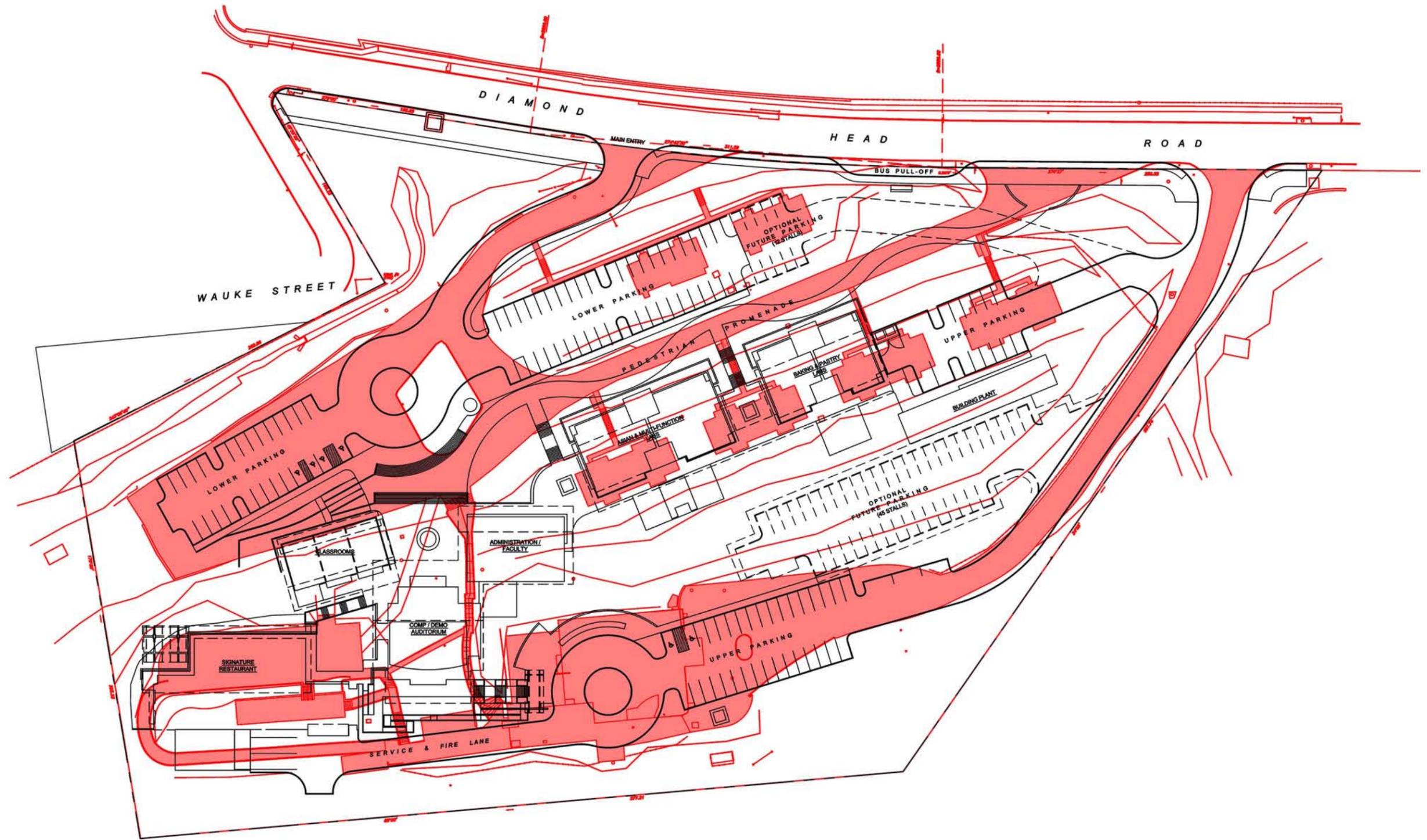
1. View from the project site looking north towards the existing lower parking lot and middle entry to the project site



Location Map

Figure 8C  
Site Photographs  
**Kapi'olani Community College**  
**Culinary Institute of the Pacific**  
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**Legend**

- Proposed Site Plan Paved Surfaces
- Existing Site Plan Paved Surfaces

Source: Ferraro Choi & Assoc. LTD.  
 Disclaimer: This graphic has been prepared for general planning purposes only.

Figure 9  
 Existing v. Proposed Site Plan  
 Kapi'olani Community College  
 Culinary Institute of the Pacific

KAPIOLANI COMMUNITY COLLEGE ISLAND OF O'AHU

NORTH

LINEAR SCALE (FEET)

0 20 40 80 160

PBR HAWAII & ASSOCIATES, INC.

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The nine buildings are proposed to be all one-storied structures, with a maximum height of approximately 25 feet, and of concrete and concrete masonry construction. The exterior facades of all structures and structural forms will be designed to have architectural scale, exterior finish, materials, colors, components and features that relate in a compatible manner to nearby existing structures. Materials, finishes and colors, including roofs, will be subdued in nature.

Roadway improvements will be limited to DPP and BWS requirements for infrastructural improvements such as sidewalks, driveway aprons, sewer line extension/connections, water line improvements, and drain line improvements/connections.

The civil work required for this project will include site demolition, clearing, grading, new pavement, new drainage facilities, exterior sewer lines, water lines and fire protection lines.

Work within the City & County of Honolulu right-of-way will include driveway connections, concrete sidewalks, concrete curbs and installation of sewer lateral, water and fire service laterals and meter boxes along Diamond Head Road. It is acknowledged that the installation of the sewer lateral will require approval from the DPP Wastewater Branch because the proposed sewer lateral will not conform to its current policies. In addition, electrical and communication systems infrastructure improvements will also occur within the City & County right-of-way. In a letter dated January 18, 2007, the City & County of Honolulu, Department of Facility Maintenance (DFM) commented that "the single purpose infrastructure, such as roadways, drainage systems and other roadway improvements within the subject property shall not be dedicated to the City or maintained by the City. Therefore, the University will maintain the improvements.

### **II.B.3.a. Grading**

Existing concrete slabs and the asphalt pavement will be broken up and removed if recycling of the material cannot be used for deep fill outside of the building areas.

Grading will be minimized to only what is necessary to set the buildings in its designated location, to provide required ADA accessibility, and to provide required emergency vehicle access.

### **II.B.3.b. Entry & Parking**

When the Cannon Club was in operation there were three driveways off Diamond Head Road to the Cannon Club. Based on current plans, it is envisioned that two of the existing driveways will be utilized once the final site layout is completed. The new driveway aprons will conform to the City & County standards. On-grade, off-street parking will be provided for the project with driveway access from Diamond Head Road. The Cannon

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Club's original striping plan accounted for 78 parking stalls. Approximately 119 parking stalls will be provided with the proposed CIP. Five ADA-compliant parking stalls will be provided adjacent to the buildings. Space for approximately 60 parking stalls will be available to visitors of the DHSM when the inside of the crater is open to the public. Two loading stalls will be provided.

**II.B.3.c. Setbacks**

The project abuts Diamond Head Road which is owned by the City & County of Honolulu. DPP indicated that there is a roadway setback requirement for the land fronting Diamond Head Road. However, the City indicated that this area will probably not be turned over to the City and should be landscaped. The proposed CIP facility will consist of nine new buildings consisting of three classrooms, five kitchens, offices, conference rooms and a main dining room (see Figure 3). The restaurant, located towards the southwestern corner of the project site is situated approximately 22 feet, at its closest point, from the western boundary of the project site. Similarly, the restaurant is sited approximately 44 feet from the southern boundary of the project site (at its closest point). A building plant is positioned approximately 70 feet from the eastern corner of the project site. A laboratory facility is located approximately 110 feet from the northern boundary of the project site (at its closest point), where the closest neighboring residences are located.

**II.B.3.d. Landscaping**

The proposed landscape plan will support the landscape objectives as described within the *Diamond Head State Monument Master Plan Update*. Plantings will be primarily native or Polynesian introduced species that exist or have once existed in and around the Diamond Head coastal ecosystem as discussed in the Diamond Head Master Plan Update. Plants will be chosen for their suitability to the dry, coastal climate, and their ability to survive with minimal supplemental watering. A Conceptual Landscape Plan which includes plans for planting additional trees at the site, size and species proposed for plantings, will be prepared prior to the submittal of Plan Review Use (PRU) and Special Management Area (SMA) Use Permit applications to the City's Department of Planning and Permitting. As requested by DPP during the Draft EA public review period, an arborist report has been prepared that: 1) shows the location of existing trees impacted by the current site plan; and 2) the proposed disposition of trees that would be impacted by the current site plan (removal, relocation, replacement or remain in place). The arborist report is included as Appendix K.

The arborist report revealed that much of the site was originally composed of trees such as Kiawe (*Prosopis pallid*), Banyan (*Ficus benghalensis*), Tecoma (*Tabebuia rosea*), Sandalwood (*Santalum ellipticum*), False Olive (*Elaeodendron orientale*) and Singapore Plumeria (*Plumeria obtuse*) trees. Over the years, African Tulip (*Spathodea campanulata*) and Opiuma (*Pithecellobium dulce*) trees have grown into dominant trees conflicting with

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many of these original plantings. While the only native species located within the project site is the Sandalwood tree, great effort has been made to keep this native plant species, as well as the original plantings, in place to preserve the existing Diamond Head coastal ecosystem.

**II.B.3.e. Leadership in Energy and Environmental Design (LEED)**

The U.S. Green Building Council created the Leadership in Energy and Environmental Design (LEED) rating system, which is a nationally accepted benchmark for the design, construction, and operation of high performance green buildings. LEED gives building owners and operators the tools they need to have an immediate and measurable impact on their buildings' performance. LEED promotes a whole-building approach to sustainability by recognizing performance in five key areas of human and environmental health: sustainable site development, water savings, energy efficiency, materials selection, and indoor environmental quality.

In a letter dated November 28, 2006, the OEQC recommended that the project utilize LEED and utilize solar water heating in the design of the project. The University of Hawai'i will strive to achieve a LEED New Construction (NC) silver standard for the proposed Culinary Institute of the Pacific based on the LEED NC v2.2 rating system. The Project will attempt to utilize numerous LEED standards in its design, operations and instruction. Below are possible LEED opportunities for the site landscaping. Other LEED opportunities, such as energy and water conservation measures, are noted in their respective sections.

**Reduce Site Disturbance – Protect or Restore Habitat:** Collaborate with design team in limiting site disturbance “to protect and restore a minimum of 50% of the site areas (excluding building footprint) with native or adaptive vegetation.”

**Water Efficient Landscaping – Reduce by 50%:** This will be achieved as described below:

- Plantings will be drought and salt tolerant native or Polynesian introduced species, able to survive on their own with occasional supplemental watering, once established.
- Water conservation measures to include:
  - High efficiency low flow matched precipitation sprays and bubblers
  - Rain gauge/moisture sensor integrated into an automatic controller system to compensate irrigation scheduling in rain conditions.
  - Seasonal supplemental irrigation system for native plantings to operate only in seasonal conditions of drought (summer).

**Possible Catchment System:** Possible use of a rainwater catchment system to store rainwater and use for irrigation purposes.

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**Other LEED Opportunities:** Implement green roof strategies to reduce rain water runoff, heat gain to structure and enhance overall efficiency of building systems; and implement vertical landscape screening elements such as “Green Screen” to reduce heat gain to building surfaces and windows.

#### **II.B.4. Utility Requirements**

During the pre-consultation period, the DFM wrote that single purpose infrastructure, such as roadways, drainage systems, and other roadway improvements within the subject property will not be dedicated to the City or maintained by the City.

##### **II.B.4.a. Electrical**

Electrical power to the area is provided by Hawaiian Electric Company, Inc. (HECO). The HECO main power lines for this area are routed along Makapu'u and Alohea Avenues. The HECO power distribution system fronting the site of the CIP is routed along the north side of Diamond Head Road and consists of overhead primary conductors mounted on wooden poles. The HECO overhead primary distribution is a three phase, three-wire, system as it approaches the site of the CIP from the east and transitions to a single phase, two-wire system approximately halfway between the intersection of Diamond Head Road and Trousseau Street and the entry to the Diamond Head State Monument.

Primary and secondary distribution systems, which consist of overhead primary and secondary conductors mounted on wooden poles, are located on the project site. These systems appear to be abandoned and in a state of disrepair. Some areas have segments of conductors cut and laying on the ground and others are missing conductors completely. The primary distribution system originates from the HECO distribution lines along Diamond Head Road. The primary cut-outs were observed to be in the open position which indicates the primary distribution system to the site is not currently energized.

The street lighting system fronts the south side of Diamond Head Road and appears to be fed by an underground electrical distribution system along the same side of the roadway. Electrical power for the street lights is most likely connected to street lighting systems for Makapu'u Avenue or Trousseau Street. Also, the project site contains street lighting for the existing asphalt roadway and lower parking area. The street lights on the project site consist of overhead secondary conductors mounted on wooden poles, however they do not appear to be operational.

#### ***Potential Impacts and Mitigation Measures***

The CIP facility, as proposed by Ferraro Choi & Associates, includes nine (9) buildings with a total net interior floor area of approximately 40,150 square feet. The proposed project will consist of a teaching restaurant, administration/faculty building, auditorium

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building, classroom building, multi-function lab buildings, central building plant, exterior education features and open areas. The design consultant for the proposed CIP provided an estimated demand load of 587 kilovolt ampere (kVA) at 0.85 power factor.

Based on the information noted above, the estimated total electrical demand for the CIP is 587 kVA. Infrastructure to support new HECO services will need to be provided to the CIP site to support the anticipated electrical loads.

Preliminary discussions with HECO representatives indicate that the closest point of connection with sufficient capacity to support the estimated total electrical demand identified above are the existing overhead lines that are routed along Trousseau Street. However, HECO indicated that they would make the final determination on the preferred point of connection when the design consultant for the CIP submits their official request to HECO for electrical service.

In accordance with Land Use Ordinance requirements, HECO service to the site will need to be routed underground. Underground electrical distribution infrastructure consisting of concrete encased primary ductlines and primary handholes will need to be provided from HECO's preferred point of connection to the CIP site. Partial closures of Diamond Head Road may be required to provide the underground electrical distribution infrastructure at the roadway crossing.

Concrete equipment pads will also need to be provided for a new pad mounted transformer and possibly a new pad mounted primary switch to allow HECO to provide electrical service to the CIP. Pullstring will be installed in the empty ducts and the primary cables and pad mounted electrical equipment will be furnished and installed by HECO.

During the Draft EA public review period, HECO commented that it "has existing electrical facilities within the subject property and will require continued access for maintenance purposes, but find no evidence of any conflicts." As such, it is acknowledged that for operation and maintenance purposes, HECO's Construction and Maintenance Department will require continue access to any of its facilities that may be impacted by the proposed project, as covered by existing easements or agreements regarding location, operation or maintenance within the public rights-of-way.

Development plans will show all affected HECO facilities and address any conflicts between the proposed plans and HECO's existing facilities. Pre-final developments will be forwarded to HECO for its review as the project progresses. Should it become necessary to relocate or redesign HECO's facilities, or to add to new facilities, a request will be submitted in writing as early as possible.

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**II.B.4.b. Communication Facilities**

Telephone service and cable television (CATV) for the area is provided by Hawaiian Telcom (HT) and Oceanic Time Warner Cable (OTWC) respectively. HT and OTWC do not currently have telephone or CATV distribution facilities along Diamond Head Road in the area fronting the project site. Distribution drawings provided by HT and OTWC indicate overhead services to support the previous facilities that were located at the project site. However, the existing overhead telephone and CATV services were of limited capacity and the locations of the overhead telephone and CATV services could not be verified during a site visit. The overhead telephone and CATV services may have been removed when the previous facilities were abandoned.

Telephone and CATV distribution facilities, which consist of a combination of overhead cables mounted on wooden poles and pullboxes with underground ductlines, are present near the intersection of Diamond Head Road and Makapu'u Avenue and the intersection of Diamond Head Road and Trousseau Street.

***Potential Impacts and Mitigation Measures***

To meet the proposed CIP facility's telecommunication and CATV service requirements, support infrastructure for new HT telephone and OTWC CATV services will need to be provided to the project site. Due to the location of the VOC, the different tenants/usage, and estimated construction date, it is assumed that separate and distinct telephone and CATV services will be provided to support the ultimate configuration of the CIP facilities and the VOC. The requirements for telephone and CATV service to the VOC will be similar to that described below for the CIP facility.

Preliminary discussions with HT representatives indicate that the nearest point of connection for new telephone service is from the intersection of Diamond Head Road and Makapu'u Avenue. Similar discussions with OTWC representatives indicate that the nearest point of connection for new CATV service would be from either the intersection of Diamond Head Road and Makapu'u Avenue or the intersection of Diamond Head Road and Trousseau Street. However, both HT and OTWC indicated that they will need to analyze their systems to determine the preferred points of connection when the design consultant for the project submits an official request to HT and OTWC for telephone service and CATV service respectively.

In accordance with Land Use Ordinance requirements, the support infrastructure for the new telephone, fiber optic and CATV service will need to be routed underground. HT support infrastructure consisting of two concrete encased four-inch ducts and two-feet x four-feet handholes will need to be provided from their preferred point of connection to the CIP site. In addition, OTWC support infrastructure consisting of a single concrete encased four-inch duct and two-feet x four-feet handholes will need to be provided from

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their preferred point of connection to the project site. Partial closures of Diamond Head Road may be required to provide the underground support infrastructure at the roadway crossing.

The HT and OTWC support infrastructure entering the project site will need to be extended to their respective entrance facilities being provided as part of the first phase.

#### **II.B.4.c. Water System**

Potable water for the area is currently provided by the Board of Water Supply (BWS). Storage of potable water is provided by BWS' reservoirs, Wilhelmina Rise 605' (2,000,000-gallon) and Pālolo (two 500,000-gallon). The reservoirs have spillway elevations of 405 feet above mean sea level. Water is transmitted to Diamond Head via a BWS 12-inch main in Diamond Head Road. An existing 12-inch transmission line connected to the BWS main provides water to Diamond Head through the Diamond Head State Monument Kapahulu Tunnel. A two-inch service line and water meter connection, located before the entrance of the Kapahulu Tunnel, leads to the project site. Water is provided to the Cannon Club by a two-inch water line. Currently non-potable water for irrigation is not available; landscaped areas are irrigated with potable water.

#### ***Potential Impacts and Mitigation Measures***

Based on the total site acreage of approximately 7.878 acres, and the average daily demand for school uses on O'ahu is 4,000 gallons per acre or 60 gallons per student, the average daily demand for the proposed project is estimated to be 31,520 gallons per day (gpd). The maximum daily demand, which multiplies the average daily demand by 1.5, is estimated to be 47,280 gpd. And the peak flow demand, which multiplies the average daily demand by 3.0, is estimated to be 94,560 gallons (see Appendix G).

In a letter dated November 29, 2006, the Board of Water Supply commented that the existing water system is inadequate to accommodate the project. The project will require the mains from the Metro 405' system (located near the corner of Trousseau and McCarriston Streets) to be extended to the project site. Due to the high line pressure anticipated, an eight-inch ductile iron pipeline will be required. KCC will be required to pay the BWS Water System Facilities Charges for resource development, transmission and daily storage.

On-site fire protection includes fire hydrants located within the parking area and the automatic fire sprinkler system within the buildings. The domestic water and fire protection system will be combined using the same pipeline. According to TLCC, by combining the flows, a single eight-inch x two-inch domestic/fire service (FM) meter will be used instead of using separate three-inch compound domestic meter and an eight-inch detector check meter for the fire protection system and running parallel water lines

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throughout the site. On-site fire protection requirements will be coordinated with the Honolulu Fire Department.

All water system plans will conform to applicable provisions of the Water System Standards, 2002, Board of Water Supply, City & County of Honolulu. The project will implement water-efficient landscaping, utilizing reused rainwater whenever possible. This can reduce the domestic water consumption and reduce the sewer fees charged with the water bill. The project will comply with *Hawaii Administrative Rules*, Chapters 11-54 and 11-55. All discharges related to the project construction or operation activities will comply with the State of Hawai'i Water Quality Standards.

LEED measures for the project's water system may include technologies that will reduce the need for potable water use. These technologies include:

- Waterless urinals
- Dual-flush water closets
- Low-flow dishwashers
- Low-flow "non-filling" kitchen fixtures
- Foot-pedal and automatic faucet controls
- Reuse of condensate water from air handling units

#### **II.B.5. Wastewater Disposal**

The existing sewage system, which is connected to the City's Kapahulu Sewer System, for the Cannon Club consists of several existing sewer service lines that connect into an existing manhole within the property, near the corner of Trousseau and Wauke Street.

#### ***Potential Impacts and Mitigation Measures***

Design sewer flows were based on *The Design Standards of the Department of Wastewater Management, Volume 1*, City & County of Honolulu, July 1993. The total population used in the calculations of wastewater flows was based on an estimated number of students, employees and visitors to the CIP. To calculate the average wastewater flows for the project, the CIP was simplified into two categories: an educational facility and a restaurant.

The average wastewater flows for the educational facility were calculated based on the assumptions that the educational facility would have an ultimate full-time equivalent population capacity of 291 students and staff at the site per day, and an estimated amount of 25 gallons of wastewater per person per day. Using these assumptions, future students and staff are expected to generate flows of approximately 7,275 gallons per day (gpd).

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The average wastewater flows for the restaurant were calculated based on the assumptions that the restaurant would have a planned capacity to accommodate 500 total covers per day, and an estimated amount of five gallons of wastewater per cover. Using these assumptions, flows of approximately 2,500 gpd are expected to be generated. Therefore, the estimated average wastewater flows for the educational facility and restaurant is estimated to generate wastewater flows of approximately 9,775 gpd.

The design peak flow for the CIP is expected to generate approximately .0809 million gallons per day (MGD).

Based on the anticipated CIP design peak flow of .0809 MGD, a new six-inch sewer lateral is sufficient for the CIP facility. The new lateral should connect to the existing manhole connection within the project site, near the end of Wauke Street. The project civil engineering consultant, Kim and Shiroma Engineers, Inc., has been informed to contact the City's Department of Design and Construction for specific details on the rehabilitation/replacement requirements for the connection to the existing eight-inch sewer line on Wauke Street, which is currently experiencing maintenance problems.

Since the CIP is a culinary education facility with a restaurant which will be open to the public. Therefore, a grease trap is required prior to discharge into the sewer lines. The grease trap should be located outside and in the vicinity of the kitchen. Also, locating the grease trap near a paved roadway will allow easier access for maintenance vehicles and personnel.

The project will utilize recycled wastewater technologies (as discussed above in Section II.B.4.b) for the irrigation system and other non-potable water purposes in open spaces and landscaped areas, to the extent practicable.

### **II.B.6. Solid Waste Disposal**

On O'ahu, most residential and general commercial trash is disposed of at the Honolulu Program of Waste Energy Recovery (H-POWER) facility, the City's waste-to-energy plant located at Campbell Industrial Park. The facility processes over 600,000 tons of solid waste annually, reducing the volume of solid waste going into landfills by 90 percent. Under a purchase power agreement with HECO, the H-POWER facility provides 46 MW of renewable energy that supplies power to between 40,000 and 45,000 homes on O'ahu each day. Ash and non-processibles are transported and buried at the Waimānalo Gulch Landfill. Currently, H-POWER has two boilers and one turbine/generator. A proposed third boiler would enable H-POWER to supply electricity to 20 percent more homes each year.

Waimānalo Gulch Landfill, which opened in 1989, is owned by the City and the landfill is operated by Waste Management, Inc. The site accepts ash and residue from the H-

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POWER facility, industrial wastes, and non-combustible construction and demolition debris. Commercial haulers pay \$72.75 per ton to dispose solid waste at the facility.

***Potential Impacts and Mitigation Measures***

The solid waste generated through construction of the proposed buildings and operation of the new facilities will be collected by a private collection service and disposed of by the City & County of Honolulu, Department of Environmental Services, Refuse Division. No hazardous materials will be disposed and the proposed project will comply with the State of Hawai'i, Department of Health (DOH) and the City & County of Honolulu, Department of Facility Maintenance (DFM) requirements; the program goals and objectives of the Integrated Solid Waste Management Act, Chapter 342G, HRS; and the City's approved integrated solid waste management plans in a schedule and time frame satisfactory to the DOH.

During construction, the following site demolition wastes can be reused: stones excavated from existing slope for reuse in retaining walls; and base course materials under all-concrete (A.C.) pavements and concrete slabs. Use of recycled materials for the site work would probably consist of blended recycled base course material that would be available from road repaving projects. Recycled asphalt pavement and concrete slabs can be reused but are not recommended under the building areas.

At full build-out, the solid waste generated by the project is estimated to be 637 pounds per day<sup>1</sup>. It should be noted that this estimate does not account for solid waste that would be recycled, which would be a considerable amount.

As implemented throughout the University of Hawai'i system, the goal for waste management is to appropriately reduce, reuse, and recycle materials, minimize generation of solid waste, and achieve the applicable design criteria and the recommended LEED community performance standards. The Culinary Institute of the Pacific at Diamond Head will promote the optimal use of solid wastes through programs of waste prevention, energy resource recovery, and recycling with the goal that all of its wastes are utilized pursuant to Section 344-4.2, HRS.

To further mitigate any increase in solid waste quantities, vegetation removed from the property during construction clearing and grubbing activities will be chipped and hauled to a green waste disposal site for composting. Green waste will be disposed of in compliance with all State and City laws and ordinances.

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<sup>1</sup> Students: 280 students x 2.0 pounds/person/day = 560 pounds/day  
Faculty & Staff: 11 persons x 2.0 pounds/person/day = 22 pounds/day  
Commercial: 5,260 square feet (at 3 persons/1,000 square feet) = 15.78 persons x 3.5 pounds/person/day = 55.23 pounds/day

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### **II.B.7. Access & Roadways**

The project site is accessed from Diamond Head Road between Makapu'u Avenue and Trousseau Street. Diamond Head Road has sidewalks for pedestrian circulation. Below are descriptions of existing roadways in the vicinity of the project site.

**Diamond Head Road:** Diamond Head Road provides the primary access to the Cannon Club site. Diamond Head Road also provides access to KCC and residential and non-residential uses in the area. It is a two-lane, two-way major collector that traverses the north, east, and south slopes of Diamond Head crater. It has a posted speed limit of 25 miles per hour (mph). During the pre-consultation period of the Draft EA, the DPP commented that the DTS proposes to widen Monsarrat Avenue's existing right-of-way from 43 feet to 64 feet (21 feet). During the public review period of the Draft EA, the DPP commented the DTS planning area map shows a 17-foot widening setback along Diamond Head Road (presumably fronting the project site). The preliminary site plan shows that there is adequate open space along the property's Diamond Head Road frontage to allow the City's widening of Diamond Head Road by 17 feet.

Intersections in the vicinity of the project are located at Makapu'u Avenue, Kapi'olani Community College Driveway, Diamond Head State Monument Access, and 18th Avenue. All intersections are unsignalized, T-intersections with stop-sign control on the intersecting street approaches. DTS has indicated that a signal will be installed at the intersection of Diamond Head Road/Makapu'u Street when funding becomes available. No signalization is currently planned for the Diamond Head Road/18<sup>th</sup> Avenue intersection.

**Kīlauea Avenue:** Kīlauea Avenue is a two-lane, undivided major collector that connects the western portion of Kaimukī with the eastern portion (and Kāhala). The posted speed limit is 25 mph except for a short stretch between Makapu'u Avenue and 18<sup>th</sup> Avenue, for which the speed limit is reduced to 20 mph because of a steep incline/decline.

**18<sup>th</sup> Avenue:** 18<sup>th</sup> Avenue is a two-lane, undivided minor collector that provides north-south access to the Kaimukī and Wai'alae area. The posted speed limit is 25 mph. As previously noted, no signalization is currently planned for the Diamond Head Road/18<sup>th</sup> Avenue intersection.

**Makapu'u Avenue:** Makapu'u Avenue is a two-lane, undivided major collector that connects Kīlauea Avenue to Diamond Head Road. The posted speed limit is 25 mph. Makapu'u Avenue provides access to Lē'ahi Hospital and to KCC parking lots. As previously noted, DTS has indicated that a signal will be installed at the intersection of Diamond Head Road/Makapu'u Street when funding becomes available.

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**Other Streets:** Alohea Avenue originates at Makapu'u Avenue and provides east-west access to residential streets located west of KCC. Trousseau Street is a neighborhood collector that provides the same access as Alohea Avenue.

**Kapi'olani Community College Access:** The entrance to KCC provides access to campus parking. The campus entrance is approximately 1,320 feet east of the Cannon Club access. Additional entrances to KCC are provided along Makapu'u Avenue and Kilauea Avenue.

**Diamond Head State Monument Access:** The DHSM access is a two-lane, undivided roadway. The roadway passes through the wall of the crater via Kāhala Tunnel. The posted speed limit of the access road is 10 mph and 5 mph through Kāhala Tunnel.

A traffic study for the project was prepared by PB Americas, Inc. in February 2008 to identify existing traffic conditions. This report is included in Appendix H.

Manual traffic counts at intersections in the vicinity of the project site were conducted on September 6 and 7, 2006 during the AM peak hour of traffic between 7:15 AM to 8:15 AM, and the PM peak hour of traffic between 4:15 PM to 5:15 PM. A summary of the existing intersection level of service is illustrated below in Table 4.

**Table 4. Existing Intersection Level of Service Summary**

INTERSECTION	AM Peak Hour		PM Peak Hour	
	LOS	Delay	LOS	Delay
	<b>Unsignalized</b>			
<b>Diamond Head Road/18<sup>th</sup> Avenue</b>				
Eastbound Diamond Head Left	A	9.3	A	8.9
Southbound 18 <sup>th</sup> Left	D	25.0*	C	20.0*
Southbound 18 <sup>th</sup> Right	D	30.0*	B	11.8*
<b>Diamond Head Road/Makapu'u Avenue</b>				
<b>Unsignalized</b>				
Eastbound Diamond Head Left/Through	B	10.5	A	9.3
Southbound Makapu'u Left	E	35.0*	D	25.0*
Southbound Makapu'u Right	C	24.3*	B	12.4
<b>Diamond Head Road/Trousseau Street</b>				
<b>Unsignalized</b>				
Eastbound Diamond Head Left/Through/Right	A	9.8	A	8.7
Westbound Diamond Head Left/Through/Right	A	8.3	A	8.8
Northbound Trousseau Left/Through/Right	C	18.2	C	24.6
Southbound Trousseau Left/Through	E	35.0*	D	30.0*
Southbound Trousseau Right	C	16.4	B	12.4
<b>Kilauea Avenue/18<sup>th</sup> Avenue</b>				
<b>Unsignalized</b>				
Eastbound Kilauea Left/Through/Right	D	30.0*	C	15.6
Westbound Kilauea Left	E	35.0*	B	14.6
Westbound Kilauea Through/Right	C	23.7	B	11.8
Northbound 18 <sup>th</sup> Left/Through	C	17.1	B	12.0

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INTERSECTION	AM Peak Hour		PM Peak Hour	
	LOS	Delay	LOS	Delay
	Northbound 18 <sup>th</sup> Right	C	16.6	B
Southbound 18 <sup>th</sup> Left/Through/Right	D	31.5	B	11.9
<b>Kīlauea Avenue/Makapu'u Avenue</b>	<b>Unsignalized</b>			
Westbound Kīlauea Left/Through	B	10.1	A	8.3
Northbound Makapu'u Left/Right	D	30.0*	C	20.0*
<b>Makapu'u Avenue/Alohea Avenue</b>	<b>Unsignalized</b>			
Eastbound Alohea Approach	C	17.2	B	11.9
Westbound Alohea Approach	B	10.5	B	11.3
Northbound Makapu'u Approach	B	12.5	B	13.4
Southbound Makapu'u Approach	C	19.0	B	11.7
<b>Notes:</b> LOS - Level of Service * - indicates that delay indicated is based on delay observations				

Source: PB Americas, Inc., Traffic Evaluation Kapi'olani Community College (February 2008)

**Potential Impacts and Mitigation Measures**

The preliminary site plan for the project proposes that the project be accessed via two unsignalized T-intersections along Diamond Head Road (historically, the site had three access points). Due to the close range of time in analyzing the existing traffic volumes and the projected 2012 traffic volumes (with and without the project), the projected levels of service within the vicinity of the KCC campus are very similar (see Table 5).

**Table 5. Year 2012 Projected Intersection Level of Service Summary**

INTERSECTION	WITHOUT PROJECT				WITH PROJECT			
	AM Peak Hour		PM Peak Hour		AM Peak Hour		PM Peak Hour	
	LOS	Delay	LOS	Delay	LOS	Delay	LOS	Delay
<b>Diamond Head Road/18<sup>th</sup> Avenue</b>	<b>Unsignalized</b>				<b>Unsignalized</b>			
Eastbound Diamond Head Left	A	9.4	A	9.0	A	9.6	A	9.1
Southbound 18 <sup>th</sup> Left	D	26.1	C	20.9	D	26.8	C	21.7
Southbound 18 <sup>th</sup> Right	D	32.1	B	12.0	E	35.9	B	12.5
<b>Diamond Head Road/Makapu'u Avenue</b>	<b>Unsignalized</b>				<b>Unsignalized</b>			
Eastbound Diamond Head Left/Through	B	10.7	A	9.4	B	11.1	A	9.6
Southbound Makapu'u Left	E	36.6	D	26.1	E	38.5	D	27.7
Southbound Makapu'u Right	D	26.2	B	12.8	D	31.5	B	13.4
<b>Diamond Head Road/Trousseau Street</b>	<b>Unsignalized</b>				<b>Unsignalized</b>			
Eastbound Diamond Head Left/Through/Right	A	10.0	A	8.8	B	10.1	A	8.8
Westbound Diamond Head	A	8.4	A	8.9	A	8.5	A	8.9

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INTERSECTION	WITHOUT PROJECT				WITH PROJECT			
	AM Peak Hour		PM Peak Hour		AM Peak Hour		PM Peak Hour	
	LOS	Delay	LOS	Delay	LOS	Delay	LOS	Delay
Left/Through/Right								
Northbound Trousseau Left/Through/Right	C	19.3	D	26.1	C	20.7	D	27.5
Southbound Trousseau Left/Through	E	36.6	D	31.3	E	38.2	D	32.7
Southbound Trousseau Right	C	17.0	B	12.7	C	17.4	B	12.8
<b>Kīlauea Avenue/18<sup>th</sup> Avenue</b>	<b>Unsignalized</b>				<b>Unsignalized</b>			
Eastbound Kīlauea Left/Through/Right	D	30.6	C	16.3	D	31.9	C	17.1
Westbound Kīlauea Left	E	35.6	C	15.0	E	37.2	C	17.0
Westbound Kīlauea Through/Right	D	25.3	B	12.0	D	26.6	B	12.4
Northbound 18 <sup>th</sup> Left/Through	C	17.3	B	12.2	C	17.7	B	12.5
Northbound 18 <sup>th</sup> Right	C	17.1	B	14.2	C	19.1	C	16.3
Southbound 18 <sup>th</sup> Left/Through/Right	D	32.4	B	12.1	D	34.6	B	13.5
<b>Kīlauea Avenue/Makapu'u Avenue</b>	<b>Unsignalized</b>				<b>Unsignalized</b>			
Westbound Kīlauea Left/Through	B	10.2	A	8.3	B	10.2	A	8.3
Northbound Makapu'u Left/Right	D	30.6	C	20.6	D	30.6	C	20.6
<b>Makapu'u Avenue/Alohea Avenue</b>	<b>Unsignalized</b>				<b>Unsignalized</b>			
Eastbound Alohea Approach	C	17.9	B	12.1	C	18.9	B	12.5
Westbound Alohea Approach	B	10.6	B	11.7	B	10.7	B	11.9
Northbound Makapu'u Approach	B	12.7	B	13.7	B	13.1	B	14.2
Southbound Makapu'u Approach	C	19.6	B	11.9	C	20.2	B	12.1
<b>Diamond Head Road/West Cannon Club Access</b>	<b>No Intersection in Scenario</b>				<b>Unsignalized</b>			
Westbound Diamond Head Left/Through	N/A	N/A	N/A	N/A	A	8.5	A	9.0
Northbound Cannon Club Left	N/A	N/A	N/A	N/A	D	33.5	D	29.0
Northbound Cannon Club Right	N/A	N/A	N/A	N/A	B	11.6	B	13.0
<b>Diamond Head Road/East Cannon Club Access</b>	<b>No Intersection in Scenario</b>				<b>Unsignalized</b>			
Westbound Diamond Head Left/Through	N/A	N/A	N/A	N/A	A	8.6	A	9.0
Northbound Cannon Club Left	N/A	N/A	N/A	N/A	D	34.8	D	27.9
Northbound Cannon Club Right	N/A	N/A	N/A	N/A	B	11.8	B	13.7
<b>Notes:</b> LOS - Level of Service								

Source: PB Americas, Inc., Traffic Evaluation Kapi'olani Community College (February 2008)

During the Draft EA public review period, DP commented that the "...traffic study should provide a detailed analysis of the benefits of constructing a separate left turn lane into the property." PB Americas, Inc. determined that the overall the future roadway network is projected to operate at essentially the same acceptable level of service as the existing conditions, with the construction of the proposed project. Certain areas would continue to experience periods of heightened delays and/or queuing, but would generally operate

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at what the traffic engineering consultant considers is a satisfactory level of service, and therefore, the need for a separate left turn lane into the property was not mentioned as a necessary mitigation measure.

The project plans to encourage the use of pedestrians and bicyclists through an “extension” of the proposed Linear Park’s proposed multi-purpose path along the site’s frontage along Diamond Head Road. A pedestrian promenade would connect the proposed project to the main KCC campus.

During the pre-consultation period of the Draft EA, the DPP commented that the DTS proposes to widen Monsarrat Avenue’s existing right-of-way from 43 feet to 64 feet (21 feet). During the public review period of the Draft EA, the DPP commented the DTS planning area map shows a 17-foot widening setback along Diamond Head Road (presumably fronting the project site). The preliminary site plan shows that there is adequate open space along the property’s Diamond Head Road frontage to allow the City’s widening of Diamond Head Road by 17 feet. Also, DTS has indicated that a signal will be installed at the intersection of Diamond Head Road/Makapu’u Street when funding becomes available. No signalization is currently planned for the Diamond Head Road/18<sup>th</sup> Avenue intersection.

During the Draft EA public review period, DPP commented that “Adequate vehicular sight distance to pedestrians and other vehicles should be provided and maintained at all driveways that egress onto Diamond Head and should be constructed as stand City dropped driveways. Driveway grades should not exceed 5 percent (5%) for a minimum of 25-feet from the pedestrian sidewalk.” Construction plans for all work within or affecting Diamond Head Road will be submitted to the City for review and approval.

#### **II.B.8. Public Transportation**

Oahu Transit Services is contracted by DTS to operate TheBus on a schedule subject to the availability of resources. Bus routes 3 (Kaimukī/Pearl Harbor), 22 (Waikīkī/Sea Life Park), and 58 (Hawai’i Kai/Sea Life Park) service the project site and surrounding Diamond Head area.

There are four bus stops in the vicinity of the project site, two westbound and two eastbound, all located off Diamond Head Road. Eastbound and westbound bus stops are located just west of the existing Diamond Head crater entry road. Another eastbound stop is located opposite the Diamond Head Chapel, east of the KCC Diamond Head Road entry. The other westbound stop is located between the KCC entry and Makapu’u Street. There are no bus stops fronting the project site.

The Handi-Van provides para-transit service for semi-ambulatory and non-ambulatory persons with disabilities.

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***Potential Impacts and Mitigation Measures***

In a letter dated January 2, 2007, the DTS commented that the relocation of a bus stop to the Monsarrat Avenue frontage east of Trousseau Street would require improvements to comply with the ADAAG and coordinated with their Public Transit Division. Presently, there are no plans to relocate a bus stop to the project frontage and there are no existing bus stops along the project frontage. A future bus pull-out has been incorporated into the design of the revised site plan. An existing bus stop is located near the intersection of Monsarrat Avenue and Wauke Street, therefore, this action may require the replacement of the existing bus stop with the proposed location adjacent to the project site. The City & County of Honolulu has the final decision on the location of bus stops.

**II.B.9. Parking**

The project site contains two existing asphalt parking lots. The lower lot is 40,950 square feet; the upper lot is 5,400 square feet. A U.S. Army Corps of engineer parking striping plan dated April 1969 shows 78 stalls.

KCC also has numerous parking options on its campus. Free parking is available on a first come, first served basis in unmarked stalls in Campus parking lots A-E. Parking permits are required for parking lot A, Monday through Friday from 6:00 AM to 4:00 PM. Parking permits are not required for unmarked stalls in parking lots B, C, D and E.

Parking stalls marked "Staff" are reserved for vehicles with staff permits (Monday-Friday, 6:00 AM to 4:00 PM). Staff parking is available in parking lot E, along the service roads, and in the first row closest to the buildings (parking lots A-D).

Additional parking is also available behind the Diamond Head Theatre on Makapu'u Avenue, and on the side streets near the college.

***Potential Impacts and Mitigation Measures***

Adequate off-street parking stalls will be provided on the project site for students, faculty, staff, and restaurant patrons. Approximately 119 parking and three loading stalls will be provided by the project. In conformance with ADA guidelines, five ADA compliant stalls will be provided adjacent to the building(s). Space for approximately 60 parking stalls will be available to visitors of the DHSM when the inside of the crater is open to the public.

The proposed project is not expected to affect the overall student population using lots A-E within the main KCC campus.

Factors that may impact the estimated parking requirement for the project include: 1) the level of public transit service to the campus (less parking required if a significant portion of

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the students, faculty, staff, and visitors use public transportation as the price of gasoline rises); 2) the percentage of students enrolled in non-daytime courses; 3) the amount of nearby student residents that may walk or bike to campus; and 4) the amount of students also attending classes at KCC and therefore already parking at the main KCC campus parking lots. Accommodations for campus parking could be adjusted, as necessary, to accommodate for any of the factors identified above.

## **II.C. ECONOMIC AND SOCIAL CHARACTERISTICS**

### **II.C.1. Economic Characteristics**

The project is a priority in the State's Comprehensive Economic Development Strategy. In May 2004, The Hawai'i State Legislature appropriated \$3 million to support planning, land settlement, and design costs for the project. On May 2006, Governor Lingle released the previously appropriated \$3 million for the project. Construction of the project is estimated to cost approximately \$45 million in 2010 dollars. The project's construction cannot be started until receipt of the SMA Major Use Permit, PRU and Diamond Head Special District approvals and building permits. Upon the receipt of the building permit, the project will take approximately two years to construct. At the earliest the CIP, cannot be occupied until the fall semester of 2012.

In the larger context, the proposed project will allow KCC to provide additional culinary classes and services by expanding existing culinary facilities and programs. The goal of these programs and services is to positively enhance the social fabric and well-being of the community, ultimately contributing to an educated and responsible citizenry with the abilities to positively contribute to Hawai'i's social and economic well-being.

#### ***Potential Impacts and Mitigation Measures***

The proposed project will generate direct and indirect jobs during the planning and construction/installation of infrastructure and the proposed CIP facility. Direct jobs that are created will be immediately involved with the construction of a project or its operations. Upon completion of the project, new teaching, administrative, and staff positions will be created as a result of having a larger culinary facility. Increases in available resources and faculty will afford students an opportunity to acquire enhanced training skills resulting in improved employment opportunities upon graduation. Indirect jobs will be created as businesses directly involved with a project purchase goods and services in the local economy. The State will benefit from the project through the generation of taxes from direct and induced spending (excise tax) including construction materials and equipment, personal income taxes during construction and long-term employment, and corporate income taxes.

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These economic and fiscal benefits to local governments will be offset somewhat by the public services that will occasionally and unavoidably be needed by the CIP. State and County expenses associated with the project may include occasional civil services such as police, fire, and emergency medical services, and roadside maintenance. However, public safety facilities are located nearby and have the resources and personnel to service the project, especially since the demand for such services will be intermittent, and likely, infrequent.

## **II.C.2. Social Characteristics**

### **II.C.2.a. General Demographics**

The neighborhoods within the Primary Urban Center (PUC) are delineated based on their neighborhood board areas. The project site is located within the PUC neighborhood area that includes Diamond Head, Kapahulu and St. Louis Heights. Based on the 2000 US Census, the population of this PUC neighborhood was 19,137 within a total of 7,698 households. Of the total households, 53 percent were owners and 47 percent were renters. The median age of the householder was 53 years old; with 22 percent of the households containing individuals under 18 and 37 percent with individuals age 65 and over. According to the 2000 US Census, the median income of a household in this area was \$47,644. In terms of environmental justice, this neighborhood would not likely be characterized as a minority or low income population.

### ***Potential Impacts and Mitigation Measures***

The proposed CIP will be constructed near KCC's main campus facilities, and will not displace any homes or residents. The project could potentially attract additional students, faculty and staff to the surrounding neighborhoods, however, the project is not expected to significantly increase the new student population. As such, no significant impact on the area's population or housing inventory is anticipated.

### **II.C.2.b. Community Character**

The Diamond Head neighborhood is a diverse mix of single-family homes, low-rise multiple-unit apartment structures, a neighborhood commercial center, college campus, playhouse theater, local hospital, military and State Department of Defense (State DOD) office buildings, movie sets and studio, and recreational park and beach areas—all surrounding the famous Diamond Head Crater.

The site had previously been used for recreational and dining purposes, but once the U.S. Army vacated the Cannon Club, the site has not been used for many years. As a result, on occasion there has been trespassing on the property, vandalism and other illegal activities.

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***Potential Impacts and Mitigation Measures***

The proposed CIP will bring back active use to a presently vacant site. Most of the project boundaries are relatively clear of abutting residential properties. Those residents abutting the project site will experience an increase in human-generated noise (cars parking and human voices) associated with the CIP. Since the site is vacant, no residents will be displaced by the project. This project is a University-initiated project. There are no new residential units or visitor units associated with this project. Therefore, there would be no impacts typically associated with additional residences on surrounding residents.

The project should not change or alter the character of the surrounding community. The project is complementary to the existing KCC campus.

**II.C.3. Public Facilities and Services**

**II.C.3.a. Police Protection**

The project site falls within the City & County of Honolulu, Police Department's (HPD) East Honolulu, District 7, which encompasses the area from Makapu'u to Punahou. A police substation is located on 22<sup>nd</sup> Avenue near the intersection of Diamond Head Road.

***Potential Impacts and Mitigation Measures***

There may be an occasional demand for police services at the Cannon Club site; however, Kapi'olani Community College will also have its own onsite security personnel to monitor the area. HPD will be notified when the construction phase begins so they may anticipate an increase in calls for service to the area because of traffic complications. As such, mitigation measures will be implemented to minimize construction-related traffic. During the pre-consultation process, HPD wrote: "This project should have no unanticipated impact on the facilities or operations of the Honolulu Police Department." During the Draft EA public review period, HPD reiterated that they "expect no unanticipated impact on our (HPD) facilities or operations."

**II.C.3.b. Fire Protection**

The City & County of Honolulu, Fire Department (HFD) operates two main stations that service the Diamond Head area. The Waikiki Station 7 is located at 381 Kapahulu Avenue. The Kaimuki Station 5 is located at 971 Koko Head Avenue.

***Potential Impacts and Mitigation Measures***

There may be an occasional demand for firefighting services. Availability of fire protection capability is critical for both structural fires and brushfires.

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To mitigate potential structural fires, all buildings will be equipped with modern fire control devices, and access for fire apparatus, water supply, and building construction within the project site will be in conformance with existing codes and standards.

Brushfires could be mitigated by the preparation and implementation of fire control measures such as the installation of landscaping and planting fire-resistant native plants.

In a letter dated November 16, 2006, HFD commented that the project shall comply with the following: 1) Provide a fire apparatus access road to within 150 feet of the first floor of every facility or building constructed; 2) Provide a County-approved water supply capable of supplying adequate flow for fire protection, with onsite fire hydrants provided if facility or building is over 150 feet from the fire access road and water supply; and 3) Submit civil drawings to HFD for review and approval.

On-site fire protection includes fire hydrants located within the parking area and the automatic fire sprinkler system within the building(s). The domestic water and fire protection system will be combined using the same pipeline. By combining the flows, a single eight-inch x two-inch domestic/fire service FM meter will be used instead of using separate three-inch compound domestic meter and an eight-inch detector check meter for the fire protection system and running parallel water lines throughout the site.

### **II.C.3.c. Health Care Facilities**

Health care facilities within the area include Lē'ahi Hospital, Kaiser Moanalua Medical Center, Kapi'olani Medical Center, Kuakini Medical Center, Queen's Medical Center and Hospital, and Straub Clinic and Hospital. These facilities are all within a 15-minute drive by car from the project site. In addition, there are numerous private physician offices in the surrounding area.

### ***Potential Impacts and Mitigation Measures***

The project is not expected to significantly increase the need for emergency service, and is not expected to have a long-term adverse impact on emergency medical providers or their ability to service the community. There may be an unavoidable and occasional need for emergency health care services by students or employees of the Culinary Institute of the Pacific. Potential accidents requiring emergency service could occur at the facility.

### **II.C.3.d. Schools**

The project is part of the Kapi'olani Community College, which is located directly across Diamond Head Road to the Northeast.

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State of Hawai'i, Department of Education public schools in the vicinity of the project site include Kaimukī Intermediate School, Wai'ālae Elementary School, Kāhala Elementary School, Jefferson Elementary School and Waikīkī Elementary School.

***Potential Impacts and Mitigation Measures***

The project will directly benefit KCC by providing additional facilities and classrooms to meet the growing demand of its culinary programs. This would be a direct benefit to KCC's culinary students and faculty, and to high school graduates interested in careers in the food service industry.

Because no residential development is involved with the project, no increases in public school enrollments will occur. It is unlikely that construction noise from the KCC CIP site will be audible to students of Waikīkī Elementary School, the closest public school site.

**II.D. ENVIRONMENTAL CHARACTERISTICS**

**II.D.1. Soils**

The project site is located on the lower northerly facing slope of Diamond Head. The ground surface elevations at the upslope boundary of the site range from about +170 to +210 feet Mean Sea Level (MSL). The ground surface elevations along the top of the slope above the project site ranges between about +400 to +450 feet MSL. According to the geotechnical engineering consultant, Geolabs, Inc., the average hill slope inclination is approximately 1.7 horizontal to 1 vertical (1.7H:1V). The hillside ground surfaces are covered with grass and brush vegetation with some trees on the lower slope. Limited ground surface exposures were observed. Where surface exposures were observed on the slopes, the ground was composed of low relief, volcanic tuff rock with some thin surface silty and sandy soils.

Based on Geolabs, Inc.'s site reconnaissance, surface boulders and rock outcroppings capable of producing dangerous rockfall conditions were not observed on the hillside above the project site. Evidence of previous fallen boulders within the project site also was not observed by Geolabs, Inc. However, according to Geolabs, Inc., some limited small size boulders (less than two feet in dimension) may be anticipated on occasion depending on the final footprint of the proposed CIP at the Cannon Club site.

**Natural Resources conservation Service Soil Survey.** The Natural Resources Conservation Service, *Soil Survey of the Islands of Kaua'i, O'ahu, Maui, Moloka'i, and Lāna'i*, classifies the soils of the project site as Makalapa clay (MdC), Molokai Silty clay, and Rock Land (rRK) (see Figure 10). A brief description of each soil type follows:

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Makalapa clay (MdC) is generally well drained and exists in the upland areas of Diamond Head Crater. The soil is formed from volcanic tuff and sustains a long, dry period in the summer. The MdC soil occurs on fans (6- to 12-percent slope series predominates in the alluvium within the crater. These soils are mildly alkaline in their dry grayish-brown, eight-inch thick surface layer and mildly to moderately alkaline in their 18- to 36-inch lower layer. They are underlaid by light-gray to dark grayish-brown, weathered, volcanic tuff. Their clay components are very sticky and plastic. Runoff is slow to medium and the erosion hazard is moderate. The shrink-swell potential is high. The available water capacity is about 1.4 inches per foot of soil. Roots can penetrate to the volcanic tuff beneath.

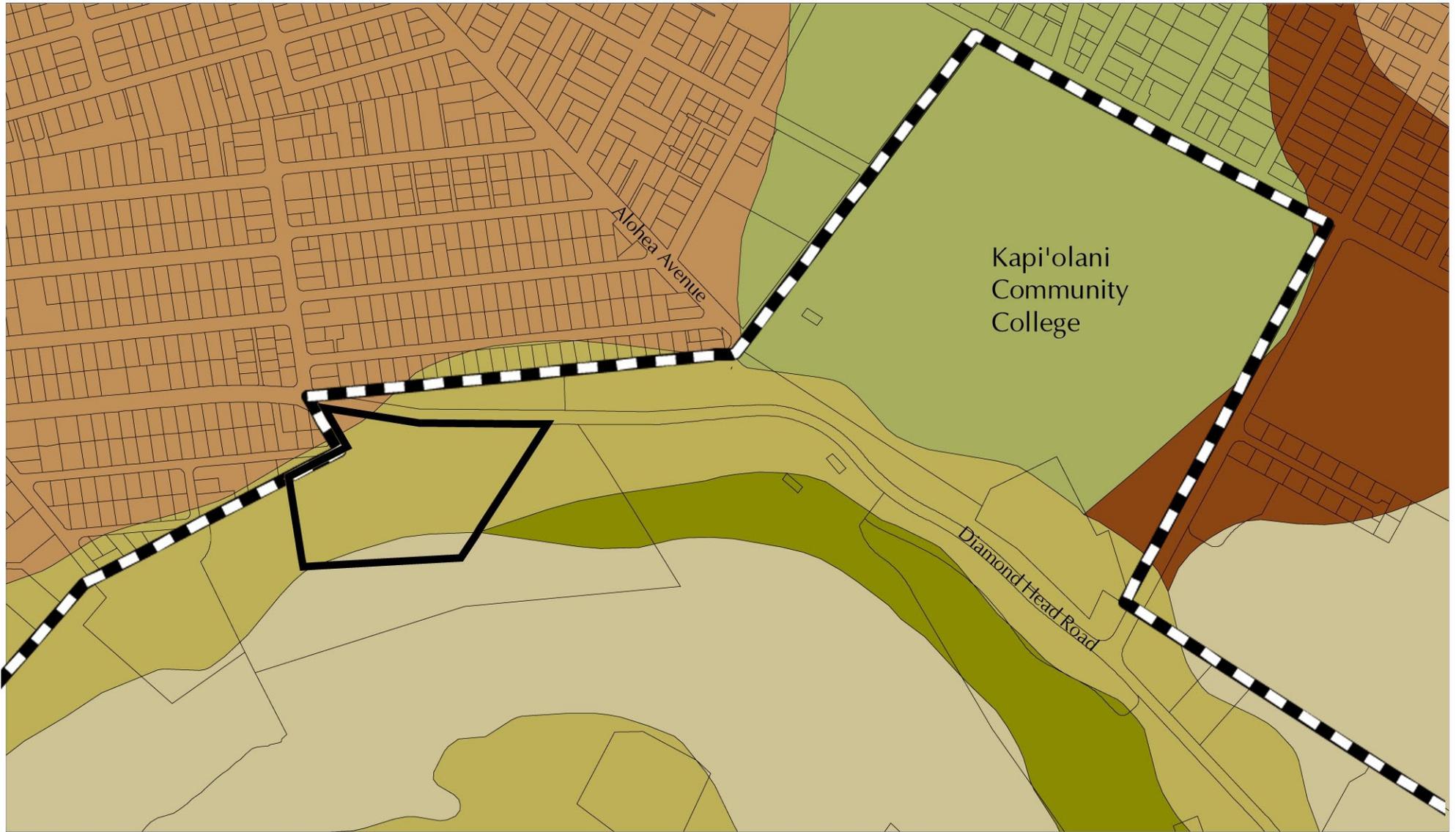
Molokai Silty Clay (MuC) consists of very deep, well drained soils that formed in material weathered from basic igneous rock. MuC soils can be found on uplands and have slopes of 0 to 25 percent. These soils are dark reddish brown, and are generally slightly sticky and plastic.

Rock Land (rRK) is made up of areas where exposed rock covers 25 to 90 percent of the surface. The rock outcrops and very shallow soils are the main characteristics. This land type is nearly level to very steep. The annual rainfall amounts to 15 to 60 inches. The soil material is generally very sticky and plastic, and has a high shrink-swell potential.

**Agricultural Lands of Importance to the State of Hawai'i.** The Agricultural Lands of Importance to the State of Hawai'i (ALISH) (1977) system maps and identifies three broad classes of agricultural land based, in part, on the criteria established by the Natural Resources Conservation Service. The entire project site is designated Not Classified Agricultural Land (see Figure 11).

### ***Potential Impacts and Mitigation Measures***

Since the proposed project would be constructed on land that has already been modified for the Cannon Club building and related structures, construction-related activities for the Culinary Institute of the Pacific should not have a significant impact on the site's soil conditions or on the natural topography of the Diamond Head Monument. To assess the potential impact of rockfalls from the slopes of Diamond Head crater, above the Cannon Club site, a computerized rockfall simulation program was conducted by Geolabs, Inc. The computer rockfall simulation results indicate that for simulated spherical rolling boulders up to two feet in dimension, emanating from the slopes above the project site, approximately 50 to 75 percent of the simulated rocks could reach the upslope project boundary. Furthermore, the kinetic rolling energy of the rocks appears low enough such that standard 6-foot high chain link fencing erected upslope of the new structures should be capable of intercepting the relatively small-sized rocks. The project will be designed to mitigate the potential hazards of rockfalls from the slopes of Diamond Head by erecting a chain link fence upslope of the new structures.



Legend

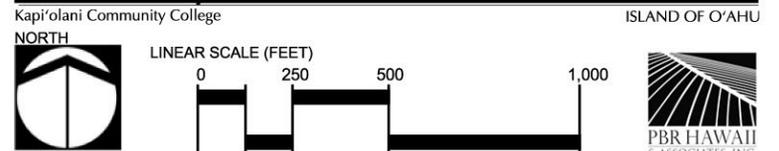
-  Project Site Boundary
-  Inside Special Management Area

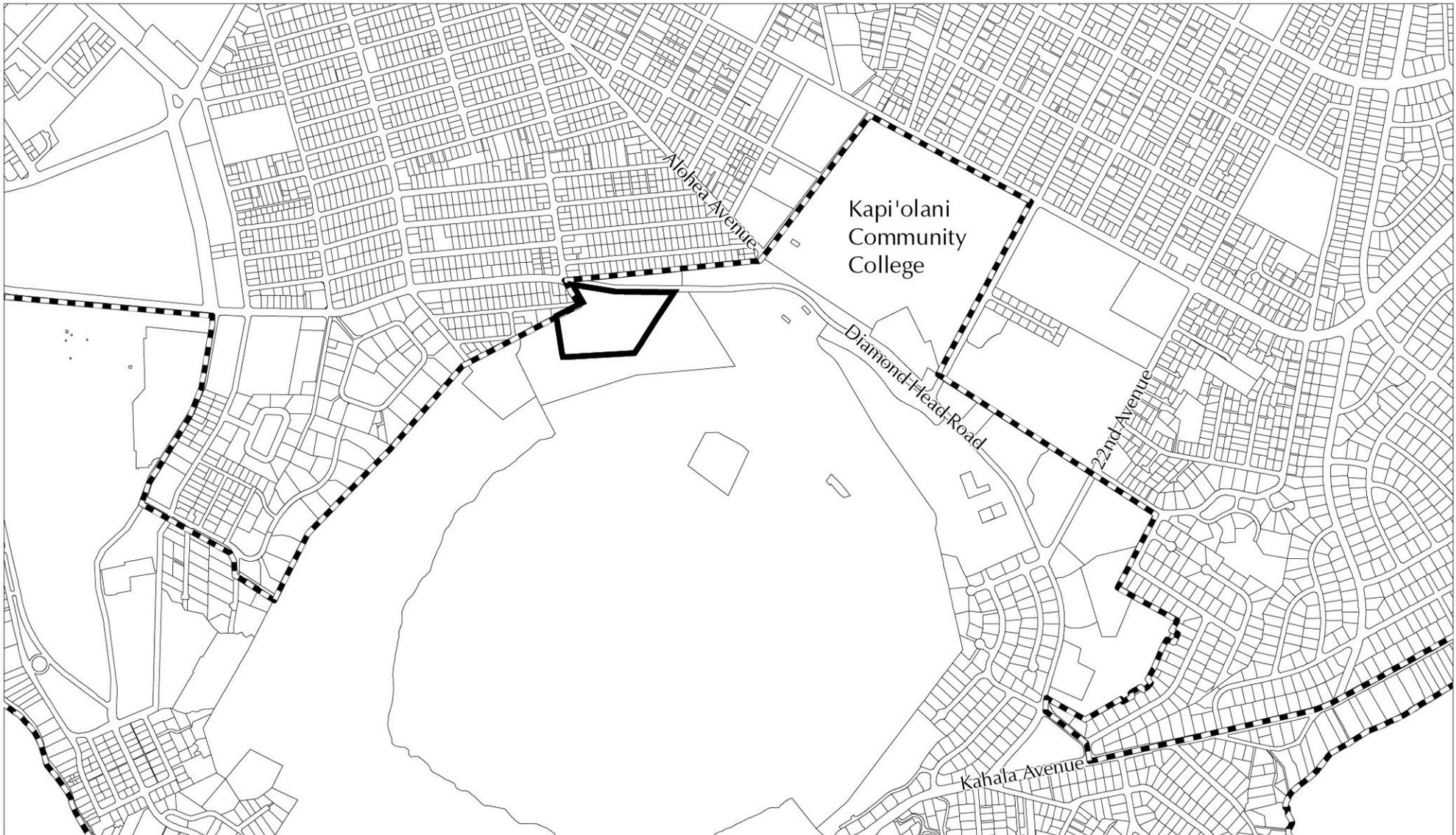
-  MOLOKAI SILTY CLAY LOAM, 3 TO 7 PERCENT SLOPES
-  MOLOKAI SILTY CLAY LOAM, 7 TO 15 PERCENT SLOPES
-  MAKALAPA CLAY, 6 TO 12 PERCENT SLOPES
-  MAKALAPA CLAY, 12 TO 20 PERCENT SLOPES
-  MOLOKAI SILTY CLAY LOAM, 15 TO 25 PERCENT SLOPES
-  ROCK LAND

Source:  
Natural Resources Conservation Service (1995)

Disclaimer:  
This map has been prepared for general planning purposes only.

Figure 10  
Natural Resources Conservation Service Soil Survey  
Kapi'olani Community College  
Culinary Institute of the Pacific





**Legend**

-  Project Site Boundary
-  ALISH Not Classified Lands
-  Inside Special Management Area

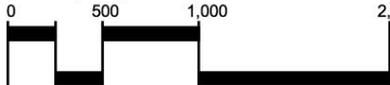
Source:  
State Department of Agriculture (1977)

Disclaimer:  
This map has been prepared for general planning purposes only.

**Figure 11**  
Agricultural Lands of Importance to the State of Hawaii  
**Kapi'olani Community College**  
**Culinary Institute of the Pacific**

Kapi'olani Community College ISLAND OF O'AHU

NORTH 

LINEAR SCALE (FEET)  
0 500 1,000 2,000 

 PBR HAWAII & ASSOCIATES, INC.

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In a letter dated December 1, 2006, the State of Hawai'i, Department of Health (DOH) commented that since the property was never used for nursery or agricultural purposes, soil testing for arsenic at the project site would not be necessary.

### **II.D.2. Topography**

The site has been graded so that the former Cannon Club, its upper parking lot, and former sun deck sit at approximately the same elevation. The remainder of the Cannon Club site was also extensively graded to include a ramped walkway, building pads and a larger parking area (see Appendix I).

#### ***Potential Impacts and Mitigation Measures***

The project is not anticipated to have impacts to the topography of the site, as the site has been previously graded for the former Cannon Club buildings and structures. The proposed project will mostly utilize the existing topography for its new facilities (including roads and parking), and therefore, require minimal grading. The proposed improvements will require vegetation removal and earthwork.

All grading and construction operations will be conducted in compliance with the City Grading Ordinance; Water Pollution and Water Quality Standards of HAR, Chapter 11-55, "Water Pollution Control," and Chapter 11-54, "Water Quality Standards;" the National Pollutant Discharge Elimination System Permit (NPDES); the provisions of HAR, Chapter 11-60, "Fugitive Dust;" and other dust and erosion control requirements. Prior to the commencement of grading operations, a grading permit will be obtained to modify the topography and an erosion control plan will be submitted to the City & County of Honolulu.

### **II.D.3. Surface Runoff, Drainage, and Erosion Hazard**

The existing drainage system consists of natural swales, concrete cut-off ditches, drain lines and manmade grassed swales. Natural swales carry runoff from the lip of Diamond Head Crater down to the existing Cannon Club location. Cut-off ditches along the perimeter of the existing concrete foundations intercept the off-site runoff and convey the flow via a series of inlets and reinforced concrete pipes to the lower section of the site.

The area near the property boundary along Trousseau Street is the lowest section of the property. This area has remnants of a manmade-grassed swale. This area has not been maintained and is filled in with debris. According to the Preliminary Engineering Report, this manmade swale discharges to a 30-inch reinforced concrete pipe (RCP) drain line that connects to a four-feet x four-feet box culvert under Diamond Head Road.

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In addition to the existing grassed swale, the other existing onsite drainage systems are no longer operational. The inlets in the upper areas are clogged with debris, there is no evidence of flows through the manholes, and there is vast root intrusion in concrete pipes in the lower area of the site.

Also, there is an existing 24-inch RCP that crosses Diamond Head Road near the eastern driveway that leads up to the Cannon Club facility. Like the other onsite systems, some drain lines leading to this roadway crossing have failed or are plugged and are not in service.

The total drainage area impacting the site begins at the lip of the Diamond Head Crater at an elevation of approximately 450 feet. The total area from the crest over the project site, to the catch basin in Diamond Head Road, is approximately 17.2 acres.

The calculation for total storm water drainage flow for existing conditions is approximately 32.3 cubic feet per second (cfs).

***Potential Impacts and Mitigation Measures***

Preliminary calculations show that the storm water drainage will only increase by 1.0 cfs (to 33.3 cfs) for the overall project drainage area, but will need to be recalculated in more detail in a subsequent drainage report.

The two existing drain line connections at Diamond Head Road can be reused. These are the 30-inch RCP with a four-feet x four-feet box culvert and the 24-inch RCP.

All other drain lines on site should be excavated and removed or filled with annular grout and abandoned in place. Another alternative, would be to cut, fill and abandon-in-place only with oversight from a geotechnical engineer.

A cut-off ditch along the upper boundary of the project site is proposed to divert off-site runoff around the site so that it will not need to be treated for storm water quality as the onsite runoff does. In order to do this, a cut-off ditch along the upper boundary of the site is recommended. The ditch would then discharge into an underground system that connects to the City system in Diamond Head Road. A detailed surface runoff analysis will address any anticipated increase in discharge (concentrated flow) as a result of collecting off-site sheetflows and redirecting them into an existing underground drainage system.

The storm water quality criteria can be met by either detaining storm water for a length of time that allows storm water pollutants to settle, or by use of filtration or infiltration methods, or by a combination of both. For the project site, there is potential for storm water to be detained via an extended detention dry pond or underground vaults

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(especially by using permeable pavement in parking areas). Filtration methods may also include use of underground vaults with inline filters or grassed swales.

Because the site is currently overgrown with weeds, it will have to be cleared and grubbed prior to construction. During the construction phase, there is a potential for the generation of dust and for water-borne soil erosion. There will be no net increase in storm runoff generated from the site to off-site areas.

Construction activities will follow strict erosion control measures specified by applicable Federal, State, and City regulations. Prior to issuing a grading permit, an erosion control plan and Best Management Practices required for the NPDES permit will be submitted describing the implementation of appropriate erosion control measures. These generally include the use of cut-off ditches, temporary groundcover, and use of detention areas.

A watering program will be implemented to minimize soil loss through fugitive dust emissions during construction. Other control measures include cleaning of construction equipment on the jobsite and establishment of groundcover as quickly as possible after clearing and grading.

Permanent landscaping in selected areas will re-establish the soil retention values throughout the project area. Invasive plants will be removed and replaced with native species. An extensive, continuous, and long-term landscape management program for the property may reduce erosion compared to the existing conditions (vacant land with no maintenance).

Other mitigation measures, in addition to those listed above, include:

- Retaining existing groundcover until the latest date before construction.
- Early construction of drainage control features.
- Using temporary sprinklers in non-active construction areas when groundcover is removed for a maximum of 14 days. Temporary soil stabilization methods will be used on disturbed areas if it will not be worked on for a period longer than 14 days.
- Stationing water trucks onsite during the construction period to provide immediate sprinkling as needed, in active construction zones (weekends and holidays included).
- Constructing temporary sediment basins to trap silt.
- Using temporary berms and cut-off ditches where needed, to intercept and divert flows to the nearest sediment basin.
- Constructing temporary silt fences or straw bale barriers to trap silt.
- Thoroughly watering graded areas after construction activity has ceased for the day and on weekends, but as not to create sediment-laden runoff.
- Sodding or planting all cut and fill slopes immediately after grading work has been completed.

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The drainage system and permanent storm water quality facilities will conform to applicable provisions of the Rules Relating to Storm Drainage Standards, January 2000, Department of Planning and Permitting, City & County of Honolulu. During the Draft EA public review period, the Department of the Army, Regulatory Branch noted that it “is anticipated that proposed activities will not involve the discharge of dredged or fill material into waters of the U.S. Based on this understanding, a DA permit will not be required.”

**II.D.4. Federal FIRM Zone, LUO Flood Hazard District, Other Geological Hazards**

The Federal Emergency Management Agency classifies flood hazard zones as part of the Flood Insurance Program for the City & County of Honolulu (see Figure 12). The project site is designated as Zone X on the Flood Insurance Rate Map (Community Panel Number 1500C00370 E, November 20, 2000). This zone is determined to be outside the 500-year flood plain.

Natural hazards are events such as tsunami, earthquakes, floods, hurricanes, soil slippage and volcanic hazards. The project site may be subject to hurricanes and minor earthquakes in the future; however, the site is not unique to these potential hazards. Earthquakes in the Hawaiian Islands are associated with volcanic eruption or tectonic movement. The Diamond Head Crater is not uniquely susceptible to natural hazards.

The following description of the topography of the site was provided by Geolabs, Inc.:

*The project site is located adjacent to Diamond Head Road on the lower northerly facing slopes of Diamond Head Crater. Diamond Head is a remnant volcanic cone generally composed of layered volcanic tuff rock (mudrock) and some cemented conglomerate materials. The volcanic tuff cone was created by ash and cinder fallout, which was explosively emitted from the crater during late stage eruptions, which ended approximately 500,000 years ago. Because the cone was created by the sequential deposition of welded volcanic ash and cinder materials, the near-surface rock bedding planes inherent to the volcanic tuff deposits generally are inclined down slope, away from the central crater vent. Where earth cuts intersect or truncate the down slope inclined bedding surfaces, sliding of the exposed inclined rock layers resulting in rockfall may be experienced.*

*Due to the relatively homogenous character of the volcanic tuff rock material, differential erosion of the natural crater slopes (which tends to form ground surface relief consisting of rock ledge outcroppings and remnant boulders surrounded by soil) is limited. Therefore, the natural side slopes of the crater typically are devoid of local ground surface relief and, hence, rockfall producing rock outcrops and loose boulders. Weathering and erosion of the natural volcanic tuff slope surfaces*

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*typically produce soils, gravel, and smaller rock fragments (generally less than about 1 to 2 feet in dimension), which are angular or tabular in shape. The down slope movement of these rock fragments generally is not conducive to increasing rolling momentum, and the rock fragments typically lodge on the slope in the existing vegetation within close proximity to the source production.*

***Potential Impacts and Mitigation Measures***

Because the project area is not located within a floodway or a flood fringe area, nor within a designated tsunami inundation area, no part of the project will be impacted by potential flooding hazards. None of the land uses proposed for the project are susceptible to flooding as described by the FIRM.

The State of Hawai'i has been affected twice since 1982 by devastating hurricanes, 'Iwa in 1982 and 'Iniki in 1992. While it is difficult to predict these natural occurrences, it is reasonable to assume that future events could be likely given the record of the past years. The project area, as the rest of the island, is no more or less vulnerable to the destructive winds and torrential rains associated with hurricanes and cyclones.

Mitigation measures will be implemented to reduce the impacts of natural hazards during construction. The potential impact of destructive winds and torrential rainfall of tropical cyclones/hurricanes on structures within the project will be mitigated by compliance with the 2003 International Building Code and Amendments as adopted by the City & County of Honolulu. All structures will be constructed for protection from earthquakes and tropical cyclones/hurricanes in accordance with the requirements of the City & County of Honolulu.

Drainage improvements will include adequate provisions to prevent any localized flooding problems. A detailed surface runoff analysis will address any anticipated increase in discharge (concentrated flow) as a result of collecting off-site sheetflows and redirecting them into an existing underground drainage system. No other mitigation measures are required to avoid potential flood hazard areas since none exists at the project site.

There is a limited potential for rockfalls from the slopes of Diamond Head. According to Geolabs, Inc., the kinetic rolling energy of the rocks appear low enough such that standard 6-foot high chain link fencing erected upslope of the new structures should be capable of intercepting the relatively small-sized rocks.

**II.D.5. Hazardous or Toxic Substances**

In a letter dated December 1, 2006, the DOH commented that since the property was never used for nursery or agricultural purposes, soil testing for arsenic at the project site

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would not be necessary. In addition, the project does not appear to raise other environmental concerns subject to regulation under Chapter 128D, HRS, by the Hazard Evaluation and Emergency Response Officer.

***Potential Impacts and Mitigation Measures***

No impacts or hazardous conditions are expected from prior uses and thus, no mitigation measures are necessary.

**II.D.6. Air Quality**

In general, air quality in Hawai'i is excellent due to the predominant northeast trade winds. Some localized conditions, such as heavy traffic at intersections, can negatively impact air quality. Air quality in the vicinity of the Cannon Club is most likely affected by emissions from motor vehicle traffic on nearby roadways, especially when winds are too light to disperse automobile emissions.

According to the Environmental Protection Agency (EPA) there are no "non-attainment" sites in the State of Hawai'i. A non-attainment area is defined as a locality where air pollution levels persistently exceed National Ambient Air Quality Standards (see Figure 13). Because there are no "non-attainment" sites in Hawai'i, the entire state is considered by the EPA to be in attainment for all criteria pollutants. To ensure that existing air quality levels are maintained, both Federal and State standards have been established to identify ambient air quality conditions and potential changes as they may occur in the future.

***Potential Impacts and Mitigation Measures***

During project construction, short-term air quality impacts may result from exhaust generated by construction equipment and fugitive dust. However, all construction activities will implement best management practices to minimize any negative air quality impacts and comply with the provisions of HAR, Chapter 11-59, "Ambient Air Quality Standards," Chapter 11-60.1, "Air Pollution Control," and Section 11-60.1-33, "Fugitive Dust."

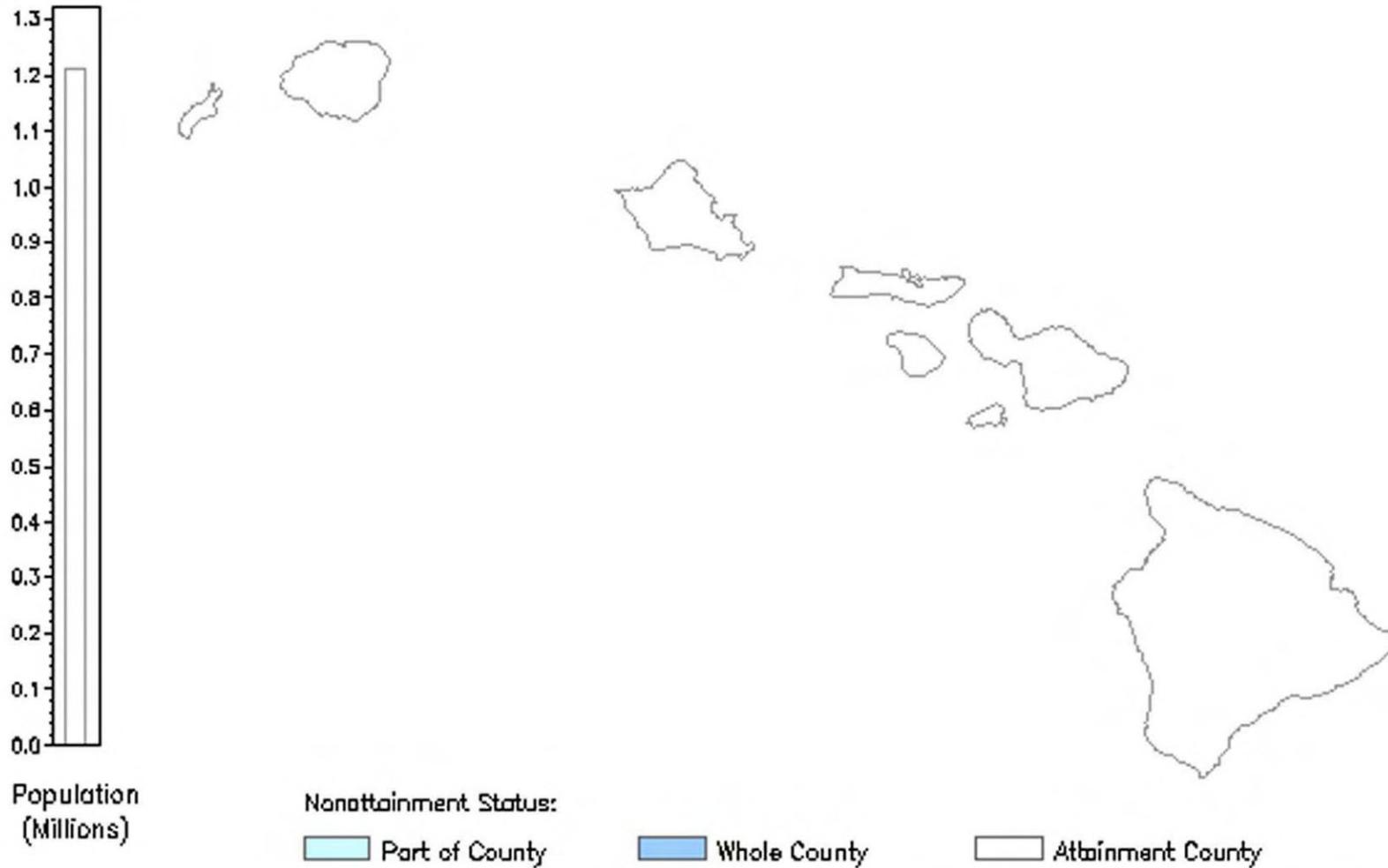
Exhaust emissions from construction equipment are not likely to exceed established air quality standards. A combination of mitigative measures such as watering exposed soils, minimizing the amount of disturbed area, and rapidly establishing plant materials will be implemented as appropriate.

Fugitive dust is expected to be minimal because construction would involve relatively minor grading activities.

# Counties Designated "Nonattainment" for Clean Air Act National Air Quality Standards (NAAQS)



All counties are attaining the standard



Source: US EPA Office of Air and Radiation, AQS Database

Nonattainment Area for Lead, Carbon Monoxide, Sulfur Dioxide, ground level ozone (1-hour and 8-hour), particulate matter (PM 2.5-10). There is no nitrogen dioxide nonattainment areas.

Figure 13  
U.S. EPA Nonattainment Area Map  
Kapi'olani Community College  
Culinary Institute of the Pacific

Kapi'olani Community College  
NORTH



NOT TO SCALE

ISLAND OF O'AHU



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**II.D.7. Noise**

Current sources of noise include: vehicular and pedestrian traffic along Diamond Head Road, residential noise from adjacent neighborhoods, traffic and people from KCC, and occasionally traffic and people from Diamond Head Theater on performance nights.

***Potential Impacts and Mitigation Measures***

Construction activities will generate noise from related equipment. This construction-related noise will have an impact on nearby residents although construction will occur during daylight hours when most adult residents are at work and children are at school. However, this noise impact will be temporary and last only until project completion (approximately 20 months).

All project activities will be monitored to ensure compliance with the State Department of Health Administrative Rules, Chapter 11-46, "Community Noise Control."

After construction, long-term noise impacts will be from traffic and associated noise conditions for the Culinary Institute of the Pacific.

The buildings will be mostly enclosed, minimizing noise impacts from various activities taking place. However, mitigative measures, including concentrated landscaping along the boundaries shared by abutting residences, will be implemented.

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# SECTION III

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## AFFECTED ENVIRONMENT

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### **III. AFFECTED ENVIRONMENT**

#### **III.A. SURROUNDING AREA**

The project site is located on the northern slopes of Diamond Head Crater within the Diamond Head Special District as part of the Diamond Head State Monument. Diamond Head State Monument's recreational park is located inside the crater. The park is maintained by the DLNR and includes hiking trails leading to an observation area at the peak of Diamond Head. A portion of the crater interior is under jurisdiction of the State DOD. The State DOD area is separated by fencing and access is controlled by 24-hour security. Diamond Head, mostly located within the Preservation District within the Primary Urban Center (PUC) Development Plan (DP), falls under policy statements dealing with preservation. Small portions of Diamond Head are located within the Park, Military, Public Facility and Residential Districts. In addition, the Diamond Head State Monument is designated as the Diamond Head Special District which states that: "Areas wherein natural and man-made objects of beauty and historic, cultural, architectural, and scenic significance may be preserved, enhanced and perpetuated" (Ord. No. 77-123).

Diamond Head, including the project site, is surrounded primarily by single family residential land uses. Zoning to the north, east, and west of the project site is primarily residential. Kapi'olani Park, a major urban regional park, is located just west of Diamond Head Crater. Along the southern edge of the crater, Diamond Head Beach Park and the U.S. Coast Guard Lighthouse lie on the opposite side of Diamond Head Road. Along the northeastern edge of the crater, on the opposite side of Diamond Head Road, is Kapi'olani Community College, Kaimukī Intermediate School, Lē'ahi Hospital, various facilities that were occupied or are currently occupied by the Army National Guard, and Diamond Head Memorial Park. Kapi'olani Park lies within one mile to the west and the ocean within one mile to the south. Beyond Kapi'olani Park is Waikīkī.

#### ***Potential Impacts and Mitigation Measures***

The proposed project involves the reuse of a property once actively used by the U.S. Army for housing and a restaurant/club. While the site is vacant, it is urbanized and its present vacant state undergoes vandalism, illegal camping and other illegal activities. The proposed use is compatible with the residential, educational and park use of the surrounding areas.

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### **III.B. COASTAL AND NATURAL RESOURCES**

#### **III.B.1. Flora and Fauna**

The existing vegetation consists of a variety of non-native and/or invasive species such as Koa Haole (*Leucaena leucocephala*), Kiawe (*Prosopis Pallida*), Banyan (*Ficus benghalensis*), African Tulip (*Spathodea campanulata*), Lantana (*Lantana camara*), California Grass (*Brachiaria mutica*), Buffel Grass (*Cenchrus ciliaris*), Sourgrass (*Digitaria insularis*) and Fountain Grass (*Pennisetum setaceum*). Among the non-native vegetation, scant amounts of the Native Hawaiian shrub, 'ilima (*Sida fillax*) exist. The environmental conditions are mostly arid and coastal with a grassy dry-land appearance.

Based on a September 18, 1997 site reconnaissance by Peter Yuh, Jr., National Environmental Policy Act Coordinator and Directorate of Public Works, no known threatened or endangered species were found on or in the immediate vicinity of the project site (see Figure 14).

#### ***Potential Impacts and Mitigation Measures***

The property may be harboring rodents that could be dispersed to the surrounding areas when buildings are demolished or sites are cleared. Before any demolition or site clearing, rodents will be eradicated and the DOH, Vector Control Branch will be notified, as required under HAR, Chapter 11-26, "Vector Control." To eradicate rodents, rodent traps and rodenticides will be set out on the project site for at least a week, or until the rodent activity ceases.

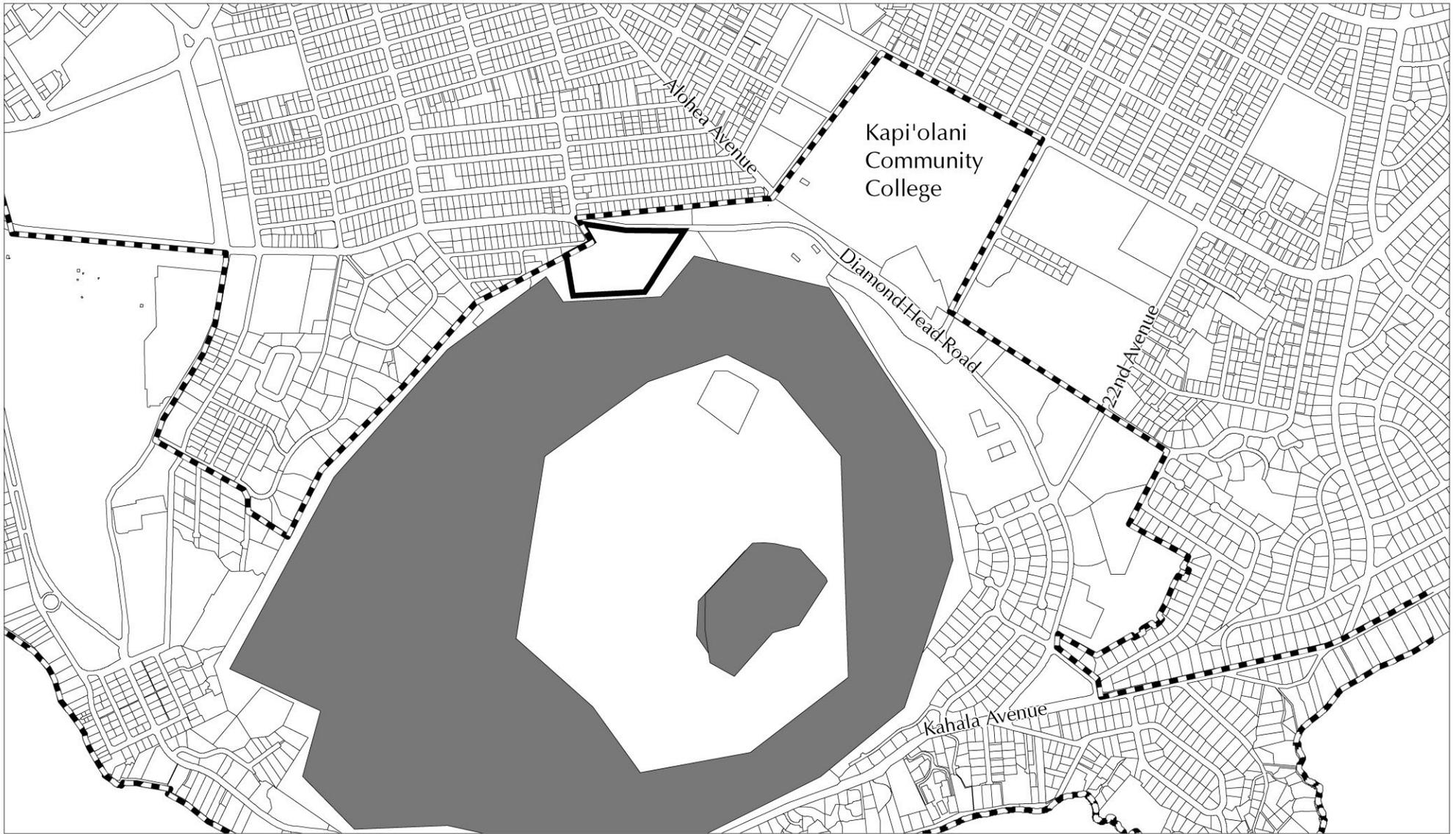
In a December 15, 2006 telephone conversation, the U.S. Fish and Wildlife Service stated that the project would have no impact on any endangered species.

Because no known threatened or endangered species were found at the project site, the project is not anticipated to cause adverse impacts and no mitigation measures are proposed.

#### **III.B.2. Wetlands**

During the Draft EA public review period, the Department of the Army, Regulatory Branch noted that it "is anticipated that proposed activities will not involve the discharge of dredged or fill material into waters of the U.S. Based on this understanding, a DA permit will not be required."

The project site is not located within or adjacent to a wetland identified by or delineated on the U.S. Department of the Interior – Fish & Wildlife Service Honolulu, Hawai'i U.S. Geological Survey (USGS) Quadrangle Map (see Figure 15).



**Legend**

-  Project Site Boundary
-  Inside Special Management Area
-  Plant
-  Vertebrate

Source: U.S. Fish and Wildlife Service

Disclaimer:  
This map has been prepared for general planning purposes only.

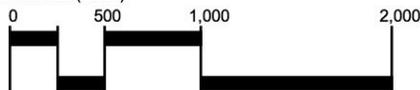
Figure 14  
Critical Habitats Map  
Kapi'olani Community College  
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Kapi'olani Community College ISLAND OF O'AHU

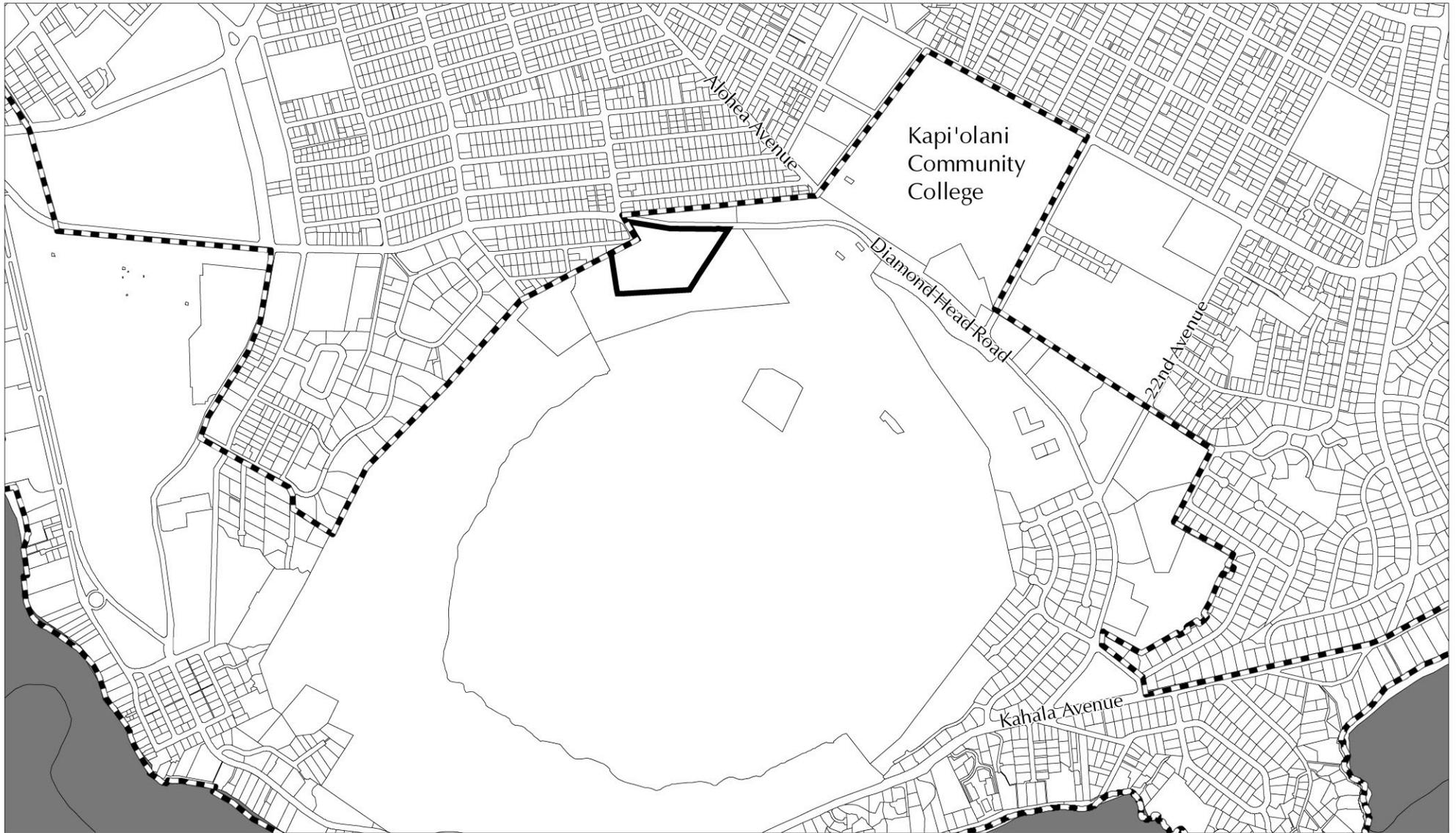
NORTH



LINEAR SCALE (FEET)




PBR HAWAII & ASSOCIATES, INC.



Legend

-  Project Site Boundary
-  Marine/Wetland
-  Inside Special Management Area

Source:  
U.S. Fish and Wildlife Service  
Disclaimer:  
This map has been prepared for general planning purposes only.

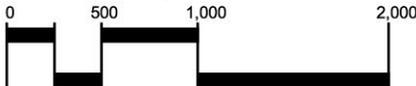
Figure 15  
Wetlands Map  
Kapi'olani Community College  
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Kapi'olani Community College

NORTH



LINEAR SCALE (FEET)



ISLAND OF O'AHU



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***Potential Impacts and Mitigation Measures***

Because the project is not located within or adjacent to the wetland, the proposed improvements will have no impact and no mitigation measures are necessary.

**III.B.3. Park and Recreation Areas**

The project site is located near many recreation areas and facilities. Diamond Head State Monument is located directly adjacent to the project site. Diamond Head State Monument's recreational park is located inside the crater. The park is maintained by the DLNR and includes hiking trails leading to an observation area at the peak of Diamond Head.

Queen Kapi'olani Park, located west of the site is a large regional park with many recreational facilities, which include tennis courts, archery range, soccer fields, softball fields, bicycle/pedestrian paths and picnic facilities.

There are also neighborhood parks located throughout the neighboring communities with playgrounds, courts, a recreation building and comfort stations.

***Potential Impacts and Mitigation Measures***

The project is not expected to have impacts to parks or recreation areas in the vicinity. During the Draft EA public review period, the City's Department of Parks and Recreation wrote that it "has no comment... as the proposed project will not impact any program or facility of the department."

**III.B.4. Beaches**

Diamond Head Beach is located south of the project site on the southern flank of Diamond Head crater off Diamond Head Road. A steep walking path from Diamond Head Road leads down to the beach, which is popular for surfing, windsurfing, fishing, swimming and sunbathing. A popular lookout point off Diamond Head Road provides expansive views of the Pacific Ocean and the beach below.

The famous Waikiki beaches are west of the project site; Kāhala Beach is east of the site.

***Potential Impacts and Mitigation Measures***

The project is not expected to have negative impacts to beaches in the vicinity. The proposed sidewalk along the Diamond Head Road side of the property will be supportive of the DLNR Division of State Park's proposed Diamond Head Linear Park project.

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### **III.C. HISTORIC, CULTURAL, AND ARCHAEOLOGICAL RESOURCES**

Diamond Head is a noted representation of the natural forces of island creation. Looming over the Waikīkī plain, it was the backdrop, if not an active setting, for the activities of the Hawaiian chiefs from at least the 15th century until the late 1800s. As the site of Fort Ruger, it was the vanguard installation for the defense of Hawai'i and the mainland in the first half of the 20th century.

Diamond Head is now preserved as a State monument to the natural and cultural history of the region. Historical resources identified are almost all related to the military occupation of Fort Ruger.

**Traditional Sites and Cultural Use:** The archival research, previous archaeological studies, and the present field survey suggest that there is little likelihood for archaeological sites of pre-contact Hawaiian or early post-contact origin. Historical documents note only that possible dryland farming might have taken place in the crater; there are also stories of human burials in the crater walls and human sacrifices on the interior crater slopes. These historically referenced possibilities for cultural remains were checked during field survey, with no evidence for any such remains found. No other cultural remains that pre-date the military period were discovered.

One heiau is said to have been located on the summit of the crater, although the information source for this is ambiguous. Of the numerous other religious sites identified in the Waikīkī region, the closest sites to the State monument were on the lower exterior flanks of the crater, outside of the monument boundaries. The reconstructed distribution of Waikīkī heiau indicates a clear focus toward the Waikīkī plain of heiau associated with the high chiefs (e.g., Papa'ena'ena Heiau on the prominent overlook below Diamond Head and 'Āpuakēhau Heiau in the middle of the chiefly residential area along the beach); fishing heiau, on the other hand, are on the low cliffs overlooking the ocean on the south side of the crater, once noted as a famous fishing grounds (Clark 1977). As in pre-military historic times, Diamond Head seems to have been the background to, rather than the stage upon which, events took place.

There is a slight possibility for buried cultural deposits, particularly in areas that have not been extensively graded or excavated (e.g., southwestern slopes and the upper gullies in the northwestern portions of the interior crater).

For the *Diamond Head State Monument Master Plan Update Final EIS* (2000), Dr. George Kanahale analyzed the cultural practices and features (including traditional and customary gathering rights of native Hawaiians, legends, oral histories, heiau and shrines) associated with Diamond Head. Dr. Kanahale wrote the following:

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*"It seems clear to me that from a Hawaiian cultural point of view, Diamond Head's importance is mythological, i.e., rooted in Pele. It was kapu. The most kapu place was the crater or pit (or lua as luakini), where Pele resided. Hence, no Hawaiian would think of living, working, or even visiting there, just as no Hawaiian would think of living, working, or visiting a leina a ka uhane (leaping off place). This explains why no evidence of pre-Cook human habitation has been found in the crater. Besides, what thinking Hawaiian would want to live or work in that inaccessible and harsh environment.*

*We can safely conclude that the kapu on Diamond Head and the crater was broken years ago, when Papa'ena'ena heiau lost its mana and when people ceased to worship there (unlike Halemaumau where Hawaiian practitioners still worship and conduct ceremonies and rituals).*

*In any case, the crater's importance, then, would be in its geological and botanical environment. In other words, the Hawaiian cultural importance of Diamond Head is to be found on its flanks rather than the crater."*

**Military Sites:** Virtually all sites surveyed at Diamond Head are related to the development of Fort Ruger as part of the coastal defenses of O'ahu, which clearly stands as the most significant recorded historical event in the history of Diamond Head. The sites range from massive reinforced concrete batteries to reservoirs to soil-bermed firing ranges, and they date from 1909 to the 1950s. The essential components of the coastal defense complex of Fort Ruger are located within the State monument boundaries. The four batteries are Harlow, Hulings, Dodge and Birkhimer and they represent three main periods of defense development: Battery Harlow was the original coastal defense facility and the other three batteries were built as part of a subsequent land defense network; Battery Birkhimer was remodeled in 1920-21 and reflects the changing orientation in defensive strategy given post-World War I changes in armament technology. The Lē'ahi Fire Control Station was built in support of Battery Harlow (as well as batteries at Fort DeRussy) and is particularly significant as an unusually complex example of fire control buildings. The other sites include other fire control stations, searchlight housings, observation points, magazine tunnels and gun emplacements.

Portions of the Diamond Head State Monument are identified as being located within the Fort Ruger Historic District, which is listed on the National Register of Historic Places (NRHP). However, the Cannon Club site is not part of this Historic District.

**Cannon Club:** The project site, known as the Cannon Club, served as the Officers' club for Fort Ruger Army Installation. The entire installation dates back to 1906. The Cannon Club and grounds consisted of nine buildings, none of which are still standing. Inside the main Officers' club building was a kitchen, dining room and dance floor. Next to this building to the west was a gazebo with an adjacent sundeck to the north. These buildings

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no longer remain, and were lost to a fire in September 2003. The six officers' quarters were located north of the main building, and the guard shack was situated at the entrance of the road that led to the club.

In late 1970, Building 102 (former officers' quarters) was removed, and the remaining five officers' quarters (Buildings 103, 105, 106, 107 and 108) were removed in 1976. The guard shack was removed between 1974 and 1984.

The club was officially closed in 1997. Ownership was transferred from the U.S. Army to the State of Hawai'i, DLNR on March 31, 2001. The University of Hawai'i KCC began a 65-year lease on the property in September 2004.

Based on a September 18, 1997 site reconnaissance by Peter Yuh, Jr., National Environmental Policy Act Coordinator and Directorate of Public Works, although the project site has facilities that are over 50 years old, they have not been determined to be of historical significance.

***Potential Impacts and Mitigation Measures***

The Cannon Club site does not fall within the Fort Ruger Historic District. In a letter dated December 26, 2006, the State Historic Preservation Division (SHPD) commented that the project would have no adverse effect, thus satisfying the National Historic Preservation Act's requirements for historic review for architectural and archaeological resources.

In response to comments received from the Office of Hawaiian Affairs during the pre-consultation process, should iwi kupuna or Native Hawaiian cultural or traditional deposits be found during ground disturbance or excavation, work will cease, and the appropriate agencies will be contacted pursuant to applicable law. In addition, local cultural practitioners are consulted regularly to discuss impacts of the proposed project on Diamond Head Crater. Those consulted include: Al Barcarse, Kauka DeSilva, Kahuna RMK Freitas, Charles Heen, Keola Lindsey, Kai Marcel, Kawika Napoleon, Oswald Stender, Ramsay Taum and Palakiko Yagodich. Copies of the meeting minutes from the KCC's native Hawaiian Cultural Advisory Committee for this project are attached to this Final EA as Appendix L.

During the Draft EA public review period, the Office of Hawaiian Affairs commented that "no Cultural Impact Assessment was prepared for this project, as required by Act 50, Session of Laws of Hawai'i (2000), which incorporated that requirement into Chapter 343 of the Hawaii Revised Statutes. There is only a brief note in the Draft EA that references some consultation and a quotation from the Update Master Plan." It is KCC's interpretation of subsection 11-200-13, HAR, that it is allowed to "... incorporate by reference, in whole or part... previously accepted statements." As the Diamond Head State Monument Master Plan Final EIS was accepted, we reproduced the cultural

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assessment made by the late George Kanahale on page 69 of the DHSM Final EIS on pages 50 and 51 of the Draft EA. KCC has appended copies of the meeting minutes from the KCC's native Hawaiian Cultural Advisory Committee for this project in Appendix L. KCC believes that this should address concerns about possible impacts from the project on any important cultural resources, as well the exercise of any native Hawaiian cultural practices on the site.

Despite the unlikelihood of finding archaeological resources, all construction plans will include the following language as normally recommended by the State Historic Preservation Division: "Should historic remains such as artifacts, burials, concentrations of shell or charcoal be encountered during the construction activities, work shall cease immediately in the immediate vicinity of the find and the find shall be protected from further damage. The contractor shall immediately contact the State Historic Preservation Division, which will assess the significance of the find and recommend an appropriate mitigation measure, if necessary."

### **III.D. VISUAL RESOURCES AND OPEN SPACE**

Diamond Head is a prominent national natural landmark, state monument, and scenic district that can be viewed from the sea, from the air and from much of urban Honolulu (see Figure 1). The crater is also known as Lē'ahi, its Hawaiian name. The most familiar profile of Diamond Head is from the west and northwest and is known worldwide. Views from the east, north and south provide different, but no less distinctive profiles, recognized by residents and even by many visitors.

From outside the Crater, the City & County of Honolulu Coastal View Study, 1987 designates Diamond Head within the "South Shore Viewshed" and as an "Important Coastal Land Form."

According to Sec. 21-9.40-1 of the City & County of Honolulu Land Use Ordinance, the objectives of the Diamond Head special district are: (a) to preserve existing prominent public views and the natural appearance of Diamond Head by modifying construction projects that would diminish these resources, (b) to preserve and enhance the park-like character of the immediate slopes of the Diamond Head monument, which includes Kapi'olani Park.

Sec. 21-9.40-3 of the Land Use Ordinance identifies the following prominent public vantage points.

*The prominent public vantage points from which significant public views of Diamond Head exist are the following:*

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**(a) Public Streets.**

- (1) *Ala Wai Boulevard from McCully Street to Kapahulu Avenue.*
- (2) *Paki Avenue from Kapahulu Avenue to Diamond Head Road.*
- (3) *Diamond Head Road.*
- (4) *Date Street from the Manoa-Palolo Drainage Canal to Kapahulu Avenue.*
- (5) *Campbell Avenue from Kapahulu Avenue to Monsarrat Avenue.*
- (6) *Kalakaua Avenue from Kapahulu Avenue to Coconut Avenue.*
- (7) *Kapahulu Avenue in the vicinity of the intersection of Date Street and Campbell Avenue.*
- (8) *Monsarrat Avenue.*
- (9) *12th Avenue from Maunaloa Avenue to Alohea Avenue.*
- (10) *18th Avenue from Kilauea Avenue to Diamond Head Road.*
- (11) *Kilauea Avenue from Elepaio Street to 12th Avenue.*

**(b) Public Viewing Sites.**

- (1) *Ala Moana Beach, including Magic Island.*
- (2) *The beaches extending from the Ala Wai Yacht Harbor to Sans Souci Beach.*
- (3) *Kapiolani Park.*
- (4) *Honolulu Zoo.*
- (5) *Ala Wai Golf Course.*
- (6) *Ala Wai Park.*
- (7) *Kapaolono Field.*
- (8) *Fort Ruger Park (Kahala Triangle Park).*
- (9) *Ala Wai Elementary School.*
- (10) *Jefferson Elementary School.*
- (11) *Waikiki Elementary School.*
- (12) *Kilauea Playground.*
- (13) *Kaimuki Intermediate School.*
- (14) *H-1 Freeway near the Kapahulu Avenue overpass.*
- (15) *Punchbowl lookouts.*
- (16) *Puu Ualakaa State Park lookout.*

**Potential Impacts and Mitigation Measures**

The visual impact of Diamond Head State Monument as a natural landmark has remained important to many as urban Honolulu has developed around the Crater. The exterior visual impact of Diamond Head as a "Registered Natural Landmark" (Department of the Interior, 1968) has been kept intact through City & County of Honolulu Ordinances and the DLNR's efforts to preserve the natural beauty of this world renown cinder cone.

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The proposed project will be designed, to the extent possible, to minimize the appearance of the facility from public streets and public viewing sites. The proposed use was contemplated in the *Diamond State Monument Master Plan Update* and will be designed to incorporate existing and future trees in order to enhance the park-like character of the Diamond Head State Monument.

A Visual Impact Analysis was conducted by PBR Hawaii, and is included as Appendix J. Results of the analysis, indicate that the project will be mostly unnoticeable with the naked eye from the “prominent public vantage points” of concern listed in the Diamond Head Special district Ordinance. The proposed project will likely be most visible from portions of Diamond Head Road fronting the property, where not screened by existing trees. Although the project site may be visible from portions of Punchbowl, Tantalus and Maunalani Heights, the project will not obstruct views of the Diamond Head Crater rim as the height of the top of the facility is 177 feet above mean sea level (MSL), and the crater rim directly above the CIP is approximately 425 feet above MSL according to the City & County of Honolulu’s Department of Planning and Permitting’s GIS Map.

Visual impacts will be mitigated as the proposed CIP facility will be designed to complement the topography of the project site. The building will be a maximum of 25 feet above grade per the LUO Diamond Head Special Design District requirements. The color, texture and tone will be subdued in nature to minimize reflectivity from distant vantage points. Landscaping will consist of native and Polynesian species and complement existing vegetation within the DHSM.

### **III.E. HYDROLOGY**

#### **III.E.1. Surface Water**

The source of surface water in the area is precipitation. Though relatively dry, this area may receive heavy rains during a winter storm.

Drainage is along radial lines in the narrow, steep-sided ravines. No streams flow, except for brief periods following heavy rains.

#### ***Potential Impacts and Mitigation Measures***

The project is expected to have minimal impact on the surface water in the area. During the Draft EA public review period, the Department of the Army, Regulatory Branch noted that the subject property consists entirely of uplands and is absent of waters of the U.S.

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### **III.E.2. Groundwater**

The project site is situated on the Honolulu Aquifer, which is comprised of upper and lower aquifer types. The upper aquifer is classified as unconfined, basal and sedimentary. There is a moderate to high saline potential groundwater source that is replaceable and has a high vulnerability to contamination. The lower aquifer is confined, basal and flank, and is listed as an irreplaceable, currently used, fresh drinking water source with a low vulnerability to contamination (Mink & Lau 1990). Groundwater on this site generally flows north-northwest. The project site is makai, or down-gradient, of the State of Hawai'i, Underground Injection Control Line (UIC). The closest drinking water well is located approximately 2,900 feet west of the project site.

#### ***Potential Impacts and Mitigation Measures***

The project is expected to have minimal impacts on the underlying groundwater system.

Construction activity is not anticipated to have impacts on surface water resources and groundwater quality resulting from silt runoff. Contractors will minimize runoff by implementing best management practices (BMP). Appropriate BMPs would be incorporated into design plans to address potential short-term impacts from runoff. These plans would have to be reviewed and approved prior to obtaining a NPDES permit.

### **III.F. SITE MAPS**

Figures 1 and 3 include location and preliminary site maps.

# SECTION IV

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## PROJECT IMPACTS

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## **IV. PROJECT IMPACTS**

This section identifies the impacts of the project relative to the Hawai'i Coastal Zone Management (CZM) objectives and policies (Section 205A-2, HRS) and the Special Management Area guidelines (Section 25-3.2, ROH).

The entire project site is located within the SMA as shown in Figure 4. According to Section 25-3.1, ROH, the objectives and policies of the Special Management Area are the same as the objectives and policies of the CZM Program (Section 205A-2, HRS). A discussion of the CZM Program objectives and policies as they apply to this project are presented below:

**Recreational Resources:** *Provide coastal recreational opportunities accessible to the public.*

- (A) Improve coordination and funding of coastal recreational planning and management;*
- (B) Provide adequate, accessible, and diverse recreational opportunities in the coastal zone management area by:*
  - (i) Protecting coastal resources uniquely suited for recreational activities that cannot be provided in other areas;*
  - (ii) Requiring replacement of coastal resources having significant recreational value including, but not limited to, surfing sites, fishponds, and sand beaches, when such resources will be unavoidably damaged by development; or requiring reasonable monetary compensation to the State for recreation when replacement is not feasible or desirable;*
  - (iii) Providing and managing adequate public access, consistent with conservation of natural resources, to and along shorelines with recreational value;*
  - (iv) Providing an adequate supply of shoreline parks and other recreational facilities suitable for public recreation;*
  - (v) Ensuring public recreational uses of county, state, and federally owned or controlled shoreline lands and waters having recreational value consistent with public safety standards and conservation of natural resources;*
  - (vi) Adopting water quality standards and regulating point and nonpoint sources of pollution to protect, and where feasible, restore the recreational value of coastal waters;*
  - (vii) Developing new shoreline recreational opportunities, where appropriate, such as artificial lagoons, artificial beaches, and artificial reefs for surfing and fishing; and*
  - (viii) Encouraging reasonable dedication of shoreline areas with recreational value for public use as part of discretionary approvals or permits by the land use commission, board of land and natural resources, and county authorities; and crediting such dedication against the requirements of section 46-6, HRS.*

**Discussion:** The project is anticipated to have no adverse impacts on coastal recreational opportunities accessible to the public. The project site is located on the northern slope of Diamond Head, and is not adjacent to the coastline.

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**Historic resources:** *Protect, preserve, and, where desirable, restore those natural and manmade historic and prehistoric resources in the coastal zone management area that are significant in Hawaiian and American history and culture.*

- (A) Identify and analyze significant archaeological resources;*
- (B) Maximize information retention through preservation of remains and artifacts or salvage operations; and*
- (C) Support state goals for protection, restoration, interpretation, and display of historic resources.*

**Discussion:** It is not anticipated that any archaeological remains will be discovered on the site since areas of work are within zones of previous cut or fill. In a letter dated December 26, 2006, the State Historic Preservation Division commented that the project would have no adverse effect (see Appendix A).

Despite the unlikelihood of finding archaeological resources, all construction plans will include the following language as normally recommended by the State Historic Preservation Division: "Should historic remains such as artifacts, burials, concentrations of shell or charcoal be encountered during the construction activities, work shall cease immediately in the immediate vicinity of the find and the find shall be protected from further damage. The contractor shall immediately contact the State Historic Preservation Division, which will assess the significance of the find and recommend an appropriate mitigation measure, if necessary."

**Scenic and open space resources:** *Protect, preserve, and, where desirable, restore or improve the quality of coastal scenic and open space resources.*

- (A) Identify valued scenic resources in the coastal zone management area;*
- (B) Ensure that new developments are compatible with their visual environment by designing and locating such developments to minimize the alteration of natural landforms and existing public views to and along the shoreline;*
- (C) Preserve, maintain, and, where desirable, improve and restore shoreline open space and scenic resources; and*
- (D) Encourage those developments that are not coastal dependent to locate in inland areas.*

**Discussion:** A Revised Visual Impact Analysis was conducted by PBR Hawaii, and is included as Appendix J. Results of the analysis, indicate that although the project will be visible from portions of Diamond Head Road, visual impacts will be mitigated as the proposed CIP facility will be designed to complement the topography of the project site. The building will be constructed no higher than 25 feet above grade per LUO Diamond Head Special Design District requirements. The building colors and forms will not detract from the natural surroundings. Landscaping will consist of native and Polynesian species, and complement existing vegetation within the DHSM.

**Coastal ecosystems:** *Protect valuable coastal ecosystems, including reefs, from disruption and minimize adverse impacts on all coastal ecosystems.*

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- (A) *Exercise an overall conservation ethic, and practice stewardship in the protection, use, and development of marine and coastal resources;*
- (B) *Improve the technical basis for natural resource management;*
- (C) *Preserve valuable coastal ecosystems, including reefs, of significant biological or economic importance;*
- (D) *Minimize disruption or degradation of coastal water ecosystems by effective regulation of stream diversions, channelization, and similar land and water uses, recognizing competing water needs; and*
- (E) *Promote water quantity and quality planning and management practices that reflect the tolerance of fresh water and marine ecosystems and maintain and enhance water quality through the development and implementation of point and nonpoint source water pollution control measures.*

**Discussion:** The approximate distance between the project site and the nearest shoreline area is approximately 5,000 feet. The project is not expected to have an effect on coastal ecosystems. The project site is located on the northern slope of Diamond Head, and is not adjacent to the coastline. Impacts to water quality that could occur during construction would be mitigated by applying appropriate Best Management Practices, such as minimizing open grading activities, grassing or paving exposed areas as soon as practicable, and structural controls such as silt fences or temporary berms. A NPDES permit will be obtained prior to construction.

**Economic uses:** *Provide public or private facilities and improvements important to the State's economy in suitable locations.*

- (A) *Concentrate coastal dependent development in appropriate areas;*
- (B) *Ensure that coastal dependent development such as harbors and ports, and coastal related development such as visitor industry facilities and energy generating facilities, are located, designed, and constructed to minimize adverse social, visual, and environmental impacts in the coastal zone management area; and*
- (C) *Direct the location and expansion of coastal dependent developments to areas presently designated and used for such developments and permit reasonable long-term growth at such areas, and permit coastal dependent development outside of presently designated areas when:*
  - (i) *Use of presently designated locations is not feasible;*
  - (ii) *Adverse environmental effects are minimized; and*
  - (iii) *The development is important to the State's economy.*

**Discussion:** The Cannon Club property is located adjacent to Kapi'olani Community College. Therefore, the project site is desirable as it enables KCC to expand its current curriculum to go beyond the two-year programs offered at the community colleges in culinary arts. In addition, the site was previously developed and was well-known as a site for dining.

**Coastal hazards:** *Reduce hazard to life and property from tsunami, storm waves, stream flooding, erosion, subsidence, and pollution.*

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- (A) Develop and communicate adequate information about storm wave, tsunami, flood, erosion, subsidence, and point and nonpoint source pollution hazards;*
- (B) Control development in areas subject to storm wave, tsunami, flood, erosion, hurricane, wind, subsidence, and point and nonpoint source pollution hazards;*
- (C) Ensure that developments comply with requirements of the Federal Flood Insurance Program; and*
- (D) Prevent coastal flooding from inland projects.*

**Discussion:** Because Diamond Head Crater separates the project site from the coastline and ocean, the project is not anticipated to be affected by coastal hazards, such as tsunami, storm waves, stream flooding, subsidence or pollution. Construction activities will follow strict erosion control measures specified by applicable Federal, State, and City regulations. Prior to issuing a grading permit, an erosion control plan and Best Management Practices required for the NPDES permit will be submitted describing the implementation of appropriate erosion control measures. These generally include the use of cut-off ditches, temporary groundcover and use of detention areas.

**Managing development:** *Improve the development review process, communication, and public participation in the management of coastal resources and hazards.*

- (A) Use, implement, and enforce existing law effectively to the maximum extent possible in managing present and future coastal zone development;*
- (B) Facilitate timely processing of applications for development permits and resolve overlapping or conflicting permit requirements; and*
- (C) Communicate the potential short and long-term impacts of proposed significant coastal developments early in their life cycle and in terms understandable to the public to facilitate public participation in the planning and review process.*

**Discussion:** Government agencies and the general public are being notified of this project, and will be given opportunity to comment on the project through this environmental review process. The SMA Use Permit process also provides opportunity for agency and public input.

**Public participation:** *Stimulate public awareness, education, and participation in coastal management.*

- (A) Promote public involvement in coastal zone management processes;*
- (B) Disseminate information on coastal management issues by means of educational materials, published reports, staff contact, and public workshops for persons and organizations concerned with coastal issues, developments, and government activities; and*
- (C) Organize workshops, policy dialogues, and site-specific mediations to respond to coastal issues and conflicts.*

**Discussion:** Government agencies and the general public are being notified of this project, and will be given opportunity to comment on the project through this environmental review process. The SMA Use Permit process also provides opportunity for agency and

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public input. The local media has also provided extensive coverage of the proposed project.

**Beach protection:** *Protect beaches for public use and recreation.*

- (A) *Locate new structures inland from the shoreline setback to conserve open space, minimize interference with natural shoreline processes, and minimize loss of improvements due to erosion;*
- (B) *Prohibit construction of private erosion-protection structures seaward of the shoreline, except when they result in improved aesthetic and engineering solutions to erosion at the sites and do not interfere with existing recreational and waterline activities; and*
- (C) *Minimize the construction of public erosion-protection structures seaward of the shoreline.*

**Discussion:** The project is not located on the coastline, and therefore, will not involve construction in the shoreline setback or of erosion-protection structures seaward of the shoreline. The project will not affect beaches or coastal recreational opportunities available to the public.

**Marine resources:** *Promote the protection, use, and development of marine and coastal resources to assure their sustainability.*

- (A) *Ensure that the use and development of marine and coastal resources are ecologically and environmentally sound and economically beneficial;*
- (B) *Coordinate the management of marine and coastal resources and activities to improve effectiveness and efficiency;*
- (C) *Assert and articulate the interests of the State as a partner with federal agencies in the sound management of ocean resources within the United States exclusive economic zone;*
- (D) *Promote research, study, and understanding of ocean processes, marine life, and other ocean resources in order to acquire and inventory information necessary to understand how ocean development activities relate to and impact upon ocean and coastal resources; and*
- (E) *Encourage research and development of new, innovative technologies for exploring, using, or protecting marine and coastal resources.*

**Discussion:** The project will not impact marine or coastal resources. Impacts to water quality that may occur during construction will be mitigated by applying appropriate Best Management Practices, such as minimizing open grading activities, grassing or paving exposed areas as soon as practicable, and structural controls such as silt fences or temporary berms. A NPDES permit will be obtained prior to construction.

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# SECTION V

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## MITIGATION MEASURES

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## **V. MITIGATION MEASURES**

The proposed project will generate short-term, construction-related impacts to the existing ambient noise conditions, but otherwise, many other construction-related impacts such as soil erosion, can be mitigated through reducing the exposure of exposed soils to the forces of wind and storm runoff. The following is a summary of the proposed measures to mitigate anticipated impacts from the project.

### **CONSTRUCTION-RELATED IMPACTS**

**Soil Erosion.** Due to the overgrown vegetation on some of the previously developed and undeveloped portions of the project site, portions of the property will have to be cleared and grubbed prior to construction. KCC's intent is to preserve as much of the site as possible, thus, to the extent practicable, native vegetation will be retained. During the construction phase, there is a potential for the generation of dust and for water-borne soil erosion. As such, construction activities will follow strict erosion control measures specified by applicable governmental regulations. Prior to issuing a grading permit, an erosion control plan and Best Management Practices required for the NPDES permit will be submitted describing the implementation of appropriate erosion control measures.

In addition, a watering program will be implemented to minimize soil loss through fugitive dust emissions during construction. Other control measures include cleaning of construction equipment on the jobsite and establishment of groundcover as quickly as possible after clearing and grading.

**Noise.** Short-term noise impacts to the acoustical environment will occur during construction of the proposed CIP. Project construction will occur during daylight hours when the majority of area residents are either at work or school. All project activities will be monitored to ensure compliance with the State Department of Health Administrative Rules, Chapter 11-46, "Community Noise Control."

**Traffic.** During construction, there will be heavy equipment traveling on area roads to and from the construction site. Some slower-moving equipment will stay on site (during the construction period), but other equipment/vehicles will be either hauling debris from grading and construction waste from the site, while other construction vehicles will be hauling construction materials to the site. Of course, construction workers will commute to the site daily, either by privately-owned vehicles or by riding TheBus. It is expected that the contractor(s) will either use signalman or off-duty police to ensure safe ingress/egress of the larger construction vehicles onto Diamond Head Road.

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**OPERATIONAL-RELATED IMPACTS**

**Traffic.** Overall the future roadway network is projected to operate at essentially the same acceptable level of service as the existing conditions, with the construction of the proposed CIP. Certain areas would continue to experience periods of heightened delays and/or queuing, but would generally operate at what the traffic engineering consultant considers is a satisfactory level of service.

**Noise.** Long-term noise impacts will result from traffic and noise conditions associated with the proposed CIP. The facility will be mostly enclosed, minimizing noise impacts from various activities taking place in the CIP. However, mitigative measures including concentrated landscaping along the boundaries shared by abutting residences will be implemented.

**Energy/Resource Consumption.** The proposed CIP will increase the demand on energy and resource consumption. As such, the University of Hawai'i strives to achieve a LEED NC silver standard for the proposed CIP based on the LEED NC v2.2 rating system. The project will attempt to utilize numerous LEED standards in its design and operations, such as for site landscaping and energy and water conservation measures. Other LEED opportunities include the possible implementation of green roof strategies to reduce rain water runoff, heat gain to structures and enhance overall efficiency of building systems, and potentially implementing vertical landscape screening elements such as green wall panels to reduce heat gain to building interiors.

**Drainage.** Mitigative measures to address drainage-related issues include the increased capacity to retain runoff from a storm having an intensity up to 1.0 in/hr. The collected ground-level stormwater will be allowed to percolate into the ground. And if necessary, perforated drain pipes will be installed below ground. In addition, a NPDES will be submitted with an erosion control plan and Best Management Practices describing the implementation of appropriate erosion control measures which include the use of cut-off ditches, temporary groundcover and use of detention areas.

# SECTION VI

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## RELATIONSHIP TO LAND USE PLANS AND POLICIES

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## **VI. RELATIONSHIP TO LAND USE PLANS AND POLICIES**

### **VI.A. FEDERAL**

#### **VI.A.1. Environmental and Historic Preservation Laws**

##### **VI.A.1.a. Clean Air Act**

The Clean Air Act (CAA), 1990 as amended, requires federal agencies to assess the impact that projects will have on air quality and to take actions to prevent air quality degradation. The CAA requires that actions be consistent with the protection and enhancement of the nation's air resources, and as such, federal agencies are responsible for (a) ensuring state and local policies are followed for debris burning, equipment exhaust, and construction dust; and (b) considering possible new traffic patterns.

In general, air quality within the State of Hawai'i is excellent due to the predominant northeast trade winds. According to the U.S. Environmental Protection Agency, there are no "non-attainment" sites in Hawai'i (see Section II.D.6. and Figure 13). A non-attainment area is defined as a locality where air pollution levels persistently exceed National Ambient Air Quality Standards.

##### **VI.A.1.b. Resource Conservation and Recovery Act**

The Resource Conservation and Recovery Act (RCRA) of 1976 requires federal agencies to assess the impact that debris, debris removal, hazardous wastes and hazardous waste clean-up projects will have on air and water quality and take actions to prevent degradation. The RCRA requires the safe disposal of waste materials, promotes the recycling of waste material, and encourages cooperation with State and City agencies. As part of its effort to achieve LEED certification, the facility will include recycling facilities.

##### **VI.A.1.c. Clean Water Act/Rivers and Harbors Act**

The Rivers and Harbors Act of 1899 establishes permitting requirements to projects that require construction, excavation or deposition of materials in, over, or under navigable waters of the United States, or any work which would affect the course, location, condition, or capacity of those waters. The Clean Water Act, as amended in 1972, requires the Secretary of the Army to assess permits that cover the discharge of dredged or fill material into waters of the United States.

The project is not located within or adjacent to any navigable water of the United States, therefore, the proposed project will have no impact and no mitigation measures are necessary. During the Draft EA public review period, the Department of the Army,

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Regulatory Branch noted that it “is anticipated that proposed activities will not involve the discharge of dredged or fill material into waters of the U.S. Based on this understanding, a DA permit will not be required.”

**VI.A.1.d. Coastal Zone Management Act**

The Coastal Zone Management Act (CZMA) encourages the management of coastal zone areas and provides grants to be used in maintaining coastal zone areas. The CZMA defines a coastal zone as coastal waters extending to the outer limit of state submerged land title and ownership, adjacent shorelines and land extending inward to the extent necessary to control shorelines. A coastal zone includes islands, beaches, transitional and intertidal areas, and salt marshes. The CZMA requires that states develop a State Coastal Zone Management Plan or program and that any federal agency conducting or support activities affecting the coastal zone conduct or support those activities in a manner consistent with the approved state plan or program. In compliance with the CZMA, the State of Hawai'i has developed a Coastal Zone Management (CZM) Program (Section 205A-2, Hawaii Revised Statutes) to protect and maintain valuable coastal resources and the establishment of Special Management Areas (SMA) to protect lands adjacent to the shoreline.

All lands in the State of Hawai'i are within the CZMA. As such, the project complies with the criteria of general consistency certification by the Hawaii Coastal Zone Management program. According to the City's Department of Planning and Permitting, the project is located within the SMA, therefore, SMA permit guidelines have been included in this document. A discussion of the CZM Program objectives applicable to the project is included in Section IV.

**VI.A.1.e. Coastal Barriers Resources Act**

The Coastal Barrier Resources Act (CBRA) of 1982, designates various undeveloped coastal barrier islands for inclusion in the Coastal Barrier Resources System. According to a review of one of the U.S. Fish and Wildlife Service websites, there does not appear to be a “coastal barrier” in the State of Hawai'i. As such, there are no anticipated compliance requirements under the Coastal Barriers Resources Act for the proposed project.

**VI.A.1.f. Wild and Scenic Rivers Act**

The Wild and Scenic Rivers Act of 1968, establishes a National Wild and Scenic Rivers System (NWSRS) and prescribes standards through which additional rivers may be identified and added to the system. The State of Hawai'i has no rivers designated for inclusion in the NWSRS. As such, there are no anticipated compliance requirements under the Wild and Scenic Rivers Act for the proposed project.

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**VI.A.1.g. Endangered Species Act**

The Endangered Species Act (ESA) ensures that federal agencies use their authorities to protect and conserve endangered and threatened species. As discussed in Section III.B.1., there are no known threatened or endangered species on or in the immediate vicinity of the project site, and as such, there are no anticipated compliance requirements under the Endangered Species Act for the proposed development (see Figure 14).

**VI.A.1.h. Fish and Wildlife Coordination Act**

The Fish and Wildlife Coordination Act (FWCA), as amended in 1964, was enacted to protect fish and wildlife when federal actions result in the control or modification of a natural stream or body of water. To comply with the requirements laid out in the FWCA, federal agencies must determine whether a proposed activity will result in the control or modification of a body of water. Typical actions that would fall under the jurisdiction of the FWCA include:

- discharges of pollutants, including industrial, mining, and municipal wastes or dredged and fill material into a body of water or wetlands; and
- projects involving construction of dams, levees, impoundments, stream relocation and water-diversion structures.

The proposed project will not result in the control or modification of a body of water, and as such, there are no anticipated compliance requirements under the Fish and Wildlife Coordination Act for the proposed project.

**VI.A.1.i. Wetlands Executive Order (E.O. 11990)**

The purpose of Executive Order 11990 is to “minimize the destruction, loss or degradation of wetlands and to preserve and enhance the natural and beneficial values of wetlands.” The order requires federal agencies, in planning their actions, to consider alternatives to wetland sites and limit potential damage if an activity affecting a wetland cannot be avoided. The order applies to:

- acquisition, management, and disposition of federal lands and facilities construction and improvement projects which are undertaken, financed or assisted by federal agencies;
- Federal activities and programs affecting land use, including but not limited to water and related land resources planning, regulation and licensing activities.

During the public review period, the U.S. Army Engineer District, Honolulu wrote stating that the subject property consists entirely of uplands and is absent of waters of the U.S. The letter also noted that the proposed activities will not involve the discharge of dredged

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or fill material into waters of the U.S. and that a Department of the Army (DA) permit will not be required. The project site is not located within or adjacent to a wetland by the U.S. Fish and Wildlife Service, and as such, there are no anticipated compliance requirements under the Wetlands Executive Order for the proposed project (see Section III.B.2. and Figure 15).

**VI.A.1.j. Environmental Justice Executive Order (E.O. 12898)**

Executive Order 12898 directs federal agencies to make achieving environmental justice part of its mission by identifying and addressing, as appropriate, disproportionately high adverse human health or environmental effects of its activities on minority and low-income populations. The order requires that federal agencies make achieving environmental justice part of its mission by identifying and addressing, as appropriate, disproportionately high and adverse human health, environmental, economic and social effects of its programs, policies, and activities on minority and low-income populations, particularly when such analysis is required by NEPA.

An assessment of possible adverse impacts resulting from the proposed development indicates that there are no disproportionate negative impacts toward minority and low-income populations. As noted in Section II.C.2.a., the neighborhood in which the proposed project is located would not likely be characterized as a minority or low income population. As such, there are no anticipated compliance requirements under the Environmental Justice Executive Order for the proposed project.

**VI.B. STATE OF HAWAII'**

**VI.B.1. Hawaii'i State Plan**

The Hawaii'i State Plan (Chapter 226, HRS), establishes a set of goals, objectives and policies that serve as long-range guidelines for the growth and development of the State. The sections of the Hawaii'i State Plan directly applicable to the project, along with a discussion of how the project conforms to the State Plan are included below.

**§226-8. Objective and policies for the economy--visitor industry.**

(5) *Develop the industry in a manner that will continue to provide new job opportunities and steady employment for Hawaii's people.*

(6) *Provide opportunities for Hawaii's people to obtain job training and education that will allow for upward mobility within the visitor industry.*

**Discussion:** The Culinary Institute of the Pacific at Diamond Head will provide numerous job opportunities for Hawaii'i residents, such as short-term construction-related jobs and permanent long-term operational jobs in education, administration and maintenance. In addition, the Culinary Institute of the Pacific will provide advanced programs for students

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to obtain the job training and higher education to allow upward mobility within the visitor industry, specifically the food and beverage sector.

**§226-10.** *Objective and policies for the economy--potential growth activities.*

- (3) *Enhance and promote Hawaii's role as a center for international relations, trade, finance, services, technology, education, culture, and the arts.*

**Discussion:** The proposed CIP will enhance Hawai'i's role in developing the Asian Pacific cuisine enjoyed worldwide and by visitors to Hawai'i. A successful CIP will also promote the University of Hawai'i's reputation in the travel and hospitality industry. In addition, the project will afford students an opportunity to acquire enhanced training skills resulting in improved employment opportunities upon graduation.

**§226-21.** *Objective and policies for socio-cultural advancement--education.*

- (2) *Ensure the provision of adequate and accessible educational services and facilities that are designed to meet individual and community needs.*
- (3) *Provide appropriate educational opportunities for groups with special needs.*
- (5) *Provide higher educational opportunities that enable Hawaii's people to adapt to changing employment demands.*
- (8) *Emphasize quality educational programs in Hawaii's institutions to promote academic excellence.*

**Discussion:** Providing a culinary program with world-class state-of-art facilities will provide graduates with similar educational credentials to other well-known schools such as the Culinary Institute of America.

## **VI.C. CITY & COUNTY OF HONOLULU**

### **VI.C.1. General Plan**

As required by the City Charter, the General Plan for the City & County of Honolulu serves two purposes. The first is a statement of the long-range social, economic, environmental and design objectives for the welfare and prosperity of the people of O'ahu. Second, the General Plan is a statement of broad policies that facilitate the attainment of the objectives of the plan.

Objectives and policies of the General Plan appropriate to Diamond Head are as follows:

#### **ECONOMIC ACTIVITY**

**Objective A.** *To promote employment opportunities that will enable all the people of Oahu to attain a decent standard of living.*

- Policy 1.** *Encourage the growth and diversification of Oahu's economic base.*

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**Policy 2.** *Encourage the development of small businesses and larger industries which will contribute to the economic and social well-being of Oahu residents.*

**Policy 3.** *Encourage the development in appropriate locations on Oahu of trade, communications, and other industries of a nonpolluting nature.*

**Policy 4.** *Encourage the development of local, national, and world markets for the products of Oahu-based industries.*

**Objective E.** *To prevent the occurrence of large scale unemployment.*

**Policy 1.** *Encourage the training and employment of present residents for currently available and future jobs.*

**Policy 2.** *Make full use of State and Federal employment and training programs.*

**Policy 3.** *Encourage the provision of retraining programs for workers in industries with planned reductions in their labor force.*

**Objective F.** *To increase the amount of Federal spending on Oahu.*

**Policy 1.** *Take full advantage of Federal programs and grants which will contribute to the economic and social well-being of Oahu's residents.*

**Discussion:** The Culinary Institute of the Pacific would be consistent with these policies and objectives since it would provide students with skills in the food and beverage, and visitor industry. The project would promote employment opportunities that would enable people to attain a decent standard of living and skills transferable to any job where food and beverage is involved and/or to locations worldwide. The project will also encourage the training and employment of residents for future jobs in the Primary Urban Center and elsewhere.

## **ENERGY**

**Objective C.** *To fully utilize proven alternative sources of energy.*

**Policy 1.** *Encourage the use of commercially available solar energy systems in public facilities, institutions, residences, and business developments.*

**Discussion:** The project will be designed to use alternative sources of energy where applicable, especially since it is trying to achieve LEED NC Silver rating.

## **PHYSICAL DEVELOPMENT AND URBAN DESIGN**

**Objective A.** *To coordinate changes in the physical environment of Oahu to ensure that all new developments are timely, well-designed, and appropriate for the areas in which they will be located.*

**Policy 1.** *Plan for the construction of new public facilities and utilities in the various parts of the Island according to the following order of priority: first, in the primary urban center; second, in the secondary urban center at Kapolei; and third, in the urban- fringe and rural areas.*

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**Policy 5.** *Provide for more compact development and intensive use of urban lands where compatible with the physical and social character of existing communities.*

**Policy 8.** *Locate community facilities on sites that will be convenient to the people they are intended to serve.*

**Objective B.** *To develop Honolulu (Waialae-Kahala to Halawa), Aiea, and Pearl City as the Island's primary urban center.*

**Policy 1.** *Stimulate development in the primary urban center by means of the City and County's capital improvement program and State and Federal grant and loan programs.*

**Objective E.** *To create and maintain attractive, meaningful, and stimulating environments throughout Oahu.*

**Policy 5.** *Require new developments in stable, established communities and rural areas to be compatible with the existing communities and areas.*

**Policy 9.** *Design public structures to meet high aesthetic and functional standards and to complement the physical character of the communities they will serve.*

**Objective F.** *To promote and enhance the social and physical character of Oahu's older towns and neighborhoods.*

**Policy 1.** *Encourage new construction to complement the ethnic qualities of the older communities of Oahu.*

**Policy 2.** *Encourage, wherever desirable, the rehabilitation of existing substandard structures.*

**Policy 3.** *Provide and maintain roads, public facilities, and utilities without damaging the character of older communities.*

**Policy 4.** *Seek the satisfactory relocation of residents before permitting their displacement by new development, redevelopment, or neighborhood rehabilitation.*

**Discussion:** The project is well situated in the Primary Urban Center of Honolulu, and in very close proximity to the KCC campus. The location makes the Cannon Club property an ideal site for an extension of KCC, as well in keeping with the historical use of the site as a restaurant (former Officer's Club).

#### **HEALTH AND EDUCATION**

**Objective B.** *To provide a wide range of educational opportunities for the people of Oahu.*

**Policy 1.** *Support education programs that encourage the development of employable skills.*

**Policy 2.** *Encourage the provision of informal educational programs for people of all age groups.*

**Policy 3.** *Encourage the after-hours use of school buildings, grounds, and facilities.*

**Policy 4.** *Encourage the construction of school facilities that are designed for flexibility and high levels of use.*

**Policy 5.** *Facilitate the appropriate location of learning institutions from the preschool through the university levels.*

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**Objective C.** *To make Honolulu the center of higher education in the Pacific.*

**Policy 1.** *Encourage continuing improvement in the quality of higher education in Hawaii.*

**Policy 2.** *Encourage the development of diverse opportunities in higher education.*

**Policy 3.** *Encourage research institutions to establish branches on Oahu.*

**Discussion:** The project's goals and objectives are compatible with these General Plan objectives and policies. The project will allow KCC's Culinary Program to expand and add an advanced program. The project will attract more grant funds and increase their training activities. The project may also serve as an anchor to attract more culinary attention to the program.

### **VI.C.2. Primary Urban Center Development Plan**

The City & County of Honolulu Development Plans (DPs) represent eight geographic regions that include all areas of O'ahu. Before 1992, the City Charter required DPs to be relatively detailed plans for implementing and accomplishing the development objectives and policies of the General Plan. In 1992, a Charter amendment changed this to require DPs to consist of "conceptual schemes." In response to the 1992 Charter amendments, the City & County of Honolulu, Department of Planning (now the Department of Planning and Permitting) launched a thorough review of all eight DPs to ensure their conformance with the Charter-mandated conceptual orientation.

The project site is located within the Primary Urban Center (PUC) (see Figure 6), an area to which growth and supporting facilities will be directed over the next 20 years. The site is designated Lower-Density Residential within the PUC DP Land Use Map. Sections of the PUC DP that are applicable to the project are discussed below.

#### **HISTORIC AND CULTURAL SITES**

*Preserve and enhance the significant historic and aesthetic features of institutional campuses and campus clusters through zoning permit reviews for campus expansion or modifications. (p. 3-11).*

**Discussion:** The proposed CIP will be designed to complement the topography of the project site. Native Hawaiian values and protocols are being considered in the design of the proposed CIP facility. Landscaping will consist of primarily native or Polynesian introduced species that exist or have once existed in and around the Diamond Head coastal ecosystem.

#### **SCHOOL AND LIBRARY FACILITIES**

*Support the development of a high quality educational system of schools and post secondary institutions that increase the attractiveness of the Primary Urban Center as a place to live and work. (p. 4-9)*

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**Discussion:** The proposed CIP at the Cannon Club will not only enhance the programs offered by Kapi'olani Community College (which is one of the most attractive campuses in the University of Hawai'i system) but represent a sizable investment in a vacant property that is subject to occasional vandalism.

### **VI.C.3. Diamond Head Special District**

Diamond Head Special District (Ord. #77-123): The Special District designation is for "Areas wherein natural and man-made objects of beauty and historic, cultural, architectural and scenic significance may be preserved, enhanced and perpetuated."

According to Sec. 21-9.40-1 of the City & County of Honolulu Land Use Ordinance, the objectives of the Diamond Head special district are: (a) to preserve existing prominent public views and the natural appearance of Diamond Head by modifying construction projects that would diminish these resources, (b) to preserve and enhance the park-like character of the immediate slopes of the Diamond Head monument, which includes Kapi'olani Park. An analysis of the visual impacts of the project site is provided in Appendix J.

The proposed project will be designed to minimize the appearance of the facility from public streets and public viewing sites. The proposed use was contemplated in the *Diamond State Monument Master Plan Update* and will be designed to incorporate existing trees where feasible, with new landscaping in order to enhance the park-like character of the Diamond Head State Monument.

Every development in a special district is classified into one of three categories: major, minor or exempt (see Figure 16). Major and minor projects require a special district permit. Major permits are required for projects that are located in the "core area" of the special district. Major permits require review by the neighborhood board before submission of the application, a public hearing by the Director of DPP and review by the Design Advisory Committee. The Director of DPP has the right to review and modify such projects. The project site is within the Diamond Head Special District Core area, and therefore requires a Special District Major Permit (see Figure 16).

### **VI.C.4. Honolulu Bicycle Master Plan**

In 1999, the DTS published the *Honolulu Bicycle Master Plan*. The plan provides a strategy for the bicycle component of Honolulu's transportation system. The plan identifies an integrated network of on-road bike lanes and off-road multi-use paths. The plan prioritizes bikeway projects into three priority levels. Priority One recommendations focus on improving access to important elements of Honolulu: parks and waterfront areas; commercial and employment centers; and colleges and universities. Priority Two projects

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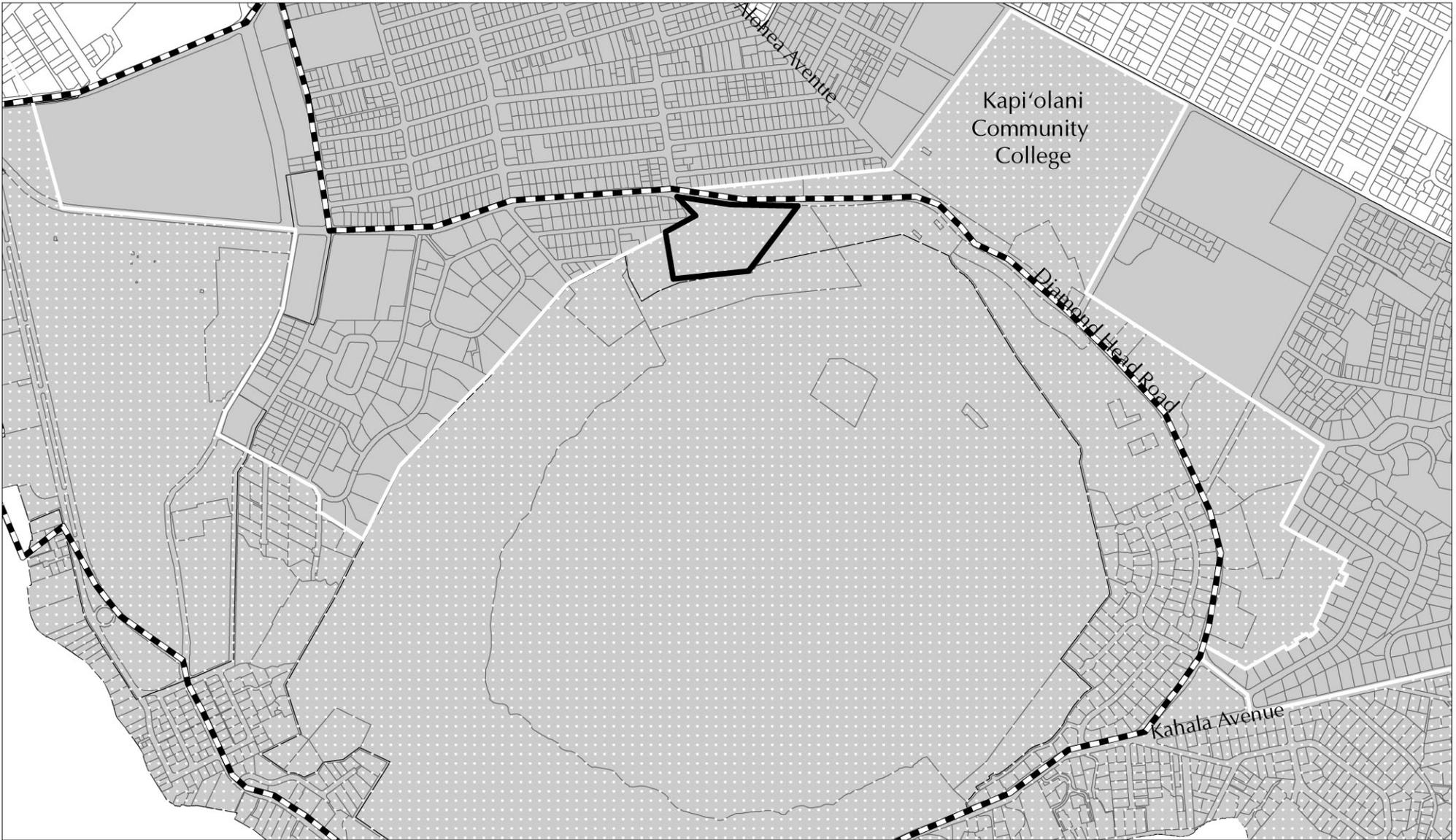
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complete the Makai and Central Bike Corridors. Priority Three projects complete the Regional Bike Corridor concept's network of routes.

The project site is located adjacent to Diamond Head Road, which is part of a Priority One project in the *Honolulu Bicycle Master Plan* called the Lei of Parks (see Figure 17). The Lei of Parks is a system of paths and bike lanes linking regional and local parks in urban Honolulu. The Lei of Parks system will provide users with the opportunity to take a leisurely, scenic and recreational ride from Diamond Head to Aloha Tower. The plan specifies adding bicycle lanes along the Diamond Head Road segment. According to the *Honolulu Bicycle Master Plan (April 1999)*, a portion of Monsarrat Avenue/Diamond Head Road is listed as College Access (CA) project CA 24. The portion of Monsarrat Avenue/Diamond Head Road fronting the project is a curbed street which has no on-street parking and a posted speed limit of 25 miles per hour. The pavement width is 30 feet which appears to meet the minimum design treatment based on Appendix B of the *Honolulu Bicycle Master Plan* of 14 feet wide curbed lanes. In addition, the City & County of Honolulu built a rest station near the KCC campus for bicyclists, runners, and other pedestrians.

As part of the *Diamond Head State Monument Master Plan Update*, DLNR coordinated with DTS regarding improved bicycle facilities. Proposals included the construction of a multi-user, grade-separated pedestrian/bike path along Diamond Head Road between 22nd Avenue and the Cannon Club (referred to as the Diamond Head Linear Park project), and the provision of secure bicycle parking at the Cannon Club and crater entries. The Division of State Parks is the government agency that has purview over the proposed Diamond Head Linear Park, for which a Special Management Area Use Permit is required and construction is, as of this writing, currently not funded.

The site plan has been revised to accommodate a multi-purpose path of approximately 10-foot wide (following the design principles of the Diamond Head Linear park project) to allow for both bicycle and pedestrian travel between the proposed KCC CIP and the KCC main campus. In addition, showers and lockers for students and staff have been incorporated into the design of the project to encourage alternative forms of transportation such as walking and bicycling.



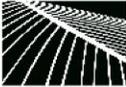
**Legend**

-  Project Site Boundary
-  Diamond Head State Monument Core Area
-  Diamond Head Special District
-  Special Management Area

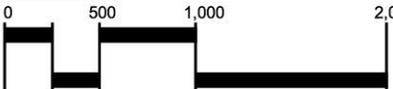
Figure 16  
 Diamond Head Special District Map  
 Kapi'olani Community College  
 Culinary Institute of the Pacific

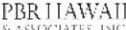
Kapi'olani Community College

NORTH 

ISLAND OF O'AHU 

LINEAR SCALE (FEET)

0 500 1,000 2,000 

PBR HAWAII & ASSOCIATES, INC. 

Source: City & County of Honolulu Dept of Planning & Permitting  
 Disclaimer: this map has been prepared for general planning purposes only.



Legend

- Kapi'olani Community College Culinary Institute of the Pacific
- Priority 1
- Priority 2
- Priority 3
- Existing Bikeways

Source:  
City and County of Honolulu Transportation Services

Disclaimer:  
This map has been prepared for general planning purposes only.

Figure 17  
Honolulu Bicycle Master Plan Map  
Kapi'olani Community College  
Culinary Institute of the Pacific

Kapi'olani Community College  
NORTH



NOT TO SCALE



# SECTION VII

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## **ALTERNATIVES**

**KAPI'OLANI COMMUNITY COLLEGE  
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## **VII. ALTERNATIVES**

### **VII.A. NO ACTION**

The No Action alternative would involve no construction of new facilities for the Culinary Institute at the Cannon Club site. This alternative would result in KCC having to find an alternate location for its advanced culinary program, or combining the advanced program with existing program facilities at KCC.

Not having its own dedicated state-of-the-art culinary facilities could hamper the Culinary Institute of the Pacific from its objective to be a premier, state-of-the art program.

The site would remain in its current vacant, vandalized, and overgrown state.

This alternative was rejected because it would not properly address the need for the project, as stated in Section II.A.2.a of this EA.

### **VII.B. DIAMOND HEAD STATE MONUMENT (DHSM) VISITOR ORIENTATION CENTER (VOC)**

The *Diamond Head State Monument (DHSM) Master Plan Update* proposed that ultimately visitor parking would be relocated from within the crater, where visitor parking is currently located, to the crater exterior. At the time the Final EIS for the *DHSM Master Plan Update* was being finalized, there was no certainty that the U.S. Army would be vacating the Cannon Club property (or that the DLNR State Parks would be allowed to develop the project site), so the *DHSM Master Plan Update* stated that when it is decided to move visitor parking to the crater exterior, the first choice would be to utilize the existing entries and parking at the Cannon Club (this was proposed because the Cannon Club site has a sizable existing parking lot). The *DHSM Master Plan Update* went on to state that if the Cannon Club cannot be acquired, then a new parking lot could be built near the Makapu'u Avenue/Diamond Head Road intersection. When an exterior parking lot is in place, for those who cannot or who do not desire to walk into the crater, a small, motorized "people mover," could be provided. Once a visitor reaches the north side of the crater exterior, he or she would have the option of walking into the crater via either the Kāhala or Kapahulu Tunnels, or to pay a fee to board the people mover. The people mover would start from the parking lot (Cannon Club or near the Makapu'u Avenue/Diamond Head Road intersection - which would ultimately be the main entry into the Diamond Head crater interior) and make a stop at the Battery Harlow. The people mover would then enter the crater via Kapahulu Tunnel (which affords a higher vantage point than the Kāhala Tunnel) make a loop inside the crater, and exit the crater via Kāhala Tunnel.

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To support moving the parking to the exterior of the crater, a Visitor Orientation Center (VOC) was proposed. As originally proposed, the VOC was not envisioned as being a duplicate or a replacement of the proposed major Visitor/Interpretive Center (VIC). Instead, the VOC was envisioned to have an entirely different function, a more modest facility where visitors could get information about the crater (whether they decided to enter or not), have access to restroom facilities, buy souvenirs and purchase refreshments.

When the U.S. Army vacated the Cannon Club site, it fell into the State of Hawai'i's land inventory, but the disposition of Federal property gives higher priority to particular activities, and one of the highest priorities is educational providers. As a result, KCC sought, and received, a long-term lease for the Cannon Club site to develop its Culinary Institute of the Pacific.

In addition to KCC securing a lease over the Cannon Club site, there have been several other developments that have occurred subsequent to the *DHSM Master Plan Update*, which would appear to leave the VOC more suited closer to the ultimate entry to the crater (at the Makapu'u Avenue/Diamond Head Road intersection) than at the Cannon Club site, these are: 1) the City announced plans to signalize the intersection of Makapu'u Avenue/Diamond Head Road (thus ensuring a safer vehicular entry and facilitating this intersection as the main entry into the crater); and, 2) the schedule for relocating visitor parking from the interior of the crater to its exterior is unknown given State funding priorities (however it is KCC's continued intent to share parking with the DHSM).

The Draft EA included a Preliminary Site Plan showing a potential location for a VOC within the Cannon Club site, both near Diamond Head Road, and near a proposed internal road connecting the Cannon Club site and the future Makapu'u Avenue/Diamond Head Road entry to the DHSM. The area set aside for the VOC was approximately 1,600 square feet, which would appear adequate to include restrooms, gift shop, an office, storage and mechanical room. The Preliminary Engineering Report (PER) for this Environmental Assessment also contemplated the civil engineering requirements of the VOC in order to ensure that future design of required water, sewer, drainage, electrical and communications facilities for the KCC CIP could accommodate a modest VOC (as described above), without requiring the VOC to replace water and sewer lines (when it is eventually built), while not placing an unfair burden to the KCC CIP (since the VOC could be located elsewhere in the DHSM).

Subsequent to the publication of the Draft EA, the Diamond Head Citizen's Advisory Committee commented that "the Monument's Visitor Orientation Center in the draft EA is unnecessary and should be removed." As such, the VOC has been removed from the updated preliminary site plan (see Figure 3).

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**VII.C. FORMERLY PREFERRED ALTERNATIVE IN DRAFT EA**

The preferred alternative is to proceed with the KCC CIP at the Cannon Club site as proposed (with or without the DHSM VOC on the Cannon Club site). The KCC CIP will provide a beneficial use on a currently vacant, overgrown and vandalized site. The project will benefit the University of Hawai'i programs, and those pursuing a career in the food and beverage industry, while being supportive of the *DHSM Master Plan Update*.

Based on comments received from the Diamond Head Citizens Advisory Committee during the Draft EA public review period, KCC has revised the site plan to "pull apart" the building footprint. As such, the schematic design of the project has been redesigned to mitigate concerns that the footprint of the site plan listed in the Draft EA was too "massive."

**VII.D. CURRENT SITE PLAN**

The current site plan consists of nine new buildings with a total net interior floor area of approximately 40,150 square feet in size. The buildings will consist of three classrooms, five kitchens, offices, conference rooms and main dining room. The updated preliminary site plan is illustrated in Figure 3.

The buildings are proposed to be all one-storied structures, with a maximum height of approximately 25 feet, and of concrete and concrete masonry construction. The exterior facades of all structures and structural forms will be designed to have architectural scale, exterior finish, materials, colors, components and features that relate in a compatible manner to nearby existing structures. Materials, finishes and colors, including roofs, will be subdued in nature.

The proposed design will correspond with the site in terms of slope, color and vegetation. This method of design, while adhering to many of the conservation and sustainability principles KCC has committed to in the development of this project allows for multiple uses without much impact or damage to the surrounding environment.

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# SECTION VIII

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**FINDINGS, SUPPORTING REASONS,  
AND ANTICIPATED DETERMINATION**

**KAPI'OLANI COMMUNITY COLLEGE  
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## **VIII. FINDINGS, SUPPORTING REASONS, AND ANTICIPATED DETERMINATION**

To determine whether the Culinary Institute of the Pacific at Diamond Head may have a significant impact on the physical and human environment, all phases and expected consequences of the project have been evaluated, including potential primary, secondary, short-range, long-range and cumulative impacts. The following analysis would be supportive of an issuance of a Finding of No Significant Impact (FONSI) for the project. The supporting rationale for such a finding is presented in this chapter.

### **VIII.A. CUMULATIVE AND SECONDARY IMPACTS**

Without the implementation of the proposed project, the Cannon Club site would continue to deteriorate. The proposed project includes: 1) improving the existing site with new buildings and structures; 2) new landscaping; and 3) improving the access.

The project will have a positive, cumulative impact on residents' educational opportunities through the KCC Culinary program, which will have a long-term, secondary impact on Hawai'i's food and beverage industry and overall economy.

The project is not anticipated to result in significant negative impacts, including cumulative impacts. No degradation of environmental quality is anticipated.

### **VIII.B. PROBABLE ADVERSE ENVIRONMENTAL IMPACTS THAT CAN BE AVOIDED**

As with any development, there may be instances during the construction period where soil erosion from wind and rain could occur and visual impacts will be altered from the current vacant use to educational facilities. Noise levels will also increase above current conditions due to the added traffic levels on the property, human activity, and the addition of mechanical equipment such as air ventilation equipment, service trucks backing up, and vehicular noise. Solid waste, energy consumption, water use levels and wastewater will all increase above current levels, although the project will strive to be designed with sustainability in mind (LEED NC Silver).

Each of these impacts, which are typical of all educational facility uses, will result wherever new educational facilities are provided. By providing a master plan where potential impacts can be mitigated through site and architectural design, potential adverse environmental effects which cannot be avoided can be mitigated.

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### **VIII.C. SHORT-TERM USE VERSUS LONG-TERM PRODUCTIVITY**

NEPA requires an analysis of the relationship between a project's short-term use of the environment, and the effects that these uses may have on the maintenance and enhancement of the long-term productivity of the affected environment. Impacts that narrow the range of beneficial uses of the environment are of particular concern. This refers to the possibility that choosing one redevelopment option reduces future flexibility in pursuing other options, or that giving over a parcel of land or other resource to a certain use often eliminates the possibility of other uses being performed at that site.

This section lists the trade-offs between short- and long-term gains and losses due to the Proposed Action and the "No Action" Alternative. "Short-term" refers to the construction period; "long-term" refers to the operational period.

- Short-term loss due to air quality and noise impacts during construction activities;
- Short-term gains to the local economy resulting from construction activity and indirect spending;
- Long-term increase in traffic and noise volumes in and around the project area;
- Long-term alteration of the visual appearance of the site;
- Long-term productivity and efficiency gains by improving the formerly developed site as opposed to a previously undeveloped site;
- Long-term economic gains by avoidance of further deterioration or brush fires from vandals;
- Long-term improvements in the University of Hawai'i culinary program; and
- Long-term economic gains to the State of Hawai'i.

### **VIII.D. IRREVERSIBLE AND IRRETRIEVABLE COMMITMENT OF RESOURCES**

The implementation of the proposed project would result in the irreversible and irretrievable commitment of a land resource from the State of Hawai'i and require use of fiscal resources from the University of Hawai'i. Major resource commitments include the land on which the proposed project is located and the financial commitment for construction materials, manpower, and energy required for the project's completion.

In addition to the on-site physical improvements to be provided by the University, development of the subject property will result in the increased use of public infrastructure as the project achieves build out. The financial resources required to support these public improvements may not be shouldered entirely by State of Hawai'i tax revenues, but may also be funded by Federal and private sources.

In addition to the physical resources described, labor and materials which are mostly non-renewable and irretrievable will also be necessary during the construction phase. After

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project completion, operation of the buildings and classroom structures and maintenance of the outdoor areas will require use of potable water and some petroleum-generated electricity which also represents irretrievable commitments of resources, although resource conservation will be incorporated into the design of the project.

The impacts reflected by the commitment of these resources, should be weighed against the positive social benefits that could be derived from the project versus the consequences of either taking no action or pursuing another less beneficial use of the property. Consumption of these resources will be replaced by the creation of new educational and employment facilities. As such, significant enhancement to existing and future life-styles will result from the project compared to limited benefits derived from a "no-build" alternative.

### **VIII.E. SIGNIFICANCE CRITERIA**

According to the Environmental Impact Statement Rules (Section 11-200-12), an applicant or agency must determine whether an action may have a significant impact on the environment. In making the determination, the Rules establish "Significance Criteria" to be used as a basis for identifying whether significant physical and/or human environmental impacts will occur. According to the Rules, an action shall be determined to have a significant impact on the environment if it meets any one of the specific criteria. The determination of impacts potentially resulting from the project, and the associated rationale supporting that determination are organized based on these criteria, as follows:

- (1) *Involves an irrevocable commitment to loss or destruction of any natural or cultural resources;*

The project will not cause irrevocable loss or destruction of natural or cultural resources. No significant natural or cultural resources exist on the site. The site has already been developed as part of the former Fort Ruger for the Cannon Club and supporting structures.

- (2) *Curtails the range of beneficial uses of the environment;*

The project will be built on previously developed land and will not negatively impact other beneficial uses. The educational facilities to be developed will have long-term beneficial rewards to the public.

- (3) *Conflicts with the State's long-term environmental policies or goals and guidelines as expressed in Chapter 344, HRS; and any revisions thereof and amendments thereto, court decisions, or executive orders;*

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The project is not anticipated to have negative impacts on the environment, and therefore, is consistent with the Environmental Policies established in Chapter 344, HRS, and the National Environmental Policy Act.

- (4) *Substantially affects the economic or social welfare of the community or state;*

The project will provide a positive impact on the community in the short-term with construction-related employment opportunities, and in the long-term with enhanced and improved educational opportunities for the State's higher education system. A future, successful, world-renown culinary arts program will provide graduates with academic credentials for good careers in various fields here in Hawai'i as well as out-of-state.

- (5) *Substantially affects public health;*

The project is not expected to have adverse impacts on public health.

- (6) *Involves substantial secondary impacts, such as population changes or effects on public facilities;*

The project will not involve substantial secondary impacts, such as increasing the residential population in the area or effects on public facilities.

- (7) *Involves a substantial degradation of environmental quality;*

The project will not involve a substantial degradation of environmental quality on-site or in the surrounding area. As previously stated, the site has already been extensively modified as part of the former Fort Ruger (Cannon Club and related facilities). As such, the actual "natural environment" that may have been associated with the project site has already been curtailed by previous uses and by many years of urban activity.

The improvements will be designed to comply with all Federal, State, and County laws regarding drainage, erosion control, and non-point source pollution. There are no anticipated impacts that would degrade environmental quality. New landscaping will enhance the surrounding environment by providing new native or Polynesian-introduced plant materials.

- (8) *Is individually limited but cumulatively has considerable effect on the environment, or involves a commitment for larger actions;*

The proposed project is not expected to have a cumulative negative effect on the area. The proposed project has long been contemplated as part of the larger *Diamond Head State Monument Master Plan* and addressed in the EIS for that project.

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- (9) *Substantially affects a rare, threatened, or endangered species or its habitat;*

The project will not affect rare, threatened, or endangered species, or habitats. As previously discussed in Sections III.B.1 and III.B.2, there are no endangered species in the vicinity of the project.

- (10) *Detrimentially affects air or water quality or ambient noise levels;*

In striving for LEED NC Silver rating, the project will be designed to not detrimentally affect air, water quality or ambient noise levels. BMP measures will be implemented during construction to mitigate any short-term impacts.

- (11) *Affects or is likely to suffer damage by being located in an environmentally sensitive area, such as a flood plain, tsunami zone, beach, erosion-prone area, geologically hazardous land, estuary, freshwater, or coastal waters.*

As previously discussed in Sections III.D.2 and III.D.3, various measures will be incorporated during the design and construction of the project to minimize erosion effects and the potentials for rockfall hazard. According to a geotechnical engineer, the project can mitigate the potential hazards of rockfalls from the slopes of Diamond Head by erecting a chain link fence upslope of the new structures.

- (12) *Substantially affects scenic vistas and view planes identified in county or state plans or studies;*

The project will be designed with awareness of the importance of Diamond Head as a landmark to residents of O'ahu.

- (13) *Requires substantial energy consumption.*

In striving for LEED NC Silver rating, the project will be designed to require less energy consumption than a conventionally-designed project.

## **VIII.F. ANTICIPATED DETERMINATION**

On the basis of impacts and mitigation measures examined in this document and analyzed under the above criteria, it is anticipated that the Culinary Institute of the Pacific at Diamond Head will not have a significant effect on the local, County, or Statewide physical or human environments and that a "Finding of No Significant Impact" will be determined.

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# SECTION IX

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## LIST OF PREPARERS AND REVIEWERS

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**IX. LIST OF PREPARERS AND REVIEWERS**

This document was prepared by PBR HAWAII, 1001 Bishop Street, ASB Tower, Suite 650, Honolulu, Hawai'i 96813.

Several key technical consultants were employed to provide specific assessments of environmental factors for this project. These consultants and their specialty are listed below.

**Firm**

The Limtiaco Consulting Group  
PB Americas, Inc.  
Sam O. Hirota, Inc.

**Area of Expertise**

Civil Engineering  
Traffic Engineering  
Land Surveying

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# SECTION X

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## REFERENCES

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**X. REFERENCES**

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# SECTION XI

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**COMMENT LETTERS RECEIVED DURING  
THE DRAFT EA PUBLIC REVIEW PERIOD**

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**XI. COMMENT LETTERS RECEIVED DURING THE DRAFT EA PUBLIC REVIEW PERIOD**

The Draft EA was published in the March 8, 2008 issue of the OEQC *The Environmental Notice* and sent to the parties listed in the following table. The 30-day public comment period ended on April 8, 2008. Agencies, organizations, or individuals that submitted comments on the Draft EA are listed in bold. Comment and response letters have been reproduced and are provided below.

**Table 6. Draft EA Comment Letters**

AGENCY	REQUEST SENT	COMMENT RECEIVED
<b>STATE OF HAWAII</b>		
Department of Business, Economic Development & Tourism	3-4-08	-
<b>Department of Defense</b>	3-4-08	3-31-08
<b>Department of Health</b>	3-4-08	4-3-08
Department of Land and Natural Resources	3-4-08	-
State Historic Preservation Division	3-4-08	-
Office of Environmental Quality Control	3-4-08	-
<b>Office of Hawaiian Affairs</b>	3-4-08	5-12-08
<b>CITY &amp; COUNTY OF HONOLULU</b>		
<b>Board of Water Supply</b>	3-4-08	3-7-08
Department of Community Services	3-4-08	-
<b>Department of Design &amp; Construction</b>	3-4-08	3-24-08
Department of Environmental Services	3-4-08	-
<b>Department of Facility Maintenance</b>	3-4-08	4-3-08
<b>Department of Parks and Recreation</b>	3-4-08	3-10-08
<b>Department of Planning &amp; Permitting</b>	3-4-08	4-7-08
Department of Transportation Services	3-4-08	-
<b>Fire Department</b>	3-4-08	4-3-08
<b>Police Department</b>	3-4-08	3-10-08
<b>FEDERAL</b>		
<b>Department of the Army</b>	3-4-08	4-11-08
U.S. Fish and Wildlife Service	3-4-08	-
<b>PRIVATE ORGANIZATIONS &amp; INDIVIDUALS</b>		
<b>Hawaiian Electric Company</b>	3-4-08	4-28-08
State Senator Sam Slom	3-4-08	-
State Representative Scott Y. Nishimoto	3-4-08	-
Councilmember Charles K. Djou	3-4-08	-
<b>The Outdoor Circle</b>	-	3-19-08

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AGENCY	REQUEST SENT	COMMENT RECEIVED
<b>Diamond Head/Kapahulu/St. Louis Neighborhood Board #5</b>	3-4-08	4-14-08
<b>Diamond Head Citizens Advisory Committee</b>	3-4-08	5-6-08

LINDA LINDALE  
GOVERNOR

MALCOLM GENERAL ROBERT G. F. LIRE  
DIRECTOR OF CIVIL DEFENSE

EDWARD T. TEIXEIRA  
VICE DIRECTOR OF CIVIL DEFENSE



**STATE OF HAWAII**  
DEPARTMENT OF DEFENSE  
OFFICE OF THE DIRECTOR OF CIVIL DEFENSE  
3949 DIAMOND HEAD ROAD  
HONOLULU, HAWAII 96816-4495

March 31, 2008

Mr. Michael Shibata  
PBR Hawaii  
ASB Tower, Suite 650  
1001 Bishop Street  
Honolulu, Hawaii 96813

Dear Mr. Shibata:

**CD-R Draft Environmental Assessment (EA)  
Kapiolani Community College Culinary Institute of the Pacific**

Thank you for the opportunity to comment on this project. After careful review of the documents in this Draft Environmental Assessment, we agree with the plan to mitigate any potential impact from tropical cyclones/hurricanes and earthquakes by compliance with building codes adopted by the City and County of Honolulu. Beyond that, we have no further comments to make at this time.

If you have any questions, please contact Mr. Richard Stercho, State Civil Defense Mitigation Planner, at 733-4300, extension 583.

Sincerely,

EDWARD T. TEIXEIRA  
Vice Director of Civil Defense

c: Office of Environmental Quality Control



PHONE (808) 733-4300  
FAX (808) 733-4387

**PRINCIPALS**

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VINCENT SHIGEKUNI  
Vice-President

GRANT MURAKAMI, AICP  
Principal

**CHAIRMAN/EMERITUS**

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Chairman Emeritus

**ASSOCIATES**

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Senior Associate

RANDY DEJUGA, ASLA  
Senior Associate

KEVIN K. NISHIKAWA, ASLA  
Associate

KIMU MIYAMUEN, LEED-AP  
Associate

SCOTT ALIKA, AIA/ICG  
Associate

SCOTT MURAKAMI, ASLA, LEED-AP  
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March 10, 2009

Mr. Edward T. Teixeira, Vice Director of Civil Defense  
State of Hawai'i

Department of Defense  
Office of the Director of Civil Defense  
3949 Diamond Head Road  
Honolulu, Hawai'i 96816-4495

Attn: Mr. Richard Stercho

**SUBJECT: THE KAPI'OLANI COMMUNITY COLLEGE (KCC) CULINARY  
INSTITUTE OF THE PACIFIC (CIP) DRAFT ENVIRONMENTAL  
ASSESSMENT**

Dear Mr. Teixeira:

Thank you for your letter dated March 31, 2008. We acknowledge your assessment regarding the plan, as such the project will be designed to comply with the 2003 International Building Code and Amendments as adopted by the City & County of Honolulu. We acknowledge that your department has no further comments to make at this time.

Thank you again for your participation in the Environmental Assessment process. If you have any questions regarding this project, please do not hesitate to contact me at 521-5631.

Sincerely,

PBR HAWAII

Michael Shibata  
Planner

cc: Ms. Katherine P. Kealoha, Office of Environmental Quality Control  
Mr. Michael Unebasami, University of Hawai'i Community Colleges

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STATE OF HAWAII  
DEPARTMENT OF HEALTH  
P.O. Box 3378  
HONOLULU, HAWAII 96801-3378

April 3, 2008

CHRONIE L. FURUKO, M.D.  
DIRECTOR OF HEALTH

IS THIS PLEASE REFER TO:  
EPO-08-040

Mr. Shibata  
April 3, 2008  
Page 2

2. You are required to obtain a National Pollutant Discharge Elimination System (NPDES) permit for discharges of wastewater, including storm water runoff, into State surface waters (HAR, Chapter 11-55). For the following types of discharges into Class A or Class 2 State waters, you may apply for NPDES general permit coverage by submitting a Notice of Intent (NOI) form:

- a. Storm water associated with construction activities, including clearing, grading, and excavation, that result in the disturbance of equal to or greater than one (1) acre of total land area. The total land area includes a contiguous area where multiple separate and distinct construction activities may be taking place at different times or different schedules under a larger common plan of development or sale. An NPDES permit is required before the start of the construction activities.
- b. Hydrating water.
- c. Construction dewatering effluent.

You must submit a separate NOI form for each type of discharge at least 30 calendar days prior to the start of the discharge activity, except when applying for coverage for discharges of storm water associated with construction activity. For this type of discharge, the NOI must be submitted 30 calendar days before the start of construction activities. The NOI forms may be picked up at our office or downloaded from our website at <http://www.hawaii.gov/health/environmental/water/cleanwater/forms/genl-index.html>.

3. For types of wastewater not listed in Item 3 above or wastewater discharging into Class 1 or Class A.A. waters, you may need an NPDES individual permit. An application for an NPDES individual permit must be submitted at least 180 calendar days before the commencement of the discharge. The NPDES application forms may be picked up at our office or downloaded from our website at <http://www.hawaii.gov/health/environmental/water/cleanwater/forms/indiv-index.html>.

4. You must also submit a copy of the NOI or NPDES permit application to the State Department of Land and Natural Resources, State Historic Preservation Division (SHPD), or demonstrate to the satisfaction of the CWB that SHPD has or is in the process of evaluating your project. Please submit a copy of your request for review by SHPD or SHPD's determination letter for the project along with your NOI or NPDES permit application, as applicable.

5. Please note that all discharges related to the project construction or operation activities, whether or not NPDES permit coverage and/or Section 401 Water Quality Certification are

Mr. Michael Shibata  
PBR HAWAII  
ASB Tower, Suite 650  
1001 Bishop Street  
Honolulu, Hawaii 96813

Dear Mr. Shibata:

**SUBJECT:** Draft Environmental Assessment for Kapiolani Community College (KCC) Culinary Institute of the Pacific (CIP) at the Former Fort Ruger Cannon Club Site Diamond Head, Oahu, Hawaii  
TMK: (1) 3-1-042: 011

Thank you for allowing us to review and comment on the subject application. The document was routed to the various branches of the Department of Health (DOH) Environmental Health Administration. We have the following Clean Water Branch and General comments.

Clean Water Branch

The Department of Health, Clean Water Branch (CWB), has reviewed the subject document and offers these comments on your project. Please note that our review is based solely on the information provided in the subject document and its compliance with Hawaii Administrative Rules (HAR), Chapters 11-54 and 11-55. You may be responsible for fulfilling additional requirements related to our program. We recommend that you also read our standard comments on our website at <http://www.hawaii.gov/health/environmental/env-planning/landuse/CWB-standardcomment.pdf>.

1. Any project and its potential impacts to State waters must meet the following criteria:
  - a. Antidegradation policy (HAR, Section 11-54-1.1), which requires that the existing uses and the level of water quality necessary to protect the existing uses of the receiving State water be maintained and protected.
  - b. Designated uses (HAR, Section 11-54-3), as determined by the classification of the receiving State waters.
  - c. Water quality criteria (HAR, Sections 11-54-4 through 11-54-8).



Mr. Shibata  
April 3, 2008  
Page 3

required, must comply with the State's Water Quality Standards. Noncompliance with water quality requirements contained in HAR, Chapter 11-54, and/or permitting requirements, specified in HAR, Chapter 11-55, may be subject to penalties of \$25,000 per day per violation.

If you have any questions, please visit our website at <http://www.hawaii.gov/health/environmental/water/cleanwater/index.html>, or contact the Engineering Section, CWB, at 586-4309.

General

We strongly recommend that you review all of the Standard Comments on our website: <http://hawaii.gov/health/environmental/env-planning/landuse/anduse.html>. Any comments specifically applicable to this project should be adhered to.

If there are any questions about these comments please contact Jacai Liu with the Environmental Planning Office at 586-4346.

Sincerely,

KELVIN H. SUNADA, MANAGER  
Environmental Planning Office

c: EPO  
CWB

March 10, 2009

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Mr. Kelvin H. Sunada, Manager  
Environmental Planning Office  
State of Hawaii's  
Department of Health  
P.O. Box 3378  
Honolulu, Hawaii's 96801-3378

Attn: Mr. Jacai Liu

**SUBJECT: KAP'OLANI COMMUNITY COLLEGE (KCC) CULINARY INSTITUTE  
OF THE PACIFIC (CIP) DRAFT ENVIRONMENTAL ASSESSMENT**

Dear Mr. Sunada:

Thank you for your letter dated April 3, 2008 (your reference number: EPO-08-040). We have reviewed your letter and offer the following response to your comments.

Clean Water Branch

1. The proposed project will comply with Hawaii Administrative Rules (HAR), Chapters 11-54 and 11-55.
2. We acknowledge that a National Pollutant Discharge Elimination System (NPDES) permit is required. The need for this permit is stated in the Draft EA on Table 2 (List of Potential Permits and Approvals).  
At the appropriate time during the NPDES permit preparation process, the Clean Water Branch will be contacted, and a Notice of Intent will be submitted at least 30 days before the commencement of activities requiring the NPDES permit.
3. If it is determined to be required, an individual NPDES permit will be obtained.
4. A copy of the NPDES permit application will be submitted to the State Department of Land and Natural Resources, State Historic Preservation Division (SHPD) for review. A copy of SHPD's determination letter will be submitted with the NOI or NPDES permit application, as applicable.
5. We acknowledge that all discharges related to the project construction or operation activities must comply with the State of Hawaii's Water Quality Standards.

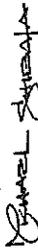
General

As recommended, the Standard Comments on the Department of Health website have been reviewed and will be adhered to as applicable.

Mr. Kelvin H. Sunada  
SUBJECT: KAPI'OLANI COMMUNITY COLLEGE (KCC) CULINARY INSTITUTE OF  
THE PACIFIC (CIP) DRAFT ENVIRONMENTAL ASSESSMENT  
March 10, 2009  
Page 2

Thank you again for your participation in the Environmental Assessment process. If you have any questions regarding this project, please do not hesitate to contact me at 521-5631.

Sincerely,



Michael S. Shibata  
Planner

cc: Ms. Katherine P. Kealoha, Office of Environmental Quality Control  
Mr. Michael Uhebasami, University of Hawai'i Community Colleges

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PHONE (808) 594-1888

FAX (808) 594-1865



STATE OF HAWAII  
OFFICE OF HAWAIIAN AFFAIRS  
711 KAPTOLANI BOULEVARD, SUITE 500  
HONOLULU, HAWAII 96813

HRD08/2805B

May 12, 2008

Michael Shibata  
PBR Hawai'i  
ASB Tower, Suite 650  
1001 Bishop St.  
Honolulu, HI 96813

RE: Request for comments on the Draft Environmental Assessment (EA) for the  
proposed Kapi'olani Community College Culinary Institute of the Pacific, TMK: 3-  
1-042-011.

Aloha e Michael Shibata,

The Office of Hawaiian Affairs (OHA) is in receipt of the above-mentioned letter dated March 4, 2008. Kapi'olani Community College (KCC) proposes to develop the Culinary Institute of the Pacific -- a professional, advanced culinary educational and training facility -- on the northern side of Diamond Head, on approximately 7.878 acres of the old Cannon Club property, which is currently managed by State Parks. OHA has reviewed the project and offers the following comments.

OHA has substantive obligations to protect the cultural and natural resources of Hawai'i for its beneficiaries, the people of this land. The Hawaii Revised Statutes mandate that OHA "[s]erve as the principal public agency in the State of Hawaii responsible for the performance, development, and coordination of programs and activities relating to native Hawaiians and Hawaiians; . . . and [t]o assess the policies and practices of other agencies impacting on native Hawaiians and Hawaiians, and conducting advocacy efforts for native Hawaiians and Hawaiians." (HRS § 10-3)

Because of the above, we appreciate the applicant's creation and use of the KCC Native Hawaiian cultural advisory committee for this project. The inclusion of OHA Trustee Oswald Stender on the committee is particularly appreciated.

We note that the applicant recognizes that because the property was returned to the State by the federal government, it is considered ceded 5(z) lands, from which OHA is supposed to receive a portion of all revenues generated. Furthermore, on January 31, 2008, the Hawai'i Supreme Court ruled that "the Apology Resolution and related state legislation, give rise to the State's fiduciary duty to preserve the corpus of the public lands trust, specifically, the ceded lands, until such time as the unrelinquished claims of the native Hawaiians have been resolved." (See the conclusion of Office of Hawaiian Affairs v. Housing & Cmty. Dev. Corp., 177 P.3d 884 (Haw. 2008)). The Supreme Court then instructed the circuit court to place an injunction on the state from transferring "any other ceded lands from the public lands trust until the claims of the native Hawaiians to the ceded lands have been resolved." (*Id.*) Thus, we appreciate that these subject ceded lands will be used for educational purposes, and we hope that there will be provisions included for Native Hawaiian scholarships, for example.

We understand that this project meets the parameters of the Diamond Head State Monument Master Plan Update, which suggests that the Cannon Club site would be appropriate for food service uses, among other things. The Master Plan Update also recommended a possible Visitor Orientation Center for adjacent Diamond Head State Monument, which may be constructed near the Kahala-side entrance. Based on the above, OHA appreciates the thorough analysis of reasonable alternatives in the Draft EA.

OHA notes the State Historic Preservation Division's determination that the proposed project would not have an adverse impact on historic and cultural properties. Despite this, we appreciate the applicant's written assurances (via a January 30, 2008 letter from PBR Hawai'i to me) that should Iwi Kūpuna or Native Hawaiian cultural or traditional deposits be found during the construction of the project, work will cease, and the appropriate agencies will be contacted pursuant to applicable law.

We note, however, that no Cultural Impact Assessment was prepared for this project, as required by Act 50, Session Laws of Hawai'i (2000), which incorporated that requirement into Chapter 343 of the Hawaii Revised Statutes. There is only a brief note in the Draft EA that references some consultation and a quotation from the Updated Master Plan. Per Act 50, SLH 2000:

...the past failure to require native Hawaiian cultural impact assessments has resulted in the loss and destruction of many important cultural resources and has interfered with the exercise of native Hawaiian culture. The legislature further finds that due consideration of the effects of human activities on native Hawaiian culture and the exercise thereof is necessary to ensure the continued existence, development, and exercise of native Hawaiian culture.

We therefore look forward to the opportunity to review a Cultural Assessment in the future.

Nonetheless, OHA applauds the applicant's intent to use predominantly native vegetation in its landscaping plan as well as herb gardens, making the project that much more sustainable. Landscaping with native plants furthers the traditional Hawaiian concept of mālama 'āina and creates a more Hawaiian sense of place, as well as uses less water resources to maintain. We urge the applicant to employ the catchment system they stated an intention to examine, and are pleased to note the applicant's plans to seek a Leadership in Energy and Environmental Design New Construction silver standard.

Thank you for the opportunity to comment. The existing KCC Culinary Institute has a lot to be proud of, and OHA wishes them much success, particularly if they can arrange an amicable partnership with the surrounding, residential community. If you have further questions, please contact Heidi Guth at (808) 594-1962 or e-mail her at [heidig@oha.org](mailto:heidig@oha.org).

'O wau iho nō me ka 'ōia 'i'o,



Clyde W. Nāmu'o  
Administrator

C: OHA Trustee Oswald Stender

Office of Environmental Quality Control  
235 South Beretania Street, Suite 702  
Honolulu, HI 96813

Michael Unehasami  
University of Hawai'i  
Community Colleges  
2327 Dole Street  
Honolulu, HI 96822

Dean Carol Hoshiko  
University of Hawai'i  
Kapi'olani Community College  
4303 Diamond Head Road  
Honolulu, HI 96816-4421

Daniel Quinn, State Parks Administrator  
Department of Land and Natural Resources  
1151 Punchbowl Street, Room 310  
Honolulu, HI 96813



March 10, 2009

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Mr. Clyde W. Nāmu'ō  
SUBJECT: KAPI'OLANI COMMUNITY COLLEGE (KCC) CULINARY INSTITUTE OF  
THE PACIFIC (CIP) DRAFT ENVIRONMENTAL ASSESSMENT  
March 10, 2009  
Page 2

Thank you again for your participation in the Environmental Assessment process. If you have any  
questions regarding this project, please do not hesitate to contact me at 521-5631.

Sincerely,  
  
Michael S. Shibata  
Planner

cc: Ms. Katherine P. Kealoaha, Office of Environmental Quality Control  
Mr. Michael Unebasami, University of Hawai'i Community Colleges

O:\JOB\181824.02 Diamond Head Camon Club\EA\Draft EA Comment Letters\BL-15 OHA Response.doc

**SUBJECT: KAPI'OLANI COMMUNITY COLLEGE (KCC) CULINARY INSTITUTE  
OF THE PACIFIC (CIP) DRAFT ENVIRONMENTAL ASSESSMENT**

Dear Mr. Nāmu'ō:

Thank you for your letter dated May 12, 2008 (your reference number: HRD08/2805B). We have  
reviewed your letter and offer the following response to your comments.

1. We acknowledge your appreciation that Office of Hawaiian Affairs (OHA) Trustee  
Oswald Stender is a member of KCC's Native Hawaiian Cultural Advisory  
Committee for this project.
2. We acknowledge your appreciation that the underlying ceded lands will be used for  
educational purposes. In regards to provisions for Native Hawaiian scholarships,  
KCC currently has such a program in place. Native Hawaiian Tuition Waivers were  
established to support the increased number of Hawaiian and part-Hawaiian students  
seeking a degree in higher education. The program waives a portion of tuition costs  
for credit courses. The grant does not cover student fees or pre-college classes; and  
candidate students must be enrolled for at least six credits.
3. We thank you for your appreciation of our analysis of alternatives in the Draft EA.
4. We would like to take this opportunity to reiterate that should iwi kupuna or Native  
Hawaiian cultural or traditional deposits be found during ground disturbance or  
excavation, work will cease, and the appropriate agencies will be contacted pursuant  
to applicable law.
5. Regarding the request to review a cultural assessment, it is our interpretation of  
subsection 11-200-13, Hawaii Administrative Rules that KCC is allowed to  
"...incorporate by reference, in whole or in part...previously accepted statements."  
As the Diamond Head Master Plan Final EIS (FEIS) was accepted, we reproduced the  
cultural assessment made by the late George Karahahele on page 68 of the Diamond  
Head Master Plan FEIS on pages 50 and 51 of the Draft EA. However, based on your  
comments, we will append copies of the meeting minutes from the KCC's native  
Hawaiian Cultural Advisory Committee for this project to the Final EA. We believe  
this should address concerns about possible impacts from the project on any  
important cultural resources, as well the exercise of any native Hawaiian cultural  
practices on the site.

**BOARD OF WATER SUPPLY**

CITY AND COUNTY OF HONOLULU  
630 SOUTH BERETANIA STREET  
HONOLULU, HI 96843



March 7, 2008

MUFI HANNEMANN, Mayor  
DAUSALL Y.S. CHUNG, Chairman  
SAMUEL T. IMAI  
ALLY J. PARK  
ROBERT K. CUNDIFF  
MARC C. TILGER  
CRAIG L. HISHIMURA, Executive Director  
BRENNON T. MOROKA, Executive Director  
CLIFFORD P. LUIK, Engineer  
Manager and Chief Engineer  
DEAN A. NAKANO  
Deputy Manager and Chief Engineer

Mr. Michael Shibata  
PBR Hawaii & Associates, Inc.  
1001 Bishop Street  
ASB Tower, Suite 650  
Honolulu, Hawaii 96813-3484

Dear Mr. Shibata:

Subject: Your Letter Dated March 4, 2008 on the Draft Environmental Assessment for  
Kapiolani Community College Culinary Institute of the Pacific, TMK: 3-1-42:11

Thank you for the opportunity to comment on the proposed project.

The comments in our letter dated November 29, 2006, which are included in the document, are still applicable.

If you have any questions, please contact Robert Chun at 748-5443.

Very truly yours,

KEITH S. SHIDA  
Program Administrator  
Customer Care Division

cc: Mr. Michael Unebasami, University of Hawaii  
Office of Environmental Quality Control



**PBR HAWAII  
& ASSOCIATES, INC.**

March 10, 2009

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Wailuku, Hawaii 96793-1771  
Tel: (808) 242-2878

Mr. Keith S. Shida, Program Administrator  
Customer Care Division  
Board of Water Supply  
City and County of Honolulu  
630 South Beretania Street  
Honolulu, Hawaii 96843

Attn: Mr. Robert Chun

**SUBJECT: KAPIOLANI COMMUNITY COLLEGE (KCC) CULINARY  
INSTITUTE OF THE PACIFIC (CIP) DRAFT ENVIRONMENTAL  
ASSESSMENT**

Dear Mr. Shida:

Thank you for your letter dated March 7, 2008. We acknowledge that the Board of Water Supply comments provided in a letter dated November 29, 2006, on the pre-consultation for the Draft Environmental Assessment, are still applicable.

Thank you again for your participation in the Environmental Assessment process. If you have any questions regarding this project, please do not hesitate to contact me at 521-5631.

Sincerely,

Michael S. Shibata  
Planner

cc: Ms. Katherine P. Kealoha, Office of Environmental Quality Control  
Mr. Michael Unebasami, University of Hawaii Community Colleges

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DEPARTMENT OF DESIGN AND CONSTRUCTION  
**CITY AND COUNTY OF HONOLULU**  
 650 SOUTH KING STREET, 11<sup>TH</sup> FLOOR  
 HONOLULU, HAWAII 96813  
 Phone: (808) 768-3480 • Fax: (808) 523-4567  
 Web site: [www.honolulu.gov](http://www.honolulu.gov)



MUFI HAMREMAN  
 MAYOR

EUGENE C. LEE, P.E.  
 DIRECTOR  
 RUSSELL SYRETA  
 DEPUTY DIRECTOR

March 24, 2008

Mr. Michael Shibata  
 PBR Hawaii & Associates, Inc.  
 1001 Bishop Street  
 ASB Tower, Suite 650  
 Honolulu, Hawaii 96813-3484

Dear Mr. Shibata:

Subject: Draft Environmental Assessment  
 Kapiolani Community College Culinary Institute of the Pacific  
 TMK: (1) 3-1-42:11

Thank you for giving us the opportunity to comment on the above Draft Environmental Assessment.

The Department of Design and Construction has the following comment:

- The point of the future sewer connection has a high sewer cleaning frequency and is a terracotta pipe. The pipe should be replaced before connection is made.

Should you have any questions, please contact Jay Hamai, Asst. Chief of our Wastewater Division, at 768-8799.

Very truly yours,

Eugene C. Lee, P.E.  
 Director

ECL:lt (251749)

c: DDC Wastewater Division



March 10, 2009

PRINCIPALS  
 THOMAS S. WITTEN, ASLA  
*President*

Mr. Eugene C. Lee, P.E., Director  
 Department of Design and Construction  
 City and County of Honolulu  
 650 South King Street, 11<sup>th</sup> Floor  
 Honolulu, Hawaii 96813

GRANT T. MURAKAMI, AICP  
*Principal*

**SUBJECT: THE KAPI'OLANI COMMUNITY COLLEGE (KCC) CULINARY INSTITUTE OF THE PACIFIC (CIP) DRAFT ENVIRONMENTAL ASSESSMENT**

Dear Mr. Lee:

Thank you for your letter dated March 24, 2008. We acknowledge that the point of the future sewer connection for the project has a high sewer cleaning frequency and is a terracotta pipe. This pipe will be replaced before connection is made to serve the project.

Thank you again for your participation in the Environmental Assessment process. If you have any questions regarding this project, please do not hesitate to contact me at 521-5631.

Sincerely,

Michael Shibata  
 Planner

cc: Ms. Katherine P. Kealoha, Office of Environmental Quality Control  
 Mr. Michael Unebasami, University of Hawai'i Community Colleges

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DEPARTMENT OF FACILITY MAINTENANCE  
CITY AND COUNTY OF HONOLULU  
1000 Uluohia Street, Suite 215, Kapiolani, Hawaii 96707  
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MUFI HAHREMMANN  
MAYOR

CRAIG I. NISHIMURA, P.E.  
ACTING DIRECTOR AND CHIEF ENGINEER  
GEORGE "GEORGE" ARIYALOTO  
DEPUTY DIRECTOR

IN REPLY REFER TO:  
DRM 08-274

April 3, 2008

Mr. Michael Shibata  
PBR Hawaii  
1001 Bishop Street  
ASB Tower, Suite 650  
Honolulu, Hawaii 96813

Dear Mr. Shibata:

Subject: Draft Environmental Assessment (DEA)  
Kapiolani Community College  
Culinary Institute of the Pacific

Thank you for the opportunity to review and comment on the DEA dated February 2008,  
for the proposed Kapiolani Community College Culinary Institute of the Pacific project.

We have no comments to add to the document. It is our understanding that the project  
roadways, drainage system and other roadway improvements shall be State owned and  
maintained and will not be dedicated to or maintained by the City.

Should you have any questions, please call Charles Pignataro of the Division of Road  
Maintenance, at 768-3697.

Sincerely,

Craig I. Nishimura, P.E.  
Acting Director and Chief Engineer

c: Office of Environmental Control  
University of Hawaii - Community Colleges



March 10, 2009

PRINCIPALS

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Associate

SCOTT ALKA, ABRIGO  
Associate

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Mr. Craig I. Nishimura, P.E., Acting Director and Chief Engineer  
Department of Facility Maintenance  
City and County of Honolulu  
1000 Uluohia Street, Suite 215  
Kapiolani, Hawaii 96707

Attn: Charles Pignataro

SUBJECT: KAPI'OLANI COMMUNITY COLLEGE (KCC) CULINARY  
INSTITUTE OF THE PACIFIC (CIP) DRAFT ENVIRONMENTAL  
ASSESSMENT

Dear Mr. Nishimura:

Thank you for your letter dated April 3, 2008 (your reference number DRM 08-274). We  
acknowledge that the Department of Facility Maintenance has no comments to add to the  
Draft EA. We can confirm your understanding that the project roadways, drainage system  
and other roadway improvements within the project area (where easements are not granted in  
favor of the City) shall be State owned and maintained and will not be dedicated to or  
maintained by the City.

Thank you again for your participation in the Environmental Assessment process. If you  
have any questions regarding this project, please do not hesitate to contact me at 521-5631.

Sincerely,

Michael S. Shibata  
Planner

cc: Ms. Katherine P. Kealoha, Office of Environmental Quality Control  
Mr. Michael Unebasami, University of Hawaii'i Community Colleges

0A00B181824.02 Diamond Head Canton Club/EA/Draft EA Comment Letters/BL-08 DFM Response.doc

DEPARTMENT OF PARKS AND RECREATION  
CITY AND COUNTY OF HONOLULU

KAPOLEI HALE, 1000 ULUOHIA STREET, STE. 308 • KAPOLEI, HAWAII 96707  
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MAE'I HANNEKANN  
MAYOR

LESTER K. C. CHANG  
DIRECTOR  
GAIL Y. HARASUGHI  
DEPUTY DIRECTOR

March 10, 2008

Mr. Michael Shibata  
PBR HAWAII  
ASB Tower, Suite 650  
1001 Bishop Street  
Honolulu, Hawaii 96813

Dear Mr. Shibata:

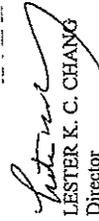
Subject: Draft Environmental Assessment  
Kapiolani Community College Culinary Institute of the Pacific

Thank you for the opportunity to review and comment on the Draft Environmental Assessment for the proposed Kapiolani Community College Culinary Institute of the Pacific to be constructed on the Cannon Club property located on the northern slope of Diamond Head.

The Department of Parks and Recreation has no comment and as the proposed project will not impact any program or facility of the department, you are invited to remove us as a consulted party to the balance of the EIS process.

Should you have any questions, please contact Mr. John Reid, Planner, at 768-3017.

Sincerely,

  
LESTER K. C. CHANG  
Director

LKCC:jr  
(3/17/08)

cc: Office of Environmental Quality Control



March 10, 2009

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Executive Vice-President

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Mr. Lester K.C. Chang, Director  
Department of Parks and Recreation  
City and County of Honolulu  
Kapolei Hale  
1000 Uluohia Street, Suite 309  
Kapolei, Hawaii 96707

Attn: Mr. John Reid

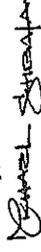
**SUBJECT: THE KAPĪOLANI COMMUNITY COLLEGE (KCC) CULINARY  
INSTITUTE OF THE PACIFIC (CIP) DRAFT ENVIRONMENTAL  
ASSESSMENT**

Dear Mr. Chang:

Thank you for your letter dated March 10, 2008. We acknowledge that the Department of Parks and Recreation (DPR) has no comment, as the proposed project will not impact any program or facility of your department, and as such, at your request, will remove DPR as a consulted party for the balance of the Environmental Assessment process.

Thank you again for your participation in the Environmental Assessment process. If you have any questions regarding this project, please do not hesitate to contact me at 521-5631.

Sincerely,



Michael Shibata  
Planner

cc: Ms. Katherine P. Kealoha, Office of Environmental Quality Control  
Mr. Michael Unebasami, University of Hawai'i Community Colleges

O:\VOBI\811824\02 Diamond Head Cannon Club\EA\Draft EA Comment Letters\BL-03 DPR Response.doc

DEPARTMENT OF PLANNING AND PERMITTING  
**CITY AND COUNTY OF HONOLULU**

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MUFI HANNEMANN  
MAYOR

HENRY ENG, FAICP  
DIRECTOR

DAVID K. YANOUE  
DEPUTY DIRECTOR

2008/ELOG-586(gst)

April 7, 2008

Mr. Vincent Shigekuni  
Vice President  
PBR Hawaii & Associates, Inc.  
1001 Bishop Street  
ASB Tower, Suite 650  
Honolulu, Hawaii 96813-3484

Dear Mr. Shigekuni:

Subject: Draft Environmental Assessment (DEA) Chapter 343,  
Hawaii Revised Statutes  
Kapiolani Community College (KCC) Culinary Institute of the Pacific  
4500 Diamond Head Road – Diamond Head  
Tax Map Key 3-1-42:11

The Department of Planning and Permitting (DPP) has reviewed the DEA for the KCC Culinary Institute of the Pacific (CIP), and offers the following comments:

I. Land Use Issues:

A. Pages 6-8, Project Description – In the general project description, it is unclear whether the main KCC campus will continue to offer food service courses and programs to augment the CIP's advance programs, or whether all of the culinary programs currently on the KCC campus will be relocated to the CIP.

The FEA should clarify and describe how the CIP will operate, i.e., whether it will be a completely independent entity, or be integrated operationally and functionally with the KCC's main campus.

If the intent is to retain some of the culinary programs on the KCC's main campus, the FEA should describe the level of integration between the two (2) campuses pertaining to the food service programs and related activities. This information is important in determining the scope of the future PRU application and its required minimum five-year master plan.

The DEA also states that in addition to advanced culinary programs at the CIP facility, other potential on-site activities include cultural events, chef demonstrations and lectures, culinary competitions, farmers' market and visitor tours.

Mr. Vincent Shigekuni  
April 7, 2008  
Page 2

The FEA should include general estimates of the anticipated numbers of attendees at these events, and discuss their potential impacts, i.e., traffic. Additionally, the FEA should include information about the potential Visitor Orientation Center (VOC) included on the CIP's preliminary site plan – its operations, staffing and an estimated average number of daily visitors.

As an overall comment, the FEA should address the potential impacts and mitigation measures of all of the operations and facilities related to the proposed project.

B. Page 9 - The DEA states that the proposed CIP is one of the first major projects proposed in the Diamond Head State Monument (DHSM) Master Plan Update. Reference to this Master Plan is made throughout the DEA.

The FEA should include basic information about the DHSM Master Plan, specifically its scope, adopting authority, implementing agency, legal status (i.e., statute or advisory), status of Master Plan implementation, and funding.

C. Page 11 - The DEA states that the Land Use Commission (LUC) determined that the entire project site was within the State Urban District. However, the site is zoned P-1 Restricted Preservation District, which is reflective of the State Conservation District, "thus the County zoning over the project site needs adjustment".

The FEA should indicate when the applicant intends to pursue the referenced zoning district boundary adjustment, and describe the results of any discussions conducted with the DPP Planning Division regarding this issue. Table 2 (List of Potential Permits and Approvals) on page 15 of the DEA should also be revised in the FEA to include the zoning district boundary adjustment if determined to be required.

D. Figure 4, Special Management Area (SMA) - Areas within the SMA on this Figure are shaded. The DPP recommends that in lieu of shading, areas within the SMA be identified by simply inserting the SMA boundary line on all applicable FEA figures, and on future project plans and maps for ease of preparation and review. It may be helpful to consult with the DPP's Geographic Information Systems (GIS) staff for information in this regard.

E. Pages 13-14 - These pages list all of the conditions of Resolution 92-193 for the previously-approved Plan Review Use (PRU) permit to expand the Kapiolani Community College. In its January 4, 2007, pre-consultation letter to you, the DPP commented that the status of compliance with all of the PRU conditions should also be described in the DEA. We note that the DEA does not include this information.

Section 21-2.120-3(b)(2) of the Land Use Ordinance (L.U.O) states that an application for a PRU cannot be accepted for processing if: "One or more conditions of the existing PRU which are due to be performed (other than conditions of a continuing nature whose performance is current) have not been fully performed.

Therefore, the FEA should describe the status of compliance with all conditions of Resolution 92-193.

F. Page 14, Section II.A.5.b., Required Permits and Approvals - The DPP notes that the heading of this Section is inconsistent with the heading for Table 2 - "List of Potential Permits and Approvals".

This Section and Table 2 should be consistent in the FEA regarding the land use approvals required for the project. The FEA should also describe the planned sequence of permit processing. As previously noted under Item B above, Table 2 should be revised in the FEA to include the zoning adjustment described on Page 11 of the DEA.

The FEA should describe the scope of the future PRU application for the project; it is unclear whether it will be limited to the CIP site, or will also include the main KCC campus. Under Item A above, the department has requested information regarding planned operations of the CIP, and its relationship with the main KCC campus. As already noted, this information is relevant to the scope of the future PRU application.

Related to permit sequencing, the FEA should state that City Council approval of the project's Special Management Area Use Permit (Major) and Plan Review Use (PRU) permit will be required prior to the DPP's acceptance and processing of the project's Special District Permit (Major) application.

G. Page 15, Table 2 and Page 16 - The first permit/approval listed in Table 2 is 'Section 106, National Historic Preservation Act Review', and its status is listed as 'Completed'. Page 16 then refers to a December 26, 2006, letter from the State Historic Preservation Division (SHPD) which stated that the project would have "no adverse effect".

It is unclear whether this SHPD statement indicates satisfaction of the National Historic Preservation Act requirements.

Therefore, the FEA should describe the requirements of the Act and definitively state whether they have been satisfied. The FEA should also specifically state whether the noted completion applies to architectural resources, archaeological resources, or both.

If archaeological resources are not covered, the FEA should describe how the project proposes to address archaeological issues, and any consultations with SHPD in that regard.

H. Page 17, Section 11. B.1. and B.2. - Section B.1., Use Characteristics, states that the site is vacant, the abandoned buildings having been burned down in 2003. However, Section B.2., Physical Characteristics, states "Existing structures and improvements on the site include the foundation of the Cannon Club (former Fort Ruger Officers' Club) which burned down in September 2003, a luau pavilion, a sundeck, upper and lower parking lots, three driveways, a sentry station, and six concrete pads".

The FEA should clarify what structures remain on the site.

Additionally, the FEA should include an existing site plan that can be compared to the proposed preliminary site plan (Figure 3), particularly with regard to the locations of the existing and proposed driveways, parking and interior circulation, and structures (if any remain).

I. Page 19, Landscaping - This section describes the proposed landscape plan but it does not include impacts on existing trees (especially those 6 inches or more in caliper). There should be a tree disposition plan showing those trees to be removed, relocated, replaced or remain. This tree disposition plan should be supported by a qualified arborist.

J. Page 58, Archaeological Resources - This section notes that SHPD's December 26, 2006, letter stated that the project would have 'no adverse effect'. However, as previously noted under Item G, it is not clear whether SHPD's letter refers to architectural and/or archaeological resources.

This section should also be clarified in the FEA and describe how archaeological resources and requirements are being addressed.

K. Page 59, Coastal Ecosystems - Under the Discussion, the DEA notes that the project is not expected to have an effect on coastal ecosystems since the site is located on the northern slope of Diamond Head and is not adjacent to the coastline.

To emphasize this point, it would be helpful for the FEA to include an approximate distance between the project site and the nearest coastal area.

L. Page 74, Honolulu Bicycle Master Plan - The DEA describes one of the bicycle facilities proposed under the Diamond Head State Monument Master Plan Update as a multi-user, grade-separated pedestrian/bike path along Diamond Head Road between 22nd Avenue and the Cannon Club.

The FEA should indicate which government agency has purview over this facility, as well as the facility's status, i.e., planning and implementation.

M. Figure 15, and Page 73, V.I.C.3 - Figure 15, a map of the Diamond Head Special District (DHSD), should be revised in the FEA to identify the Core area of the DHSD. Further, the FEA should clarify in Section VI.C.3. that the project site is within the DHSD Core area, and therefore requires a Special District Major Permit.

N. Miscellaneous - The DPP notes that some of the information requested in our pre-consultation letter to you has either not been provided in the DEA, or is inadequate, including:

1. View Study - The DPP had requested that a view study be included in the DEA of the project in relation to the prominent public vantage points and design controls of the Diamond Head Special District. Unfortunately, the view study images contained in the DEA are unclear to the point of being unreadable. Further, the study does not provide the view analysis of the proposed project in terms of design controls (i.e., height of the DHSD) and density in relation to the special district's public viewing areas.
2. Project Plans - Your January 30, 2008, response letter to the DPP stated that project plans, drawn to scale, would be included in the DEA showing the following: total project density; proposed number of buildings and structures, the size (building and floor areas, heights, number of floors) and functions of each; planned setbacks of all structures from perimeter property lines; and the location and number of parking and loading spaces to service the development.

Unfortunately, the DEA contains no such plans. We acknowledge that setbacks for the proposed CJP facility are described on Page 19 of the DEA. Nonetheless, we reiterate that these plans should be included in the FEA to provide a general idea of the facility's height, density and visual impacts. As a reminder, only conceptual plans, not construction-level plans, are required.

3. Approximate Project Costs and Development Schedule - Page 33 of the DEA states that the project is estimated to cost approximately \$35 million in 2007 dollars, however, there is no project development schedule provided.

The FEA should include an updated project cost if available as well as a general development schedule.

It would be useful to add the following information to Section I., General Information, in the FEA, project zoning (and respective acreages), updated estimated project cost, development schedule, and major land use permits required. The provision of this project data upfront will assist reviewers and preclude the need to search throughout the document for this basic information.

II. Civil Engineering, Drainage, Wastewater:

- A. Page 15, Table 2: Project will require a trenching permit. Also, construction plans must be submitted to the DPP for review and approval of the Ordinance 2412 improvements.
- B. Page 18, Section II.B.3. (Construction Characteristics): 1) This section should clarify the purpose of the roadway improvements within the City ROW. According to Page 24 of the Preliminary Engineering Report (Appendix G), Ordinance 2412 frontage improvements are required; 2) The second to the last sentence of Paragraph 5 is incorrectly stated. According to DFM's January 18, 2007 letter, "The single purpose infrastructure, such as roadways, drainage systems and other roadway improvements WITHIN THE SUBJECT PROPERTY shall not be dedicated to the City or maintained by the City."
- C. Page 39, Section II.D.2. (Topography). The description provided by Geolabs should be relocated to Page 42 (Federal FIRM Zone, LUO Flood Hazard District, Other Geological Hazards).
- D. Page 42, Section II.D.4. (Federal FIRM Zone, LUO Flood Hazard District, Other Geological Hazards). 1) This section should clearly describe the existing rockfall hazards that affect the project site; 2) If the vegetation above the project site is stripped, for example by fire, is Geolabs' recommendation to install standard chain-link fencing still adequate to address the rockfall hazard? How high is the chain-link fence? Where will it be installed?
- E. Page 83, Item 11: The FEA should address the project's rockfall hazard.
- F. Appendix G (Preliminary Engineering Report): 1) The report must be stamped and signed by a licensed civil engineer; 2) The FEA should identify the specific topics when references are made to Appendix A thru D, i.e. Site Photographs, Drainage Calculations, Soils Map & References; 3) Drainage Recommendation indicates that off site drainage will be routed via a cut-off ditch. The FEA should state that a detailed surface runoff analysis will address any anticipated increase in discharge (concentrated flow) as a result of collecting off-site sheetflows and redirecting them into an existing underground drainage system.
- G. The Department of Design and Construction (DDC) has informed the DPP's Wastewater Branch that the existing 8-inch sewer line on Wauke Street (as

shown on the attached plan), which is the proposed project's connection point, is experiencing maintenance problems. Therefore, the DDC will require this sewer line to be rehabilitated/replaced prior to connection of the proposed project. The applicant should contact the DDC for specific details of the rehabilitation/replacement requirements.

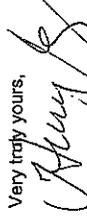
This improvement requirement, and the applicant's need to consult with the DDC, should be described in the FEA.

III. Traffic:

- A. The DTS planning area map shows a 17-foot road widening setback shown on along Diamond Head Road. Provisions to widen this section of Diamond Head Road along the project site should be addressed in the Final Environmental Assessment (EA).
- B. Currently, Diamond Head Road has two travel lanes in each direction. The traffic study should provide a detailed analysis of the benefits of constructing a separate left turn lane into the property.
- C. The document should address the anticipated movement of pedestrians, bicyclists and vehicles between the Culinary Institute and the main Kapoliiani Community College campus. Provisions to accommodate this should be included in the Final EA.
- D. Adequate vehicular sight distance to pedestrians and other vehicles should be provided and maintained at all driveways that egress onto Diamond Head and should be constructed as standard City dropped driveways. Driveway grades should not exceed 5 percent (5%) for a minimum of 25-feet from the pedestrian sidewalk.
- E. Construction plans for all work within or affecting Diamond Head Road should be submitted to the City for review and approval.

We appreciate this opportunity to provide comments. Should you have any questions related to the land use issues noted herein, please contact Geri Ung of our staff at 768-8034; questions concerning the civil engineering and drainage comments should be directed to Don Fujii and Leonard Furukawa at 768-8107 and 768-8105, respectively; questions pertaining to the wastewater comments should be addressed to Scott Gushi at 768-8207; and questions related to the comments concerning traffic should be directed to Mei Hirayama at 768-8077.

Very truly yours,



Henry Eng, FAI, CP, Director  
Department of Planning and Permitting

HE:pl

cc: CEB, WWB, TRB

Doc. 006278



March 10, 2009

Mr. Henry Eng  
SUBJECT: KAPI'OLANI COMMUNITY COLLEGE (KCC) CULINARY INSTITUTE OF THE PACIFIC (CIP) DRAFT ENVIRONMENTAL ASSESSMENT  
March 10, 2009  
Page 2

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RUSSELL CHUNG, ASLA  
Executive Vice-President

VINCENT SHEIKHANI  
Vice-President

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Chairman Emeritus

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Mr. Henry Eng, FAICP, Director  
Department of Planning and Permitting  
City and County of Honolulu  
650 South King Street, 7<sup>th</sup> Floor  
Honolulu, Hawaii 96813

Attn: Ms. Geri Ung

**SUBJECT: KAPI'OLANI COMMUNITY COLLEGE (KCC) CULINARY INSTITUTE OF THE PACIFIC (CIP) DRAFT ENVIRONMENTAL ASSESSMENT**

Dear Mr. Eng:

Thank you for your letter dated April 7, 2008 (your reference number 2008/ELOG-586(gu)). We have reviewed your letter and offer the following response to your comments.

I. Land Use Issues

A. Pages 6-8, Project Description. As requested, the Final EA (EA) will clarify that the main campus will continue to offer food service courses and programs. The CIP is an additional facility. The current culinary degree program will be retained on the KCC campus with the CIP facility offering new third and fourth year advanced courses. The curriculum will be aligned with the two year degree currently offered and as well as offering further education to graduates, and will also offer advanced education for industry professionals wishing to advance their culinary and culinary management skills.

As requested, the Final EA will include the general estimates of the anticipated number of attendees at cultural events, chef demonstrations and lectures, culinary competitions, and visitor tours and their related traffic impacts. Please note that the farmers' market will not be relocated to the CIP campus.

The Visitor Orientation Center (VOC) will not be built as part of this project. Subsequent to the publication of the Draft EA, the Diamond Head Citizen's Advisory Committee commented that "the Monument's Visitor Orientation Center in the draft EA is unnecessary and should be removed." As such, the VOC has been removed from an updated preliminary site plan in the Final EA.

B. Page 9. As requested, the Final EA will include information about the *Diamond Head State Monument (DHSM) Master Plan*, including its scope, adopting authority, implementing agency, legal status, status of Master Plan implementation and funding.

C. Page 11. As requested, the Final EA will disclose discussions with DPP regarding the fact that existing County zoning is not consistent with the recently State Land Use Urban District designation over the entire site. Table 2 will be revised to note that the City and County of Honolulu will need to adjust the zoning district boundary in the future, but not necessarily for the proposed project.

D. Figure 4, Special Management Area (SMA). As requested, the applicable Final EA Figures will be revised to include the SMA boundary line.

E. Pages 13-14. As requested, the status of KCC's compliance with the conditions of Resolution 92-193 for the previously-approved Plan Review Use (PRU) permit to expand KCC will be included in the Final EA.

F. Page 14, Section II.A.5.b, Required Permits and Approvals. As requested, Table 2 will be revised to read as follows: "Required Permits and Approvals."

As requested, the Final EA will describe the desired sequence of permit processing. As noted above, Table 2 will be revised to note that the City and County of Honolulu will need to adjust the zoning district boundary in the future, but not necessarily for the proposed project.

Please note that the scope of the PRU application will be limited to the CIP site.

As requested, the Final EA will state that City Council approval of the project's Special Management Area Use Permit (Major) and Plan Review Use (PRU) permit will be required prior to DPP's acceptance and processing of the project's Special District Permit (Major) application.

G. Page 15, Table 2 and Page 16. The Final EA will include a discussion that the State Historic Preservation Division's (SHPD) letter satisfies the National Historic Preservation Act's requirements for historic review for architectural and archaeological resources.

H. Page 17, Section II.B.1. and II.B.2. As requested, the Final EA will be revised to clarify what structures remain on the site. The Final EA will include a figure consisting of a composite of the proposed site plan over the existing paved areas, driveways, former building sites, etc.

I. Page 19, Landscaping. An arborist report has been prepared and includes the number and species of trees, condition of the trees, involvement of certified arborists in assessing and protecting the trees, physical tree protection plans, and proposed tree removals and/or relocations. The arborist report will be included in the FEA.

J. Page 58, Archaeological Resources. The Final EA will definitively state that SHPD's letter addresses review of both architectural and archaeological resources.

K. Page 59, Coastal Ecosystems. The approximate distance between the project site and the nearest coastal area is approximately 5,000 feet. This information will be included in the Final EA.

L. Page 74, Honolulu Bicycle Master Plan. As requested, the Final EA will identify the Division of State Parks as the government agency that has purview over the proposed Diamond Head Linear Park, for which a Special Management Area Use Permit is required and construction is not funded.

M. Figure 15, and Page 73, VI.C.3. As requested, Figure 15 in the Final EA will be revised to identify the Core area of the Diamond Head Special District. Section VI.C.3 *Diamond Head Special District* of the Final EA will be revised to note that the project site is within the Diamond Head Special District Core area, and therefore requires a Special District Major Permit.

#### N. Miscellaneous.

1. View Study. Due to EA feedback the CIP facility has been lowered on the site to reduce visual impact from the public vantage points identified in the Diamond Head Special District Ordinance. The Final EA will contain a CD of the Appendices which will include the revised Preliminary Visual Analysis in a colored, full page format.

2. Project Plans. As requested, the Final EA will include conceptual plans showing total project density; proposed number of buildings and structures; the size (building and floor areas, heights, number of floors) and functions of each; planned setbacks of all structures from perimeter property lines; and the location and number of parking and loading spaces to service the development.

3. Approximate Project Costs and Development Schedule. As requested, a written description of the estimated project development schedule, project zoning (and approximate acreages), major land use permits required, with an updated project cost estimate (if available), will be included in Section I. *General Information* of the Final EA.

## II. Civil Engineering, Drainage, Wastewater

A. Page 15, Table 2. Table 2 of the Final EA will be revised to acknowledge that a trenching permit will be required for the project. KCC acknowledges that construction plans will be submitted to the DPP for review and approval of the Ordinance 2412 improvements.

B. Page 18, Section II.B.3. (Construction Characteristics). This section will be revised to clarify the purpose of the roadway improvements within the City right-of-way of Diamond Head Road.

We apologize for the typographical error, the second to the last sentence of paragraph of Section II.B.3. *Construction Characteristics* of the Final EA will be revised accordingly.

C. Page 39, Section II.D.2. (Topography). As requested, the description provided by Geolabs will be relocated to Section II.D.4. *Federal FIRM Zone, LUO Flood Hazard District, Other Geological Hazards* of the Final EA.

D. Page 42, Section II.D.4. (Federal FIRM Zone, LUO Flood Hazard District, Other Geological Hazards). As requested, Section II.D.4. *Federal FIRM Zone, LUO Flood Hazard District, Other Geological Hazards* of the Final EA will be revised to address: the potential rockfall hazards that may affect the project site; whether if vegetation above the site is stripped, the recommended fencing adequate; the height of the fencing; and where the fencing will be installed.

E. Page 83, Item 11. This section of the Final EA will be revised to address the project's potential rockfall hazard.

F. Appendix G (Preliminary Engineering Report). The Preliminary Engineering Report (PER) was prepared for the Draft EA by The Limitaco Consulting Group, but the civil engineer that will be supporting the project architect (Ferraro Choi & Associates, Ltd.) will be a different civil engineer (Kim & Shiroma Engineers, Inc.). While the PER attached to the Draft EA was reviewed and approved by Kim & Shiroma Engineers, Inc., a new PER will be prepared and included in the SMA Use Permit and PRU applications.

As requested, the Final EA will identify the specific topics where references are made to Appendix A through D of the PER.

As requested, the Final EA will state that a detailed surface runoff analysis will address any anticipated increase in discharge (concentrated flow) as a result of collecting off-site sheetflows and redirecting them into an existing underground drainage system.

G. The project civil engineer, Kim & Shiroma Engineers, Inc., has been informed that he should contact the City's Department of Design and Construction for specific details on the rehabilitation/replacement requirements for the connection to the existing 8-inch sewer line on Wauke Street, which is currently experiencing maintenance problems. This will be noted in the Final EA.

## III. Traffic

A. According to the DPP Traffic Review Branch (TRB) right-of-way requirements map, Diamond Head Road does not need to be widened in the location of the CIP. There appears to be a discrepancy between the DTS planning area map and the DPP TRB right-of-way requirements map.

B. The Traffic Impact Assessment Report (TIAR) determined that a separate left-turn lane into the property was not required.

C. The Final EA will address the movement of pedestrians, bicyclists and vehicles between the proposed project and the main KCC campus.

Mr. Henry Eng  
SUBJECT: KAPĪOLANI COMMUNITY COLLEGE (KCC) CULINARY INSTITUTE OF  
THE PACIFIC (CIP) DRAFT ENVIRONMENTAL ASSESSMENT  
March 10, 2009  
Page 5

D. We appreciate the information provided on required vehicular site distance and driveway grades and will forward the information to the appropriate parties on the design team.

E. KCC acknowledges that construction plans for all work within or affecting Diamond Head Road should be submitted to the City for review and approval.

Thank you again for your participation in the Environmental Assessment process. If you have any questions regarding this project, please do not hesitate to contact me at 521-5631.

Sincerely,



Michael S. Shibata  
Planner

cc: Ms. Katherine P. Kealoha, Office of Environmental Quality Control  
Mr. Michael Unebasami, University of Hawai'i Community Colleges

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HONOLULU FIRE DEPARTMENT  
CITY AND COUNTY OF HONOLULU

628 South Street  
Honolulu, Hawaii 96813-5007  
Phone: 808-723-7139 Fax: 808-725-7111 Internet: www.honolulu.gov/hfd



KAUF HARRISMAN  
INCORP

KENNETH G. SILVA  
FIRE CHIEF  
ALVIN K. TOMITA  
DEPUTY FIRE CHIEF

April 3, 2008

Mr. Michael Shibata  
PBR Hawaii & Associates, Inc.  
ASB Tower  
1001 Bishop Street, Suite 650  
Honolulu, Hawaii 96813

Dear Mr. Shibata:

Subject: Draft Environmental Assessment (DEA)  
Kapiolani Community College Culinary Institute of the Pacific  
Honolulu, Oahu, Hawaii  
Tax Map Key: 3-1-042: 011

In response to your letter dated March 4, 2008, regarding the above-mentioned subject, the Honolulu Fire Department reviewed the material provided and has no additional comments. Please refer to our comments of November 16, 2006, which are included in the DEA.

Should you have any questions, please call Battalion Chief Socrates Bratakos of our Fire Prevention Bureau at 723-7151.

Sincerely,



KENNETH G. SILVA  
Fire Chief

KGS/SY:bn

cc: Office of Environmental Quality Control  
Michael Unebasami, University of Hawaii



March 10, 2009

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MUFI KAHARIBIAN  
MAYOR

OUR REFERENCE BS-KP

BOISSE P. CORREA  
CHIEF  
PAUL O. PUTZULU  
MICHAEL O. TUCKER  
DEPUTY CHIEFS

March 10, 2008

**SUBJECT: KAPI'OLANI COMMUNITY COLLEGE (KCC) CULINARY INSTITUTE OF THE PACIFIC (CIP) DRAFT ENVIRONMENTAL ASSESSMENT**

Attn: Battalion Chief Socrates Bratakos

Mr. Michael Shibata  
PBR Hawaii & Associates, Inc.  
ASB Tower, Suite 650  
1001 Bishop Street  
Honolulu, Hawaii 96813-3484

Dear Mr. Shibata:

Thank you for your letter dated April 3, 2008. We acknowledge that the Honolulu Fire Department has no additional comments, and that comments provided in a letter dated November 16, 2006, on the pre-consultation for the Draft Environmental Assessment, are still applicable.

Thank you again for your participation in the Environmental Assessment process. If you have any questions regarding this project, please do not hesitate to contact me at 521-5631.

Sincerely,

*Michael S. Shibata*

Michael S. Shibata  
Planner

cc: Ms. Katherine P. Kealoha, Office of Environmental Quality Control  
Mr. Michael Unebasami, University of Hawai'i Community Colleges

O:\JOB\818\824.02 Diamond Head\HEAD\Dr EA Comment Letters\BL-07 HFD Response.doc

This is in response to your letter of March 4, 2008, requesting comments on a Draft Environmental Assessment for the Kapi'olani Community College (KCC) Culinary Institute of the Pacific project in Honolulu.

On page 35 of the assessment, it notes that KCC will have its own security personnel monitoring the area and that they will notify the Honolulu Police Department when construction begins. Given that, we expect no unanticipated impact on our facilities or operations.

If there are any questions, please call Major Marie McCauley of District 7 at 529-3362 or Mr. Brandon Stone of the Executive Office at 529-3644.

Sincerely,

BOISSE P. CORREA  
Chief of Police

By *Deborah A. Tandall*  
DEBORAH A. TANDAL  
Assistant Chief of Police  
Support Services Bureau

cc: OEQC  
Mr. Michael Unebasami, UHCC

*Striving and Protecting Withi Aloha*



March 10, 2009

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DEPARTMENT OF THE ARMY  
U.S. ARMY ENGINEER DISTRICT, HONOLULU  
FORT SHAFTER, HAWAII 96858-5440

April 11, 2008

REPLY TO  
ATTENTION OF:

Regulatory Branch

File No. POH-2005-274

Mr. Michael Shibata  
PBR Hawaii  
1001 Bishop Street, Suite 650  
Honolulu, HI 96813

Dear Mr. Shibata:

This letter is in response to your request for comments on the Kapiolani Community College Culinary Institute of the Pacific project to be located on the northern slope of Diamond Head Crater, Honolulu, Hawaii (TMK: 1-3-1-42:11). We have reviewed the information provided in the draft Environmental Assessment regarding the Corps' authority to issue Department of the Army (DA) permits pursuant to Section 404 of the Clean Water Act.

Based on the information in the dEA, the subject area consists entirely of uplands and is absent of waters of the U.S. It is anticipated that proposed activities will not involve the discharge of dredged or fill material into waters of the U.S. Based on this understanding, a DA permit will not be required.

Should you have any questions regarding this jurisdictional determination, please contact Ms. Joy Anamizu at (808) 438-7023, by facsimile at (808) 438-4060 or by email at [joy.n.anamizu@usace.army.mil](mailto:joy.n.anamizu@usace.army.mil) and refer to file number above.

Sincerely,

George P. Young, P.E.  
Chief, Regulatory Branch

**SUBJECT: THE KAPĪ'OLANI COMMUNITY COLLEGE (KCC) CULINARY INSTITUTE OF THE PACIFIC (CIP) DRAFT ENVIRONMENTAL ASSESSMENT**

Dear Chief Correa:

Thank you for your letter dated March 10, 2008 (your reference number: BS-KP). We acknowledge your assessment that the project should have no unanticipated impact on the facilities or operations of the Honolulu Police Department, given that KCC will have its own security personnel monitoring the area and that KCC will notify the Honolulu Police Department when construction begins.

Thank you again for your participation in the Environmental Assessment process. If you have any questions regarding this project, please do not hesitate to contact me at 521-5631.

Sincerely,

Michael Shibata  
Planner

cc: Ms. Katherine P. Keatoha, Office of Environmental Quality Control  
Mr. Michael Unebasami, University of Hawai'i Community Colleges

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April 28, 2008



March 10, 2009

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Mr. George P. Young, P.E., Chief  
Regulatory Branch  
Department of the Army  
U.S. Army Engineer District, Honolulu  
Fort Shafter, Hawai'i 96858-5440

Attn: Ms. Joy Anamizu

**SUBJECT: KAPI'OLANI COMMUNITY COLLEGE (KCC) CULINARY  
INSTITUTE OF THE PACIFIC (CIP) DRAFT ENVIRONMENTAL  
ASSESSMENT**

Dear Chief Young:

Thank you for your letter dated April 11, 2008 (your reference number: POH-2005-274). We concur that the subject property consists entirely of uplands and is absent of waters of the U.S. We also concur with your assessment that the proposed activities will not involve the discharge of dredged or fill material into waters of the U.S. and that a Department of the Army (DA) permit will not be required.

Thank you again for your participation in the Environmental Assessment process. If you have any questions regarding this project, please do not hesitate to contact me at 521-5631.

Sincerely,

Michael S. Shibata  
Planner

cc: Ms. Katherine P. Kealoha, Office of Environmental Quality Control  
Mr. Michael Unebasami, University of Hawai'i Community Colleges

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**Re: Culinary Institute of the Pacific  
Kapiolani Community College  
Honolulu, Oahu (TMK (1) 3-1-42: 11)**

Dear Mr. Shibata:

Mr. Michael Shibata  
PBR Hawaii & Associates, Inc.  
ASB Tower - Suite 650  
1001 Bishop Street  
Honolulu, HI 96813-3484

Thank you for the opportunity to comment on this project. We apologize for the lateness of our response. HECO has no objections at this time. The following comments were received from our Engineering and Construction & Maintenance and Departments:

- (1) Engineering/Transmission & Distribution (Reese Tokunaga, 543-7004). Although HECO has existing electrical facilities within the subject property and will require continued access for maintenance purposes, we can find no evidence of any conflicts. We appreciate your efforts to keep us apprised of the planning process. As the project progresses, please continue to keep us informed. We will be better able to evaluate any effects on our system facilities further along in the project's development. We request that development plans show all affected HECO facilities and address any conflicts between the proposed plans and HECO's existing facilities. Please forward the pre-final development plans to HECO for review.

Should it become necessary to relocate or redesign HECO's facilities, or to add new facilities, please submit a request in writing immediately upon that determination, and we will work with you so that construction of the project may proceed as smoothly as possible to minimize any delays in or impacts on the project schedule. HECO shall not be responsible for any delay or damage that may arise as a result of insufficient notice for relocation of our facilities. Please note that there may be costs associated with any relocation work, and that such costs may be borne by the requestor.



Mr. Michael Shibata  
April 28, 2008  
Page Two

(2) Construction & Maintenance (Paul Nakagawa, 543-7062). For operation and maintenance purposes, the Construction & Maintenance Department will require continued access to any of our facilities that may be impacted by the proposed project, as covered by existing easements or agreements regarding location, operation or maintenance within the public rights-of-way. Should relocation of existing facilities or additional facilities become necessary as a result of this project, please submit a formal request and coordinate these activities with the appropriate HECO department(s).

To ensure HECO's continuing input in this project, I suggest dealing directly with the points of contact noted above.

Sincerely,

Kirk S. Tomita  
Senior Environmental Scientist

cc: OEQC  
Mr. Michael Umebasami (UHCC)  
R. Tokunaga/M. Lum/R. Tamayo  
P. Nakagawa

March 10, 2009

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Mr. Kirk S. Tomita  
Senior Environmental Scientist  
Hawaiian Electric Company, Inc.  
P.O. Box 2750  
Honolulu, Hawai'i 96840-0001

**SUBJECT: KAP'OLANI COMMUNITY COLLEGE (KCC) CULINARY  
INSTITUTE OF THE PACIFIC (CIP) DRAFT ENVIRONMENTAL  
ASSESSMENT**

Dear Mr. Tomita:

Thank you for your letter dated April 28, 2008. We acknowledge that HECO has objections at this time. We also acknowledge that HECO has existing electrical facilities within the subject property and will require continued access for maintenance purposes, but find no evidence of any conflicts. It is acknowledged that for operation and maintenance purposes, HECO's Construction and Maintenance Department will require continued access to any of its facilities that may be impacted by the proposed project, as covered by existing easements or agreements regarding location, operation or maintenance within the public rights-of-way.

Please be assured that as the project progresses, we will continue to coordinate with HECO through the project's electrical engineer. Please also be assured that development plans will show all affected HECO facilities and address any conflicts between the proposed plans and HECO's existing facilities. Pre-final development plans will be forwarded to HECO for its review.

Should it become necessary to relocate or redesign HECO's facilities, or to add to new facilities, a request will be submitted in writing as early as possible. We acknowledge that there may be costs associated with any relocation work, and that such cost may be borne by the requestor.

Thank you again for your participation in the Environmental Assessment process. If you have any questions regarding this project, please do not hesitate to contact me at 521-5631.

Sincerely,

Michael S. Shibata  
Planner

cc: Ms. Katherine P. Kealoha, Office of Environmental Quality Control  
Mr. Michael Umebasami, University of Hawai'i Community Colleges

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*Waianae (Hawaii)*

March 19, 2008

Mr. Michael Shibata  
PBR Hawaii  
ASB Tower, Suite 650  
Honolulu, HI 96813

Aloha Mr. Shibata:

Thank you for the opportunity to provide comments on the Draft Environmental Assessment for the Kapiolani Community College Culinary Institute of the Pacific. The mature trees on this project site are an extremely valuable resource that must be preserved and protected to the greatest possible extent. We are concerned with the near absence of any relevant information about the existing trees at the project site and anticipated tree-related issues as the project moves forward.

We strongly believe that the DEA should be revised in a manner that provides useful information about the site's existing tree resources including the number and species of trees, condition of the trees, involvement of certified arborists in assessing and protecting the trees, physical tree protection plans, proposed tree removals and/or relocations, plans for planting additional trees at the site, size and species proposed for plantings, etc.

Without providing the above suggested information, it is impossible for the public to determine the potential impacts of this project on the important tree resources of this portion of Diamond Head.

We appreciate your understanding and cooperation in taking the necessary steps to ensure that the trees at this site receive proper attention, treatment and protection.

Mahalo,

Bob 166  
Director of Environmental Programs

Cc: Office of Environmental Quality  
Michael Unebasami, University of Hawaii Community Colleges

1314 South King Street, Suite 306 • Honolulu, Hawaii 96814  
Telephone: 808.593.0300 • Fax: 808.593.0325 • Email: mail@outdoorcircle.org • www.outdoorcircle.org



March 10, 2009

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Mr. Bob Loy, Director of Environmental Programs  
Outdoor Circle  
1314 South King Street, Suite 306  
Honolulu, Hawaii 96814

**SUBJECT: THE KAPI'OLANI COMMUNITY COLLEGE (KCC) CULINARY  
INSTITUTE OF THE PACIFIC (CIP) DRAFT ENVIRONMENTAL  
ASSESSMENT**

Dear Mr. Loy:

Thank you for your letter dated March 19, 2008. We acknowledge your concern regarding the potential impacts of the project on important tree resources on this portion of Diamond Head. An arborist report has been prepared and includes the number and species of trees, condition of the trees, involvement of certified arborists in assessing and protecting the trees, physical tree protection plans, and proposed tree removals and/or relocations. The arborist report will be included in the Final EA. In addition, the Environmental Assessment will be revised in a manner that provides useful information about the project site's existing and proposed tree resources. A Conceptual Landscape Plan which includes plans for planting additional trees at the site, size and species proposed for plantings, will be prepared prior to the submittal of Plan Review Use (PRU) and Special Management Area (SMA) Use Permit applications to the City & County of Honolulu, Department of Planning and Permitting.

Thank you again for your participation in the Environmental Assessment process. If you have any questions regarding this project, please do not hesitate to contact me at 521-5631.

Sincerely,

Michael Shibata  
Planner

cc: Ms. Katherine P. Kealoha, Office of Environmental Quality Control  
Mr. Michael Unebasami, University of Hawaii Community Colleges

O:\O\B181\824.02 Diamond Head Camion Club\EA\Draft EA Comment Letters\BL\_04 -Outdoor Circle Response.doc



**DIAMOND HEAD/KAPAHULU/ST. LOUIS HEIGHTS NEIGHBORHOOD BOARD NO. 5**  
 c/o NEIGHBORHOOD COMMISSION • 530 SOUTH KING STREET ROOM 400 • HONOLULU, HAWAII, 96813  
 PHONE (808) 527-5749 • FAX (808) 527-5760 • INTERNET: <http://www.honolulu.gov>

April 14, 2008

PBR Hawaii  
 ASB Tower, Suite 650  
 1001 Bishop Street  
 Honolulu, Hawaii 96813  
 ATTN: Michael Shibata

Office of Environmental Quality Control  
 235 South Betzania Street, Suite 702  
 Honolulu, Hawaii 96813  
 Honolulu, Hawaii 96822  
 ATTN: Michael Unebarami

The Diamond Head/Kapahulu/St. Louis Heights Neighborhood Board appreciates the opportunity to offer several comments relating to the Kapioiani Community College Culinary Institute of the Pacific (KCC CIP) facility proposed to be developed on the exterior slope of the Diamond Head State Monument (DHSM). In light of expressed concerns, a task force was appointed by the Board to comprehensively review the KCC CIP Draft Environmental Assessment.

The Board's task force met on March 20 and March 25, and a summary of the concerns in the attached assessment evaluation report was provided to all board members at our regular monthly meeting on April 10, 2008. We wish to highlight the following:

- We question whether the expansion of the KCC campus into the Monument complicates with the DHSM Master Plan Update and EIS that has been previously adopted by the State.
- We are concerned about the huge mass of the proposed facility and its impact on the Monument slope, and we recommend multi-dimensional modeling of the KCC CIP to better evaluate the scale of the proposed facility and to determine the appropriateness of the structure.
- The projected population of students, faculty and general public causing traffic, parking and noise issues is of concern. We understand that the initial projection of 450 students and faculty was made in error, as noted by the PBR consultant, and that a bus stop may be considered in the future.
- It appears that the planned Monument visitor parking at the Cannon Club site and the Monument's Visitor Orientation Center have been inappropriately superseded and relocated by the KCC project under a DLNR lease to KCC for the entire Cannon Club site.
- The community values the planned DHSM Visitor Orientation Center improvements and the requirement for Monument visitor parking outside of the crater at the Cannon Club site as the preferred location in accordance with the DHSM Master Plan.

The Board has addressed the substance of the Draft Environmental Assessment and strongly requests that the concerns be addressed and resolved before the final environmental assessment is published. In addition, we applaud the effort to continue conducting a series of meetings with the general public to keep them informed.

Finally, in view of the possible significant visual impact of the proposed KCC CIP facility, and the potential conflict with the Diamond Head State Monument Master Plan, significant adverse impacts may indeed exist. Therefore, we could not concur with a Finding of No Significant Impact at this time, and advise that a full Environmental Impact Statement might be warranted.

Sincerely,

Bert Naita, Chairman  
 Diamond Head/Kapahulu/St. Louis Heights Neighborhood Board No. 5



Culinary Neighborhood Board System - Established 1973

**DIAMOND HEAD / KAPAHULU / ST. LOUIS HEIGHTS NEIGHBORHOOD BOARD  
 RESPONSE TO REQUEST FOR COMMENTS RELATING TO THE  
 KCC CULINARY INSTITUTE OF THE PACIFIC CUMULATIVE DEVELOPMENT  
 DRAFT ENVIRONMENTAL ASSESSMENT**

**BACKGROUND**

Diamond Head is a registered National Natural Landmark and State Historic Monument. The Hawaii Revised Statutes provide the following:

"The Diamond Head State Monument Plan... shall serve as the official document setting forth the future direction of the Diamond Head State Monument."<sup>1</sup>

The Diamond Head State Monument Master Plan Update and EIS, approved and adopted by the State Department of Land and Natural Resources (DLNR) in 2000 and 2003, outline the key planning elements for the Monument. These include relocating visitor parking to the exterior of the crater at the Cannon Club site, and also providing at this location a DHSM visitor orientation center to welcome visitors with guidance and information on the Monument's points of interest and to offer light refreshments and other amenities for visitor comfort.<sup>2</sup>

The former Cannon Club site was set aside for public purposes as part of the Diamond Head State Monument in 2002 by Governor's Executive Order,<sup>3</sup> and the Hawaii State Legislature appropriated \$260,000 in 2005 for the planning phase of the DHSM Visitors Orientation Center (VOC) in the vicinity of the Cannon Club site. The planning phase would include a siting plan, the Monument's visitor parking plan, conceptual design plans and any required land use permits.<sup>4</sup>

**SIGNIFICANT IMPACTS OF THE KCC CIP CUMULATIVE DEVELOPMENT**

**Prohibitive Structural Mass and Scale**

The Draft Environmental Assessment (DEA) states that "to the extent possible" the massive KCC CIP facility's appearance will be designed to minimize its visual impact from a distance.<sup>5</sup> Due to maximum structural height limits within and surrounding the Monument, the building mass of the KCC CIP would be displayed from afar as an obtrusive and artificial form conflicting with the natural formation and views of the crater. The KCC CIP facility would be a prominent structural interruption against the sloping natural terrain of the crater visible along the horizontal plane, including within the Waikiki resort area and the upper campus of UH Mānoa.<sup>6</sup> In addition, the DEA discloses that "This site will provide expansion opportunities for the KCC CIP to develop additional facilities."<sup>7</sup> This is of serious concern to the Board because significance of Diamond Head crater and the purpose of the Monument is not that of being an extension of a college campus.

<sup>1</sup> Hawaii State Statutes §6E-32 (c); Act 313, 1992

<sup>2</sup> 2000 Diamond Head State Monument Plan Update FEIS, pages 129, 133, 136, 137) and

<sup>3</sup> 2003 Diamond Head State Monument Master Plan Update (pages 73, 85, 97)

<sup>4</sup> Governor's Executive Order No. 3918, April 8, 2002

<sup>5</sup> House Bill 100, CDE, LNR Item 6, Plans for the Diamond Head Visitor Orientation Center, as attached.

<sup>6</sup> Diamond Head Citizens Advisory Committee Letter to DLNR Chairman Peter Young dated February 28, 2007

<sup>7</sup> per DHCAC Aiding Vice Chair, as attached.

<sup>8</sup> DEA, page 54 and 73.

<sup>9</sup> Example: Queen Liliuokalani Center's 4<sup>th</sup> floor maikai lanai.

<sup>10</sup> DEA, page 8 and Appendix B

The Board is also concerned about the DEA's curious absence of defined perimeter dimensions of the proposed facility and elevations drawn to scale, and notes that the LEED design certification would not be complete without solar electric power for the facility. Any structure at this site must not compromise the natural topography of Diamond Head's significant landmark, and must complement the Monument's natural environmental assets. Therefore, it will be essential to disclose the KCC CIP's contemplated dimensions, elevation relationships, and landscaping remedies in the Final Environmental Assessment.

#### Diamond Head State Monument Visitor Parking

The DEA states that there will be a reduction of the former Cannon Club's existing tiered parking areas to 119 parking stalls solely for KCC CIP parking,<sup>9</sup> with approximately 60 stalls proposed to be removed. The DEA further states that initially 291 culinary students and faculty would be using the facility in 2017,<sup>9</sup> and the "commercial food preparation facility"<sup>10</sup> would have a capacity to serve 175 dining patrons from 7 am to 10 pm. The DEA goes on to state that ultimately the facility's population would increase to 450 students and faculty,<sup>11</sup> including non-credit professionals sought globally for advanced executive training in the culinary industry.<sup>12</sup>

The Board is concerned that the DEA conflicts with the assurances of record by UH and KCC administrators that the existing parking terraces at the Cannon Club site would be shared with visitors to the Monument, as consistent with the DHSM Master Plan.<sup>13</sup> In fact, KCC's intent that Monument visitor parking would be a shared use incorporated in the proposed project was documented in their letter to the Senate Ways and Means Committee dated April 5, 2005, attached.

However, the DEA neglects to provide shared parking requirement calculations for the proposed facility's integration with the Monument's parking needs given the facility's future population and purposes for which it is being built. Possible solutions suggested for future parking shortages include use of the presently blighted State base yard on Monsarrat Avenue or constructing a second level of parking on existing parking areas to adeptly blend with the terrain, as well as the preferred alternative of expanding existing Cannon Club site parking areas to blend into the natural landscape. This is a key element that requires careful planning and clear disclosure in the proposed project's environmental review documents.

#### Traffic Circulation

Because the former Cannon Club parking area must accommodate visitors to the Monument in the future, the Board is concerned that an increasing number of culinary students and faculty using the proposed facility will not have adequate parking or public transportation to the facility. Therefore the Board believes that it is imperative to include a bus and trolley bay fronting the facility to encourage visitors, students and faculty to use public transportation in lieu of parking on site. However, the DEA discloses that there are no plans for vital public transportation to the facility, or any bus bay or sidewalks to be constructed fronting the project site.<sup>14</sup>

Moreover, the DEA suggests that DHSM visitor parking could be relocated to the open slope of the Monument along Diamond Head Road. As occasionally demonstrated by film studio and KCC

<sup>9</sup> DEA, pages 19 and 32

<sup>10</sup> DEA, page 8

<sup>11</sup> DEA, page 8

<sup>12</sup> DEA, page 6 and 9

<sup>13</sup> DHSM EIS, pages 129, 133, 136, 137 and Figure 10 and DHSM Update, pages 73, 85, 87 and Figure 20

<sup>14</sup> DEA, page 81

use of this area, a sea of cars at this location would mar the natural topographical and environmental character of the monument. Further, valuable open space and the DHSM Linear Park asset, planned broadly along the base of the Monument in this area, would be adversely impacted by Monument visitor parking displaced from the Cannon Club site for the purpose of projected present and future KCC parking expansion.

#### Diamond Head State Monument Visitors Orientation Center

As determined by the 2005 DHSM Business Plan developed jointly by UH and KCC graduate business students, the VOC is an essential visitor facility for administrative entry functions and necessary visitor amenities best located on the exterior of the crater instead of impacting the natural experience of the crater's interior with a park service facility. The DEA recognizes that the DHSM VOC is planned as a modest facility where Monument visitors would be provided with information about the crater, restroom facilities, and souvenirs and refreshments from small gift and snack shops. However, the DEA suggests planting the VOC in a most inappropriate location on the side of Diamond Head Road, similar to a roadside fast food pick-up stand.<sup>15</sup> The Monument's VOC would be best situated outside the Cannon Club site just east of the main driveway bordering the Cannon Club parking area, and accessed by the extended service road from the planned Makapu'u Avenue/Diamond Head Road entry to the DHSM.

#### **APPLICANT'S PROPOSED DECLARATION OF NO SIGNIFICANT IMPACT**

The DEA states the following:

According to the Environmental Impact Statement Rules (Section 11-200-12), an applicant or agency must determine whether an action may have a significant impact on the environment. In making the determination, the Rules establish "Significance Criteria" to be used as a basis for identifying whether significant physical and/or human environmental impacts will occur. According to the Rules, an action shall be determined to have a significant impact on the environment if it meets any one of the specific criteria.<sup>16</sup> (Emphasis added.)

The DEA uses criteria used in the DEA to support the applicant's proposed Finding of No Significant Impact, thereby attempting to relieve the applicant from performing due diligence with the full Environmental Impact Statement process. In fact however, the same criteria in reality demonstrates the potential significant adverse effect of the proposed project on the environmental qualities and recreational uses of the Monument resource discussed above, as follows:

- (1) Involves an irrevocable commitment to loss or destruction of any natural or cultural resources;
- (2) Curtails the range of beneficial uses of the environment;
- (3) Conflicts with the State's long-term environmental policies or goals and guidelines as expressed in Chapter 344, HRS, and any revisions thereof and amendments thereto, court decisions, or executive orders;
- (6) Involves substantial secondary impacts, such as... effects on public facilities;
- (7) Involves a substantial degradation of environmental quality;
- (8) Is individually limited but cumulatively has considerable effect on the environment, or involves a commitment for larger actions;
- (11) Affects or is likely to suffer damage by being located in an environmentally sensitive area, such as... erosion-prone area, geologically hazardous land...
- (12) Substantially affects scenic vistas and view planes identified in county or state plans or studies.

<sup>15</sup> DEA, page 7 and Figure 3.

<sup>16</sup> DEA, page 81.

University of Hawaii's  
**KAPĪOLANI COMMUNITY COLLEGE**  
Office of the Chancellor

April 5, 2005

Senator Brian Taniguchi, Chair  
and Members of the Committee  
Senate Ways and Means  
Senate  
State Capitol, Room 210  
Honolulu, HI 96813

Dear Senator Taniguchi and Members of the Committee:

I am writing in support of the Visitors Orientation Center (VOC) that is being proposed to support and assist visitors and Hawaii residents who visit the Diamond Head State Monument (DHSM). I understand that the Diamond Head Citizens Advisory Committee (DHCAC) has developed a business plan and operational plan that is comprehensive and addresses the various needs of the visitors as well as the operation of the VOC.

The VOC will complement KapĪolani Community College's proposed culinary and teaching facility on the slopes of Diamond Head. The funds for the planning phase of the Capital Improvement Project for the development of the Culinary Institute of the Pacific (CIP) at Diamond Head (on the site of the former Cannon Club) have been released and we are currently working with the consultant on the various permit processes.

The Diamond Head parking lot will be shared by the visitors to the DHSM and VOC during the day and by patrons, faculty, staff, and students of the CIP at Diamond Head during the evening. Also, due to the proximity of the VOC and DHSM, it is hoped that these visitors will decide to experience the CIP at Diamond Head culinary facilities. These are two of the many reasons that clearly demonstrate the benefit of appropriating funds for the VOC.

Your favorable consideration of the DHCAC request to include a CIP appropriation of \$260,000 in House Bill 100, H.D. 2 (Senate version) would be most appreciated.

Please contact me at 734-9565 should you have any questions.

Sincerely,

  
John Morton  
Chancellor

Therefore, given anticipated federal and state public funding for the proposed \$32 million KCC CIP project, the representations in the DEA, and the associated documented concerns, the Board believes that the proposed project will have a Significant Adverse Effect on the Diamond Head National Natural Landmark and State Historic Monument, and that an Environmental Impact Statement is warranted and necessary.

**CONCLUSION**

The Diamond Head/Kapahulu/St. Louis Heights Neighborhood Board appreciates the opportunity to fully review and respond to the KCC CIP Draft Environmental Assessment. With the applicant's serious consideration of the above concerns and implementation of the essential remedies for compliance with Diamond Head State Monument Master Plan, the Board looks forward to reviewing the Final Environmental Assessment for the proposed cumulative development.

4303 Diamond Head Road, Honolulu, HI 96816  
Telephone: (808) 734-9565, Facsimile: (808) 734-9162, www.kcc.hawaii.edu

TOTAL P.02

H.B. NO. 100  
H.D. 1  
S.D. 1  
C.D. 1

DIAMOND HEAD CITIZENS' ADVISORY COMMITTEE

February 28, 2007

Mr. Peter Young, Chair  
Board of Land and Natural Resources  
P. O. Box 621  
Honolulu, Hawaii 96809

RE: Kapiolani Community College's Letter Regarding the Visitor's Orientation Center

Mr. Young and Land Board Members:

The accompanying 1/26/07 letter from KCC's Dean Carol Hoshiko is of mutual concern to the DLNR and the college. It is forwarded for your information and a request for a response.

The DH/CAC does restate and confirm its support for the proposed KCC Culinary Institute development at the Cannon Club site. We are writing to urge DLNR's support of KCC's active planning efforts ongoing at this time.

To the planning effort we suggest that reinstating the 2006 appropriation intended for the Diamond Head Visitor's Orientation Center is a possible means for funding planning. Specifically sufficient planning could be commenced and accomplished so as to result in a coordinated effort with the Culinary Institute's current planning and permitting work. As the CJ property lies immediately at the Ewa boundary of the VOC site, they pretty much work together. I think you'd agree. This siting is deliberate as this is exactly the area where entry to the crater is planned to occur via the Kapahulu Tunnel. Detailed design (buildings, landscape etc.) would occur later, not now, however. Planning in a manner consistent with crater visitor parking, Kapahulu Tunnel usage, ticketing, food & beverage facilities, information booth, restrooms, administration are all called for on the master plan and now require a more detailed design development.

Incidentally, the VOC in no way competes with the proposed interpretive center sited for inside the crater, however it is a key part of the vehicular arrival/pedestrian entry experience function and operation. Physically VOC goes nowhere else nor can it.

We are of the opinion that less than the total \$300K appropriated needs to be spent on this particular planning.

The letter is to urge DLNR action to avoid confusion and delaying the design and to suggest the means for and selection of the best consultant possible to advance this particular planning work.

The questions Dean Hoshiko asks need answers. Respectfully, this is a request for you to give us information with which we can respond to KCC.

I think if you act now and constructively you'll not regret it. The people in Hawaii including DH/CAC will thank you for your foresight. Thank you for your concern.

Sincerely,

*Sidney E. Snyder, Jr.*

Sidney E. Snyder, Jr., AIA  
Acting Vice Chair  
Diamond Head Citizens Advisory Committee

enclosure

cc: Dan Quinn  
CAC

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CAPITAL IMPROVEMENT PROJECTS

ITEM NO.	PROJECT NO.	TITLE	EXPENDING AGENCY	APPROPRIATIONS (IN 000'S)		
				FISCAL YEAR 2005-2006	FISCAL YEAR 2006-2007	FISCAL YEAR 2007
6		DIAMOND HEAD VISITOR ORIENTATION CENTER, DARU				
7		PLANS FOR THE DIAMOND HEAD VISITOR ORIENTATION CENTER.				
		TOTAL FUNDING	260	260		C
8		LAWAI INTERNATIONAL CENTER, KUAHI				
9		DESIGN AND CONSTRUCTION FOR THE DEVELOPMENT OF THE LAWAI INTERNATIONAL CENTER. THIS PROJECT QUALIFIES AS A GRANT, PURSUANT TO CHAPTER 42F, HRS. DESIGN	100	400		
10		CONSTRUCTION	400	500		C
11		TOTAL FUNDING	500	500		C
12		DAUGHTERS OF HAWAII, HAWAII				
13		DESIGN AND CONSTRUCTION FOR IMPROVEMENTS TO HULIHEE PALACE IN KAILUA, KONA. THIS PROJECT QUALIFIES AS A GRANT, PURSUANT TO CHAPTER 42F, HRS. DESIGN	10	40		
14		CONSTRUCTION	40	50		C
15		TOTAL FUNDING	50	50		C



March 10, 2009

Mr. Bert Narita  
SUBJECT: KAPĪ'OLANI COMMUNITY COLLEGE (KCC) CULINARY INSTITUTE OF  
THE PACIFIC (CIP) DRAFT ENVIRONMENTAL ASSESSMENT  
March 10, 2009  
Page 2

**PRINCIPALS**

**THOMAS WITTEN, ASLA**  
*President*

**R. STANUNCAN, ASLA**  
*Executive Vice-President*  
**RUSSELL Y. CHUNG, ASLA**  
*Executive Vice-President*

**VINCENT SHIGEKUNI**  
*Vice-President*

**GRANT MURAKAMI, AICP**  
*Principal*

**CHAIRMAN/EMERITUS**

**W. FRANK BRANDT, ASLA**  
*Chairman Emeritus*

**ASSOCIATES**

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*Associate*

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1757 W. 19th Loop, Suite 4  
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Mr. Bert Narita, Chairman  
Diamond Head/Kapahulu/St. Louis Heights Neighborhood Board No. 5  
c/o Neighborhood Commission  
530 South King Street, Room 400  
Honolulu, Hawaii 96813

**SUBJECT: KAPĪ'OLANI COMMUNITY COLLEGE (KCC) CULINARY  
INSTITUTE OF THE PACIFIC (CIP) DRAFT ENVIRONMENTAL  
ASSESSMENT**

Dear Mr. Narita:

Thank you for your letter dated April 14, 2008. We have reviewed your letter and offer the following responses to your comments.

1. KCC and the State of Hawai'i Department of Land and Natural Resources believe that the proposed facility complies with Diamond Head State Monument Master Plan (DHSM) Update Final Environmental Impact Statement (EIS). Page 37 of the DHSM Master Plan Update Final EIS states: "...acquiring and utilizing the Cannon Club for food service and/or visitor orientation (either through renovation or replacement) and providing restroom facilities." Otherwise, the Board of Land and Natural Resources would not have leased the project site to the University of Hawai'i.
2. KCC appreciates the significance of Diamond Head as a natural landmark, and based on your Board's Task Force's concerns, has directed its architect to revisit the schematic architectural design for the proposed facility, including addressing the perceived building mass. Virtual 3-D modeling will be conducted to better evaluate the scale of the proposed facility. These revised drawings will be included in the Final EA.

3. We would like to take this opportunity to confirm in writing that the number of 450 future students and faculty was incorrectly stated in the Draft EA and will be corrected in the Final EA. Also, the Final EA will note that a future bus pull out will be incorporated into the project site plan.

4. We concur that a cursory review of the lease between DLNR and the University of Hawai'i would indicate that the lease is silent on the provision of a proposed Visitor Orientation Center (VOC) and future visitor parking on the subject property, but as University of Hawai'i Chancellor of Community Colleges, John Morton, has repeatedly stated over the years, it is KCC's intention to accommodate a site for a Visitor Orientation Center and accompanying parking space for approximately 60 stalls on the Cannon Club site by sharing parking.

Subsequent to receipt of your comments, the Diamond Head Citizens Advisory Committee wrote that the "...location proposed for the Monument's Visitor Orientation Center in the draft EA is unnecessary and should be removed." As such, the VOC has been removed from the project site plan.

5. As noted above, the schematic design of the proposed KCC CIP will be revised to address the apparent building mass and future bus pull out. These revisions will be incorporated into the design of the facility before the Final EA is published.
6. Please be assured that KCC is committed to initiate or attend meetings with the general public to keep them informed.
7. While KCC does not share the opinion that a full EIS is warranted, it will abide by whatever the accepting agency decides.

Thank you again for your participation in the Environmental Assessment process. If you have any questions regarding this project, please do not hesitate to contact me at 521-5631.

Sincerely,

Michael S. Shihbata  
Planner

cc: Ms. Katherine P. Kealoha, Office of Environmental Quality Control  
Mr. Michael Unebasami, University of Hawai'i Community Colleges

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## DIAMOND HEAD CITIZENS ADVISORY COMMITTEE

State Department of Land and Natural Resources, Division of State Parks

### RESPONSE TO REQUEST FOR COMMENTS RELATING TO THE KCC CULINARY INSTITUTE OF THE PACIFIC ON THE SLOPE OF DIAMOND HEAD DRAFT ENVIRONMENTAL ASSESSMENT

#### SIGNIFICANCE OF THE RESOURCE

Diamond Head crater is a registered National Natural Landmark and State Historic Monument. The Diamond Head State Monument Master Plan Update and EIS, approved and adopted by the State Department of Land and Natural Resources in 2000 and 2003, highlight key planning elements for the Monument. The Hawaii Revised Statutes provide the following:

The Diamond Head State Monument Plan... shall serve as the official document setting forth the future direction of the Diamond Head State Monument. The board of land and natural resources may amend the monument plan from time to time with the review and recommendations of the Diamond Head citizens advisory committee, organized in October of 1977.<sup>1</sup>

The former Cannon Club site on the slope of Diamond Head crater was set aside for public purposes as part of the Diamond Head State Monument in 2002.<sup>2</sup> The Draft Environmental Assessment (draft EA) for the Kapiolani Community College Culinary Institute of the Pacific (KCC CIP) was presented to the Diamond Head Citizens Advisory Committee (DHCAC) in February 2008. The DHCAC has the following concerns and recommendations pertaining to the development of this facility on this site as presently proposed:

#### MONUMENT VISITOR PARKING

The Diamond Head State Monument Master Plan calls for the relocation of visitor parking from the interior of the crater to the exterior, with the former Cannon Club site's existing terraced parking areas as the priority location for this purpose.<sup>3</sup> However, the draft EA proposes to remove 60 parking spaces from this area and leave approximately 119 parking stalls remaining solely for KCC parking.<sup>4</sup> The draft EA states that the subject parking would be used initially in 2017<sup>5</sup> by the proposed facility's 291 culinary students and faculty 14/7<sup>6</sup> and ultimately by 450 students and faculty, including non-credit professionals sought globally for advanced executive training in the culinary industry.<sup>7</sup>

<sup>1</sup> Hawaii State Statutes §6E-32(c), Act 313, 1992.

<sup>2</sup> Governor's Executive Order No. 3918, April 8, 2002.

<sup>3</sup> DHSM Master Plan EIS, Figure 10, and DHSM Master Plan Update, Figure 20, attached.

<sup>4</sup> DEA, pages 19 and 32.

<sup>5</sup> DEA, page 8.

<sup>6</sup> DEA, page 8.

<sup>7</sup> DEA, page 6 and 9.

Thus the DHCAC is seriously concerned that the draft EA conflicts with the Diamond Head State Monument Master Plan,<sup>8</sup> as well as assurances of record by University of Hawaii and KCC administrators that the existing parking terraces at the Cannon Club site would be shared with visitors to the Monument. In fact, the DHCAC was assured of this as recently as February and April 2008. This is further documented in a KCC letter to the Senate Ways and Means Committee dated April 5, 2005, as attached.

Given a) the facility's expansive size of 43,000 square feet, b) an initial KCC CIP student and faculty population of 291, c) the 7,000 square-foot commercial food preparation and dining room facility's<sup>9</sup> capacity of 175 patrons, and d) an auditorium capacity of approximately 92 attendees, it appears that the proposed 119 parking spaces are woefully insufficient for shared use with the established parking needs of visitors to the Monument. Further, other opportunities for KCC CIP parking may be available nearby outside the Monument, and the DHCAC continues to recommend that off-site parking locations not within the Monument and crater slopes be investigated for KCC's purposes.

This is a key area of concern. Clear quantification of the proposed facility's parking requirements should be found in the facility's plans and environmental review documents, including parking capacity computations for: a) the proposed facility's integration with the Monument's parking needs, and b) the facility's future population parking needs relative to the purposes for which it is being built.

#### TRAFFIC CIRCULATION

Anticipated traffic increases attributed in general to the proposed facility need to be addressed in order to alleviate present concerns expressed by the DHCAC and the surrounding neighbors. Further, important pedestrian and bicycle alternatives to vehicular access require studied coordination and inclusion in the proposed KCC CIP facility's plans and environmental review.

Connections to the KCC campus across from the Monument not present in the draft EA include sidewalks fronting the proposed KCC CIP facility along Diamond Head Road, and connections to the bicycle and pedestrian pathways through the Monument's planned linear park extension. The DHCAC recommends that the proposed KCC CIP plan should include improved sidewalks and bikeways sized to accommodate safe and efficient public use and connections with the KCC campus.

The DHCAC also has serious concerns about pushing parking into a belt around the base of the Monument. A proposed KCC CIP parking area appears to be as close as 25 feet to the curb along Diamond Head Road near Monsarrat Avenue, and this would create a sea of cars fronting the facility that would preclude accommodation of the planned linear park extension.

Further, the draft EA discloses that there are no plans to construct a dedicated bus stop recessed from the roadway fronting the project site for vital public transportation to the

<sup>8</sup> DHSM EIS, pages 129, 133, 136, 137 and Figure 10 and DHSM Update, pages 73, 85, 97 and Figure 20, attached.

<sup>9</sup> DEA, page 25.

facility.<sup>10</sup> Given that the former Cannon Club parking area must accommodate visitors to the Monument, the DHCAC is concerned that an increasing number of culinary students and faculty using the proposed facility will not have adequate parking or public transportation to the facility. The DHCAC believes it is imperative to include a recessed bus and trolley stop fronting the facility to encourage visitors, students and faculty to use public transportation in lieu of their vehicles.

#### INDUSTRIAL BUILDING MASS OF THE PROPOSED FACILITY

The importance of the view of Diamond Head and its natural appearance have long been recognized by the federal government in its registration as a National Natural Landmark,<sup>11</sup> by the State government in its statutory designation as a State Historic Monument,<sup>12</sup> and by the City and County of Honolulu in its protection under the Diamond Head Special Design District Ordinance.<sup>13</sup> Significant questions to be answered are a) whether the proposed structure is suitable for a most important State Monument and National Natural Landmark, and b) is the facility compatible with its significant location? Because there is a long natural and cultural history within and around this Monument site, it is important to provide a comprehensive understanding of the true magnitude and impact of the proposed facility's structural mass.

The draft EA states that "to the extent possible" the proposed facility will be designed to minimize its appearance from a distance.<sup>14</sup> However, the plans presented to the DHCAC but not provided in the draft EA show a building mass approximately 320 feet in length, with the highest elevations of the facility facing Monsarrat Avenue and fronting the crater's slope and ridge above. It has been the project architect's stated idea that the proposed facility should have a horizontal appearance, but, although horizontally stepped with the terrain, the excessively large façade creates the appearance of an industrial mass in scale and size.

Consequently, the football-field length of the proposed horizontal building mass would be viewed from any distance along the horizontal plane as an obtrusive and artificial form conflicting with the natural background of Diamond Head. For example, portions of the complex as illustrated in the proposed plans will be clearly visible from a number of vantage points, including Honolulu International Airport, Magic Island, Punchbowl Crater, Makiki Heights, Tantalus Roundtop, Upper Manoa, St. Louis Heights, and Maunalaui Heights as well as lower viewpoints such as the McCully bridge crossing the Ala Wai Canal, the Ala Wai Golf Course, Kapoliani Park, Kapahulu, and within the Waikiki resort area.<sup>15</sup> Certainly, from these vantage points the proposed structure would be an unwelcome and unnecessary visual intrusion on the natural crater's exterior slope.

<sup>10</sup> DEA, page 31.

<sup>11</sup> US Department of the Interior, 1968

<sup>12</sup> Chapter 6E, §6E-32, Hawaii Revised Statutes

<sup>13</sup> Revised Ordinances of Honolulu, §21-9.40-1

<sup>14</sup> DEA, page 54 and 73.

<sup>15</sup> Primary Urban Center Development Plan Significant Panoramic Views, Map A-1., attached.

The distant view of Diamond Head's volcanic tuff cone is one of a series of narrow ridges and valleys, and, together with attendant shadows the undulating slopes of the crater define its distinctive landform. The view of the natural ridges and valleys presents vertical lines and shadows radiating from the rim, and the character of this semi-wild crater needs to be reflected in any architectural design placed on it. Thus a series of vertical building elements would avoid the presently proposed horizontality that conflicts with the special and beautiful draw of the backdrop of Diamond Head.

Further, the DHCAC continues to be concerned about the facility's enclosed space of 43,000 square feet. This appears extremely large given the stated goals of having approximately 300 students and faculty; 2 to 3 classrooms; 3 to 4 teaching kitchens; the fine dining-kitchen complex, and other support functions. The DHCAC believes that with nearly eight acres of area, there is some leeway for alternatives to the visual density of the proposed facility, as well as opportunities to divide the present massing into visually separate scaled-back forms or structures. Further investigations may find that a reduction of the proposed facility's mass could be a series of shapes more sympathetic to the crater slope's form, and perhaps more of the building could be located at lower elevations in several parts rather than a single mass.

In addition, the DHCAC suggests that the uppermost level could be reduced in mass and the dining room placed at or near natural and existing grade. This might then provide the opportunity for a generously landscaped upper level parking entrance to the restaurant.

The proposed building mass is a most important concern which requires serious attention before the DHCAC can support the proposed facility's plans. This will benefit all parties, including KCC and their design consultants as well as the interested, affected and concerned public. The DHCAC remains committed to excellence, and Diamond Head, as a State Monument and National Natural Landmark, deserves no less.

#### ABSENCE OF ARCHITECTURE EMBRACING A HAWAIIAN SENSE OF PLACE

The present positioning of the building elevates the dining room complex above grade facing Monsarrat Avenue, and plans of the proposed facility do not indicate interior relationships to exterior uses, such as dining on a lanai or terrace with shade trees or a trellis. However, if situated on the site facing the shoreline and opening onto terraces toward the panoramic ocean view offered on the leeward side, the dining room would be protected from strong winds while being naturally ventilated. Moreover, this transition would bring building and site together with appropriate and sensitive design. Further, the use of natural ventilation in other areas will offer an opportunity to eliminate the enormous energy consumption of air conditioning, which will have genuine positive 'green' effects.

This site engagement could additionally provide many benefits of unique indoor-outdoor dining experiences, including a lanai and terraces with trellis and umbrella features. It is possible to integrate these as extensions of the indoor dining room, and here there is an exceptional opportunity to offer residents and visitors alike the traditional and desirable custom of Hawaiian indoors-and-outdoors dining in the pleasant climate and special setting of the site,

landscaped and quiet away from the thoroughfare below, and immersed in the natural beauty of the slopes of Diamond Head. Clearly, the dining experience at this significant location should be one with nature, and this would serve to integrate the proposed facility and the existing natural topography in a meaningful and positive way.

Moreover, the significance of this challenging site argues that any built result should be one of Hawaii's most successful designs - one that combines the semi-wild site, landscape plantings, and building architecture into excellence of form and compatibility with the Monument. This must be more than an educational facility, and the opportunity requires best efforts in working to achieve the exceptional outcome that is desired.

#### COLOR, TONE AND REFLECTIVITY

The proposed facility should not be inconsonant with the color, texture and tone of the crater's backdrop and surrounding terrain. Thus it will be important to state in the EA that color, texture and tone will be in harmony with the crater site, and there will be no reflective surfaces visible from distant vantage points. Sympathetic building materials and colors that blend well with the surrounding topography can move the project toward belonging to this site.

#### LANDSCAPE PLANTING AND NATURAL DRAINAGE PATTERNS

The proposed facility's plans presented to the DHCAC indicate a wall of trees on the subject site in the vicinity of Diamond Head Road and Monsarrat Avenue. Although not defined as such in the draft EA,<sup>16</sup> this wall of trees is apparently intended as a mitigation measure to form a camouflage screen fronting the building and soften the impact of the massive facility on the Monument's slope.

Any structure at this site must not compromise the natural topography of Diamond Head's significant landform and its drainage patterns. The DHCAC recommends the following:

- a) By undulation or otherwise avoiding a flat building façade, landscape planting can be introduced between portions of the building to be as fully integral to the facility as possible. In addition to tree planting along the site's frontage, greater landscape planting integrated with the building will in turn integrate the building with the site, because, as the site slopes uphill, there is an exceptional opportunity for the close coupling of building architecture with landscape plantings and the site's terrain.
- b) The facility's site plan should recognize the natural drainage swale which cuts downhill through the west end of the site, the majority of which is hidden in a neglected drain pipe.
- c) The keawe tree canopy characteristic to Diamond Head's lower exterior slope should be continued without interruption across the subject site with tree plantings of similar character, and without conspicuous colored flowers or leaves. These trees would frame exterior views as seen from within the buildings and on lanais and/or terraces, while in turn mitigating the visual impact of the buildings.

<sup>16</sup> DEA, page 45.

The DHCAC therefore requests that the landscape planting near the facility be integral to the architecture throughout the floor area and sensitive to the natural topography of the Diamond Head slopes and its drainage patterns, thus maximizing the Monument's natural environmental assets.

#### FUTURE FACILITIES

The Draft EA discloses that the subject site "will provide expansion opportunities for the KCC CIP to develop additional facilities."<sup>17</sup> Will future needs necessarily cause more growth and accommodation of inevitable expansion of KCC CIP structures? This is of serious concern to the DHCAC, because the purpose and significance of the Monument is not to be an extension of a college campus.

In addition, the draft EA proposes to place the Monument's planned Visitor Orientation Center on Diamond Head Road at a location remote to its purposes.<sup>18</sup> However, the Diamond Head State Monument Plan Update calls for this park entrance facility, not the KCC CIP as repeatedly claimed in the draft EA,<sup>19</sup> to be placed on the exterior of the crater adjacent to the relocated Monument visitor parking, as described herein, to provide Monument visitors with information about the Monument and its points of interest, and other amenities such as light food service and restroom facilities.<sup>20</sup> In 2005 the Hawaii State Legislature appropriated \$260,000 in 2005 for the planning phase of the Diamond Head State Monument Visitors Orientation Center in the vicinity of the Cannon Club site, to include a siting plan, the visitor parking plan, conceptual design plans and land use permits. The DHCAC is serious about reserving a well-planned space for the Monument's Visitor Orientation Center above the linear park along the base of the crater in this vicinity.

In contrast to the draft EA, recent discussions have revealed that a feasible location for the Monument's Visitor Orientation Center is just outside the subject site across from the former Cannon Club's existing terraced parking area, where the road serving the both the Kapahulu Tunnel and Kahala Tunnel would intersect with the upper driveway to the former Cannon Club site. Thus the road-stand location proposed for the Monument's Visitor Orientation Center in the draft EA is unnecessary and should be removed.

#### APPLICANT'S PROPOSED DECLARATION OF FINDING OF NO SIGNIFICANT IMPACT

The draft EA states the following:

According to the State's Environmental Impact Statement Rules (Section 11-200-12), an applicant or agency must determine whether a proposed development action may have a significant impact on the environment.

<sup>17</sup> DEA, page 8 and Appendix B.

<sup>18</sup> DEA, Figure 3.

<sup>19</sup> DEA, pages 9, 54 and 82.

<sup>20</sup> 2000 Diamond Head State Monument Plan Update FEIS, pages 129, 133, 136, and 137; and 2003 Diamond Head State Monument Master Plan Update, pages 73, 85, and 97.

In making the determination, the Rules establish "Significance Criteria" to be used as a basis for identifying whether significant physical and/or human environmental impacts will occur. According to the Rules, an action shall be determined to have a significant impact on the environment if it meets any one of the specific criteria.<sup>21</sup>  
(Emphasis added.)

Certain criteria are used in the draft EA in an attempt to support the applicant's anticipated Finding of No Significant Impact, which would relieve the applicant from conducting a full Environmental Impact Statement. But the following applicable criteria actually demonstrate potential significant adverse effect of the proposed facility on the environmental qualities and recreational uses of the resource as outlined herein:

- 1) Involves an irrevocable commitment to loss or destruction of any natural or cultural resources – e.g., impaired distant views, per page 3; transformatation to a college campus, per pages 1 and 5.
- 2) Curtails the range of beneficial uses of the environment – e.g., relocation of Monument parking from crater interior to existing terraced parking area at the subject site, per page 1.
- 3) Conflicts with the State's long-term environmental policies or goals and guidelines as expressed in Chapter 344, HRS, the State Environmental Policy Act: §344-1; §344-2; §344-3(1; 2a, 2c and 2d); and §344-4 (1a; 2a, and 2d; 3b; 4a and 4c; 6a, 6b, and 6c; 8e; and 10a) – e.g., significant adverse visual impacts, per pages 3, 4, 5 and 6; population and vehicular carrying capacity limits, per pages 1 and 2; absence of integration with topography and landscape planting, per pages 5 and 6; absence of alternate transportation means and connections; per pages 2 and 3.
- 6) Involves substantial secondary impacts, . . . effects on public facilities - occupies Monument visitor parking area, per page 1.
- 7) Involves a substantial degradation of environmental quality - visual intrusion of large building mass high on the subject site, per pages 3 and 4.
- 8) Is individually limited but cumulatively has considerable effect on the environment, or involves a commitment for larger actions - visual intrusion, per pages 3 and 4; future expansion of CIP facilities, per page 5.
- 11) Affects. . . an environmentally sensitive area – adverse visual impact on a National Natural Landmark and State Historic Monument, per pages 1, 3 and 4.
- 12) Substantially affects scenic vistas and view planes identified in county or state plans or studies – Hawaii State Plan (HRS §226-1; 4a.2; 11a.1 and 2, b.1, 3, 4, 7, 8 and 9; 12.a and b.1-5; 13a.1 and 2, and b.1, 2 and 8; 17a.1 and b.5 and 10-13; 23a and b.4, 5 and 10; 59a; and 104b.9, 10, 12 and 13); Honolulu

<sup>21</sup> DEA, page 81.

General Plan (III. Natural Environment, Objective A, Policies 1, 4, 6, 9, 10; and Objective B, Policies 1, 2 and 4); Honolulu Primary Urban Center Development Plan (Section 2.1 and Map A.1); Diamond Head Special District (ROH §21-9.40; 9.40-1a and b; 9.40-3a and b; and 9.40-4.a.8, 9 and 10, b.2a, and c.1 and 2); per pages 1-5.

Therefore given federal and state public funding for portions of the proposed project, the representations in the draft EA and resulting documented concerns, the DHCAC believes that the proposed project will have a Significant Adverse Effect on the Diamond Head National Natural Landmark and State Historic Monument, and that a full Environmental Impact Statement is warranted and necessary.

#### CONCLUSION

The DHCAC sincerely appreciates the several opportunities to meet with KCC and UH administrators and their consultants and to comment on the proposed facility's Draft Environmental Assessment. The DHCAC has and will continue to offer a strong and positive supportive role in efforts to create a successful CIP at the Cannon Club site.<sup>22</sup> With the applicant's serious consideration of the aforementioned concerns and inclusion of the recommended remedies, the DHCAC looks forward to reviewing the Final Environmental Assessment for the proposed KCC CIP facility prior to the KCC CIP Environmental Impact Statement.

<sup>22</sup> DHCAC Letter to BLNR dated February 28, 2007, attached

University of Hawaii  
**KAPI'OLANI COMMUNITY COLLEGE**  
 Office of the Chancellor

April 5, 2005

Senator Brian Taniguchi, Chair  
 and Members of the Committee  
 Senate Ways and Means  
 Senate  
 State Capitol, Room 210  
 Honolulu, HI 96813

Dear Senator Taniguchi and Members of the Committee:

I am writing in support of the Visitors Orientation Center (VOC) that is being proposed to support and assist visitors and Hawaii residents who visit the Diamond Head State Monument (DHSM). I understand that the Diamond Head Citizens Advisory Committee (DHCAC) has developed a business plan and operational plan that is comprehensive and addresses the various needs of the visitors as well as the operation of the VOC.

The VOC will complement Kapi'olani Community College's proposed culinary and teaching facility on the slopes of Diamond Head. The funds for the planning phase of the Capital Improvement Project for the development of the Culinary Institute of the Pacific (CIP) at Diamond Head (on the site of the former Cannon Club) have been released and we are currently working with the consultant on the various permit processes.

The Diamond Head parking lot will be shared by the visitors to the DHSM and VOC during the day and by patrons, faculty, staff, and students of the CIP at Diamond Head during the evening. Also, due to the proximity of the VOC and DHSM, it is hoped that these visitors will decide to experience the CIP at Diamond Head culinary facilities. These are two of the many reasons that clearly demonstrate the benefit of appropriating funds for the VOC.

Your favorable consideration of the DHCAC request to include a CIP appropriation of \$260,000 in House Bill 100, H.D. 2 (Senate version) would be most appreciated.

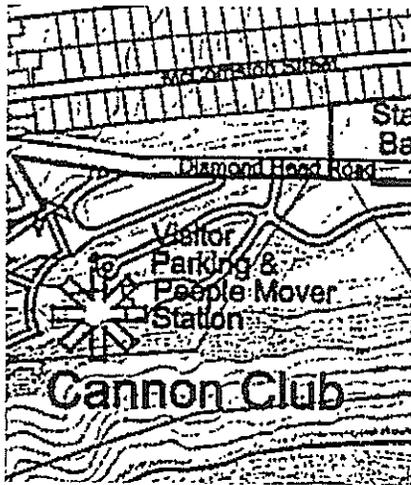
Please contact me at 734-9565 should you have any questions.

Sincerely,

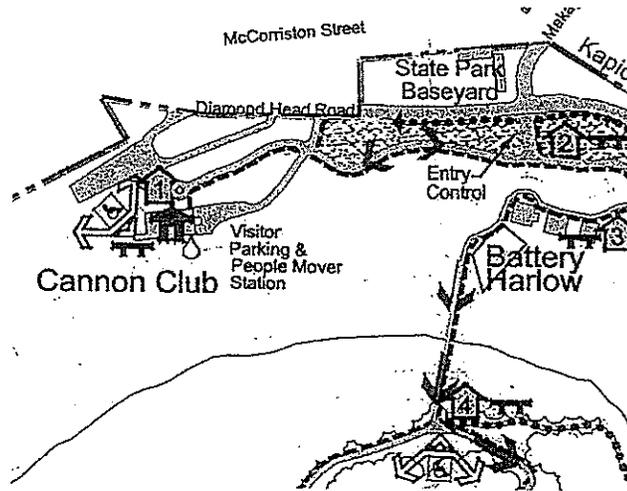
*John Morton*  
 John Morton  
 Chancellor

4303 Diamond Head Road, Honolulu, HI 96816  
 Telephone: (808) 734-9565, Facsimile: (808) 734-9162, www.kcc.hawaii.edu

TOTAL P. 02



2000 DHSM Final EIS



2003 DHSM Adopted Master Plan Update





March 10, 2009

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As shown on the preliminary site plan, the closest parking would be located approximately 44 feet from the existing road right-of-way.

Also, the Final EA will note that a future bus pull out will be incorporated into the project site plan. This would be highly desirable for the project because it would reduce the demand for parking by students, faculty and staff and it would be supportive towards a favorable Leadership in Energy and Environmental Design (LEED) rating for the proposed project. Since there is an existing bus stop near the intersection of Monsarrat Avenue and Wauke Street, this may require the replacement of the existing bus stop with one fronting the property, impacting those nearby residents who rely on the bus for transportation, however, it should be noted that it is the City and County of Honolulu who makes the final decision as to the location of bus stops.

**INDUSTRIAL BUILDING MASS OF THE PROPOSED FACILITY**

In response to the DHCAC's comments, the schematic design of the project has been redesigned to mitigate concerns that the proposed CIP facility had an industrial building mass appearance. An updated preliminary site plan will be included in the Final EA. One of the results of the redesign is that compared to the project described in the Draft EA, with the revised design, visibility of the project from nearby all locations will be significantly reduced. The revised preliminary site plan was presented to the DHCAC on November 19, 2008.

**ABSENCE OF ARCHITECTURE EMBRACING A HAWAIIAN SENSE OF PLACE**

In response to the DHCAC's comments, the schematic design of the project was revised to address: indoor-outdoor relationships; natural ventilation; micro-climate; semi-wild setting; landscape plantings. The revised preliminary site plan that was presented to the DHCAC on November 19, 2008, will be included in the Final EA.

**COLOR, TONE AND REFLECTIVITY**

As recommended by the DHCAC, the Final EA will state that color, texture and tone will be in harmony with the crater site, and subdued in nature.

**LANDSCAPE PLANTING AND NATURAL DRAINAGE PATTERNS**

KCC appreciates the recommendations on landscaping and drainage. The recommendations have been incorporated into the design of the facility, including: closer coupling of building architecture with landscape plantings and the site's terrain; recognizing the natural drainage swale which cuts downhill through the west end of the site; continuing the keawe tree canopy across the project site and minimizing the use of conspicuous colored flowers or leaves plant materials.

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Mr. Sid Snyder, Chairman  
Diamond Head Citizens Advisory Committee  
c/o Division of State Parks  
Post Office Box 621  
Honolulu, Hawaii 96809

Attn: Yara Lamadrid-Rose

Dear Mr. Snyder:

Thank you for your letter which we received on May 12, 2008. We have reviewed your letter and offer the following responses to your comments.

**MONUMENT VISITOR PARKING**

Page 6 of your letter indicates that: "...a feasible location of the Monument's Visitor Orientation Center is just outside the subject site [emphasis added]..." As Chancellor John Morton has stated, it is KCC's intention to accommodate a site for a Visitor Orientation Center and accompanying parking of approximately 60 stalls on the Cannon Club site by sharing parking. KCC will continue to work with the Diamond Head Citizens Advisory Council (DHCAC) to synchronize the CIP project with the overall Diamond Head Master Plan including making available for the use of the Diamond Head State Monument, space for approximately 60 parking stalls the time that project moves ahead.

We would like to take this opportunity to confirm in writing that the number of 450 future students and faculty was incorrectly stated in the Draft EA and will be corrected in the Final EA.

**TRAFFIC CIRCULATION**

A traffic impact analysis report (TIAR) was prepared to address "...anticipated traffic increase attributed in general to the proposed facility." In response to the DHCAC's comments, the site plan is being revised to accommodate a multi-purpose path of approximately 10 feet wide (following the design principles of the Diamond Head Linear Park project) to allow for both bicycle and pedestrian travel between the proposed KCC CIP and the KCC main campus.

**FUTURE FACILITIES**

The statement in question will be revised in the Final EA to read: "This site will allow KCC to expand its current curriculum to go beyond the two-year programs offered at the community colleges in culinary arts."

Based on your recommendations the proposed visitor orientation center will be removed from the site plan.

**APPLICANT'S PROPOSED DECLARATION OF FINDING OF NO SIGNIFICANT IMPACT**

1) We maintain that the project does not "irrevocably commit a natural resource" because the site had already been physically altered by the Department of the Army as part of its Fort Ruger development.

2) We do not concur that the proposed project curtails "the range of beneficial uses of the environment." The term "beneficial use" legally refers to the "right to use property and all that makes that property desirable or habitable, such as light, air and access, even if someone else owns the legal title to the property." This section of the statute refers to a resident's ability to enjoy the environment. The proposed project does not curtail a resident's ability to enjoy the air around him, does not block access to sunlight, and does not unreasonably inhibit access to the Diamond Head monument.

3) We maintain that the proposed project does not conflict with the State's long-term environmental policies. As such, an analysis of how the project, in relation to the DHCAC's concerns, complies with Chapter 344, *Hawaii Revised Statutes*, was conducted and as included as an enclosure to this letter.

6) As previously stated, it is KCC's intention to accommodate a site for a Visitor Orientation Center and accompanying parking of approximately 60 stalls on the Cannon Club site by sharing parking; however, these parking lots will not be built as part of the project, as the Visitor Orientation Center will not be located on the CIP site. The Final EA will confirm that space for approximately 60 stalls will be available to visitors of the DHSM when the inside of the crater is open to the public.

7) As stated on page 54 of the Draft EA, "Visual impacts will be mitigated as the proposed CIP facility will be designed to complement the topography of the project site. The building will be a maximum of 25 feet above grade per the LUO Diamond Head Special Design District requirements. The building colors and forms will not detract from the natural surroundings. Landscaping will consist of native and Polynesian species and complement existing vegetation within the DHSM."

KCC has taken the DHCAC concerns about building massing seriously and has responded with a significantly different site plan. KCC has also taken great care towards creating a facility that flows well with the surrounding topography and vegetation.

8) KCC's consultant has gone through a deliberate exercise to weigh the visual impacts of a proposed facility. This study is included as Appendix J of the Draft EA and reveals that the site is not visible to the naked eye to most viewers – unless specifically looking for it. Subsequent to the public review of the Draft EA, the proposed CIP facility was redesigned to address comments made by the DHCAC. As such, the visual analysis was revised to incorporate the revised preliminary site plan. The revised visual analysis indicates an improvement over the previous site plan and minimal visual impact to the site

Furthermore, as stated above, KCC has made a concerted attempt to integrate visual congruence with the surrounding environment a top priority of this project, and has directed its architect to break up the massing of the previous schematic design, probably at the expense of function and internal circulation.

11) As stated above, KCC has made a concerted attempt to integrate visual congruence with the surrounding environment a top priority of this project.

12) We have reviewed the *Hawaii State Plan* and an analysis of how the project, in relation to the DHCAC's concerns, complies with the *Hawaii State Plan* was conducted. Please see the enclosed documents following this letter.

References to the specific policies of the General Plan are applicable to those who engage in long term planning and policy on a County level. While the CIP is being designed to protect and preserve the natural environment the specific policies referred to are general and can be subject to different interpretations. KCC remains committed to minimizing its impact on the surrounding environment, and that it is not obstructing views of Diamond Head.

Similarly, references to the Primary Urban Center (PUC) Development Plan are very broad. However, KCC maintains committed to ensure that it is not obstructing views of Diamond Head crater. In reviewing Map A.1, while it is acknowledged Diamond Head may be visible from: near the end of Lagoon Drive, the middle of Magic Island, and the Airport Industrial Center, we would find it difficult to believe that most humans would be able to distinguish the proposed CIP facility unassisted (without binoculars or a telescope). We concur that the site may be visible from portions of Punchbowl, Tantalus and Maunalani Heights, but we do not believe the proposed CIP facility will obstruct views of the Diamond Head Crater rim as the height of the top of the facility is 177 feet above mean sea level (MSL) and the crater rim directly above the CIP is approximately 425 feet above MSL. The source of this information was provided by the City and County of Honolulu Department of Planning and Permitting GIS mapping system.

The Diamond Head Special District (Ord. #77-123) was discussed on page 73 of the Draft EA. The Special District designation is for "Areas wherein natural and man-made objects of beauty and historic, cultural, architectural and scenic significance may be preserved, enhanced and perpetuated."

According to Sec. 21-9-40-1 of the City & County of Honolulu Land Use Ordinance, the objectives of the Diamond Head special district are: (a) to preserve existing prominent public views and the natural appearance of Diamond Head by modifying construction projects that

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would diminish these resources, (b) to preserve and enhance the park-like character of the immediate slopes of the Diamond Head monument, which includes Kapi'olani Park. An analysis of the visual impacts of the project site was provided in Appendix J of the Draft EA. Subsequent to the publication of Draft EA, the proposed CIP facility was redesigned to address comments made by the DHCAC. As such, the visual analysis was revised to incorporate the updated preliminary site plan. The revised visual analysis indicates that the proposed site is not visible from most of the prominent public vantage points listed in the Diamond Head Special District Ordinance, however, the project could be slightly visible from Public Streets: 1. Ala Wai Boulevard from McCully Street to Kapahulu Avenue; and 9. 12<sup>th</sup> Avenue from Maunaloa Avenue to Diamond Head Road; and from Vantage Points: 3. Kapiolani Park; 5. Ala Wai Golf Course; 7. Kapaolono Field; and 16. Puu Ualakaa State Park lookout. However, we do not believe that the proposed CIP will "...substantially diminish any views from any of the prominent public vantage points..." identified in Sec. 21-9.40-3.

It should be noted that at the time the Ordinance was adopted, the Cannon Club was in place as well, as other facilities of Fort Ruger within the project site. Thus a precedent was in place for man-made development on this portion of Diamond Head, as much as the nearby Board of Water Supply Reservoir, Battery Harlow and Kapahulu Tunnel. We do not believe the proposed project will compromise or obstruct the view of the Diamond Head crater rim along this portion of the crater slopes.

In regards to existing trees, an arborist report has been prepared and includes the number and species of trees, condition of the trees, involvement of certified arborists in assessing and protecting the trees, physical tree protection plans, and proposed tree removals and/or relocations. This arborist report will be included in the Final EA.

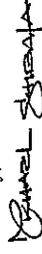
In regards to architectural appearance and character, the exterior facades of all structures and structural forms will be designed to have architectural scale, exterior finish, materials, colors, components and features that relate in a compatible manner to nearby existing structures. Materials, finishes and colors, including roofs, will be subdued in nature.

In summary, while KCC does not share the opinion that a full EIS is warranted, it will abide by whatever the accepting agency decides.

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Thank you again for your participation in the Environmental Assessment process. If you have any questions regarding this project, please do not hesitate to contact me at 521-5631.

Sincerely,



Michael S. Shibata  
Planner

Enclosures

cc: Ms. Katherine P. Kealoha, Office of Environmental Quality Control  
Mr. Michael Unebasami, University of Hawai'i Community Colleges

**Section 344, Hawaii Revised Statutes**

<p>Section 344-1, HRS</p>	<p><b>Purpose.</b> The purpose of this chapter is to establish a state policy which will encourage productive and enjoyable harmony between people and their environment, promote efforts which will prevent or eliminate damage to the environment and biosphere and stimulate the health and welfare of humanity, and enrich the understanding of the ecological systems and natural resources important to the people of Hawaii.</p>	<p><b>Comment:</b> This section sets forth the general purpose of the State's environmental policy, and does not enumerate any actual policies.</p>
<p>Section 344-2, HRS</p>	<p><b>Definitions.</b> As used in this chapter unless the context otherwise requires:          "Agency" means any department, office, board, or commission of the State or county government that is a part of the executive branch of that government.          "Environment" means the complex of physical and biological conditions that influence human well-being, including land, air, water, minerals, flora, fauna, energy, noise, and places of historic or aesthetic significance.</p>	<p><b>Comment:</b> This section only sets forth definitions of the words "Agency," and "Environment," and does not actually set forth any policy.</p>
<p>Section 344-3(1), HRS</p>	<p><b>Purpose.</b> The purpose of this section is to conserve the natural resources, so that land, water, mineral, visual, air and other natural resources are protected by controlling pollution, preserving or augmenting natural resources, and by safeguarding the State's unique natural environmental characteristics in a manner which will foster and promote the general welfare, create and maintain conditions under which humanity and nature can exist in productive harmony, and fulfill the social, economic, and other requirements of the</p>	<p><b>Comment:</b> The proposed project does not conflict with the policy set forth in Section 344-3(1), HRS. The Kapi'olani Community College's (KCC) intent behind the design of the Culinary Institute of the Pacific (CIP) is meant to "maintain conditions under which humanity and nature can exist in productive harmony."</p>
<p>Sections 344-3 (2)(A, C-D), HRS</p>	<p>people of Hawaii.          (2) Enhance the quality of life by:          (A) Setting population limits so that the interaction between the natural and artificial environments and the population is mutually beneficial;          (B) Creating opportunities for the residents of Hawaii to improve their quality of life through diverse economic activities which are stable and in balance with the physical and social environments;          (C) Establishing communities which provide a sense of identity, wise use of land, efficient transportation, and aesthetic and social satisfaction in harmony with the natural environment which is uniquely Hawaiian; and          (D) Establishing a commitment on the part of each person to protect and enhance Hawaii's environment and reduce the drain on nonrenewable resources.</p>	<p><b>Comment:</b> Please note that Section A relates to setting population limits. This section clearly refers to managing outward growth into rural and conservation areas, and attempting to create situations where the population benefits at little to no cost to the environment.          The proposed CIP site sits on an area previously developed and utilized as a military club as recently as 1997. The club had dozens of patrons and employees coming in and out of the site on a daily basis. Also, the Traffic Study conducted by PB Americas, Inc. in 2008 predicts that the area roadway network is "projected to operate at essentially the same acceptable level as existing."          The interactions between the area around Diamond Head and the movement of students and patrons will not significantly change. Maintaining existing traffic levels clearly meets the policy enumerated in Section A, as it creates a mutually beneficial scenario where no current impacts to the environment are increased, and the community benefits.          The proposed project supports Section B, as it creates opportunities for the residents of Hawaii to improve their quality of life through diverse economic activities.          In regards to Section C, the proposed project makes wise use of lands, does not add pressure on existing transportation infrastructure, and places a large consideration</p>

<p>Visual impacts will be mitigated as the proposed CIP facilities will be designed to complement the topography of the project site. The building will be a maximum of 25 feet above grade per the LUO Diamond Head Special Design District requirements. The color, texture and tone will be subdued in nature to minimize reflectivity from distant vantage points. Landscaping will consist of native and Polynesian species and complement existing vegetation within the DHSM.</p>		<p>Section 344-4(3)(B), HRS</p>	<p><b>Comment:</b> KCC supports the policies and goals set forth in Section 344-4(3)(B), HRS. There are eight references throughout the Draft EA discussing the KCC's plans to install or plant native shrubbery throughout the site.</p> <p>On Page 19 of the Draft EA, the section states:</p> <p>"The proposed landscape plan will support the landscape objectives as described within the <i>Diamond Head State Monument Master Plan Update</i>. Plantings will be primarily native or Polynesian introduced species that exist or have once existed in and around the Diamond Head coastal ecosystem as discussed in the Diamond Head Master Plan Update."</p>	<p>(3) Flora and fauna. (B) Foster the planting of native as well as other trees, shrubs, and flowering plants compatible to the our enhancement of environment.</p>	<p>Section 344-4(3)(B), HRS</p>
<p>on constructing a building in harmony with the natural environment that is uniquely Hawaiian. In addition, the proposed project is being constructed on lands formerly urbanized rather than opening up raw land for construction. Also, as stated above relating to Section A, the proposed project will not add pressure to the existing roadway network around the site. Many steps have been taken to address concerns regarding aesthetic satisfaction, including a visual analysis.</p> <p>The CIP's construction to LEED NC Silver standards should represent KCC's commitment to protect and enhance Hawai'i's environment and reduce the drain on nonrenewable resources. The project goes so far as to remove invasive plants and replace them with native species (see Draft EA, Page 41).</p>	<p>(1) Population. (A) Recognize population impact as a major factor in environmental degradation and adopt guidelines to alleviate this impact and minimize future degradation;</p>	<p>Section 344-4(1)(A), HRS</p>	<p><b>Comment:</b> The proposed project will not encourage the spread of additional development around Diamond Head, including more residential housing. The proposed facility is sited on a parcel already urbanized in an attempt to minimize any additional raw lands from being developed.</p>	<p><b>Comment:</b> The proposed project has already made a commitment to constructing a structure that conserves natural resources. The proposed CIP facilities will be designed to meet LEED NC Silver standards.</p>	<p>Section 344-4(2)(A and D), HRS</p>
<p>Land, water, mineral, visual, air, and other natural resources. (A) Encourage management practices which conserve and fully utilize all natural resources;</p>	<p>Section 344-4(2)(A and D), HRS</p>	<p>Section 344-4(2)(A and D), HRS</p>	<p>On page 20 in the section relating to LEED design standards, the Draft EA states: "Reduce Site Disturbance – Protect or Restore Habitat: Collaborate with design team in limiting site disturbance "to</p>		

<p>protect and restore a minimum of 50% of the site areas (excluding building footprint) with native or adaptive vegetation[.]” and, “Water Efficient Landscaping – Reduce by 50%: This will be achieved as described below: Plantings will be drought and salt tolerant native or Polynesian introduced species, able to survive on their own with occasional supplemental watering, once established.”</p> <p>On page 35 relating to mitigation measures as fire protection, the Draft EA states, “Brushfires could be mitigated by the preparation and implementation of fire control measures such as the installation of landscaping and planting fire-resistant native plants.”</p> <p>On page 41 relating to mitigation measures for Surface Runoff, Drainage, and Erosion Hazard, the Draft EA states, “Permanent landscaping in selected areas will re-establish the soil retention values throughout the project area. Invasive plants will be removed and replaced with native species.”</p> <p>On Page 54 relating to mitigation measures for visual impacts, and Page 58 relating to Coastal Zone Management, the Draft EA states, “Visual impacts will be mitigated as the proposed CIP facility will be designed to complement the topography of the project site. The building will be a maximum of 25 feet above grade per the LUO Diamond Head Special Design District requirements. The building</p>	
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<p>colors and forms will not detract from the natural surroundings. Landscaping will consist of native and Polynesian species and complement existing vegetation within the DHSM.”</p> <p>On Page 72 relating to conformance with the Primary Urban Center Development plan, the Draft EA states, “The proposed CIP will be designed to complement the topography of the project site. Native Hawaiian values and protocols are being considered in the design of the proposed CIP facility. Landscaping will consist of primarily native or Polynesian introduced species that exist or have once existed in and around the Diamond Head coastal ecosystem.”</p> <p>Finally, on Page 82 relating to mitigating any potential impacts, the Draft EA states, “New landscaping will enhance the surrounding environment by providing new native or Polynesian-introduced plant materials.”</p> <p>Based on its numerous statements throughout the Draft EA, KCC will be taking affirmative steps toward fostering the planting of native as well as other trees, shrubs, and flowering plants compatible to the enhancement of our environment.</p>	<p>(4) Parks, recreation, and open space. (A) Establish, preserve and maintain scenic, historic, cultural, park and recreation areas, including the shorelines, for public recreational, educational, and scientific uses;</p>	<p>Section 344-4-(4)(A) and C), HRS</p>
<p>Comment: We understand DHCAC’s concern that construction of the CIP maintains scenic vistas. Please note that visual impacts will be mitigated as the proposed CIP facilities will be designed to complement the topography of the project site. The building</p>		

Sections 344-4(6)(A-C), HRS	<p>will be a maximum of 25 feet above grade per the LUO Diamond Head Special Design District requirements. The color, texture and tone will be subdued in nature to minimize reflectivity from distant vantage points. Landscaping will consist of native and Polynesian species and complement existing vegetation within the DHSM.</p>	<p>landscaping plans and designs in urban areas; and preserve and promote mountain-to-ocean vistas.</p>	<p>grade per the LUO Diamond Head Special Design District requirements. The color, texture and tone will be subdued in nature to minimize reflectivity from distant vantage points. Landscaping will consist of native and Polynesian species and complement existing vegetation within the DHSM.</p>
Sections 344-4(6)(A-C), HRS	<p>(6) Transportation.  (A) Encourage transportation systems in harmony with the lifestyle of the people and environment of the State;  (B) Adopt guidelines to alleviate environmental degradation caused by motor vehicles;  (C) Encourage public and private vehicles and transportation systems to conserve energy, reduce pollution emission, including noise, and provide safe and convenient accommodations for their users.</p>	<p>Comment: A traffic study has been prepared by PB Americas, Inc. to evaluate the transportation system in the vicinity of the project site. As noted on Page 26 of the Traffic Evaluation (Appendix H), "the roadway network is projected to operate at essentially the same acceptable level as existing with the addition of the Culinary Institute.  In addition, the project will include the extension of the planned Diamond Head State Monument Linear Park, by including a paved walkway along the site's Diamond Head Road frontage to foster pedestrian and bicycle access and less reliance on personal motorized vehicle traffic between the project site and the KCC campus. Also, the proposed project will include land set aside for a future public bus pull-out along the site's Diamond Head Road frontage to facilitate public transit usage.</p>	<p>KCC has taken great care towards evaluating visual impacts, and creating a facility that flows well with surrounding topography and vegetation.  Comment: KCC has made many efforts to conduct numerous public meetings regarding this project. The very design of this project provides an example of how human use can occur in harmony with the environment.</p>
Section 344-4(8)(E)	<p>Community Life and Housing.  (E) Recognize community appearances as major economic and aesthetic assets of the counties and the State; encourage green belts, plantings, and</p>	<p>visual impacts will be mitigated as the proposed CIP facilities will be designed to complement the topography of the project site. The building will be a maximum of 25 feet above</p>	<p>(10) Citizen participation.  (A) Encourage all individuals in the State to adopt a moral ethic to respect the natural environment; to reduce waste and excessive consumption; and to fulfill the responsibility as trustees of the environment for the present and succeeding generations.</p>

Section 344-4(10)(A), HRS	<p>(10) Citizen participation.  (A) Encourage all individuals in the State to adopt a moral ethic to respect the natural environment; to reduce waste and excessive consumption; and to fulfill the responsibility as trustees of the environment for the present and succeeding generations.</p>	<p>grade per the LUO Diamond Head Special Design District requirements. The color, texture and tone will be subdued in nature to minimize reflectivity from distant vantage points. Landscaping will consist of native and Polynesian species and complement existing vegetation within the DHSM.  KCC has taken great care towards evaluating visual impacts, and creating a facility that flows well with surrounding topography and vegetation.  Comment: KCC has made many efforts to conduct numerous public meetings regarding this project. The very design of this project provides an example of how human use can occur in harmony with the environment.</p>
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**Hawaii State Plan**

<p>Section 226-1, HRS</p> <p><b>\$226-1 Findings and purpose.</b> The legislature finds that there is a need to improve the planning process in this State, to increase the effectiveness of government and private actions, to improve coordination among different agencies and levels of government, to provide for wise use of Hawaii's resources and to guide the future development of the State. The purpose of this chapter is to set forth the Hawaii state plan that shall serve as a guide for the future long-range development of the State; identify the goals, objectives, policies, and priorities for the State; provide a basis for determining priorities and allocating limited resources, such as public funds, services, human resources, land, energy, water, and other resources; improve coordination of federal, state, and county plans, policies, programs, projects, and regulatory activities; and to establish a system for plan formulation and program coordination to provide for an integration of all major state, and county activities.</p>	<p><b>Comment:</b> This section sets forth the general purpose behind why the State Legislature enacted a statute creating a <i>Hawaii State Plan</i>, and does not enumerate any actual policies or goals.  Kapi'olani Community College (KCC) believes that the use of the Cannon Club site is a wise use of Hawai'i's land resources, as it is the reuse of land previously urbanized.</p>	<p>generations. (2) A desired physical environment, characterized by beauty, cleanliness, quiet, stable natural systems, and uniqueness, that enhances the mental and physical well-being of the people.</p>	<p>project complies with Section 226-4(A)(2), the project fulfills the other elements of the State's goals enumerated in the same section of the statute. Sections A(1) and (A)(3) of the plan by achieving, "A strong, viable economy, characterized by stability, diversity, and growth, that enables the fulfillment of the needs and expectations of Hawaii's present and future generations," and the "[p]hysical, social, and economic well-being, for individuals and families in Hawaii, that nourishes a sense of community responsibility, of caring, and of participation in community life."</p>
<p>Sections 226-11(A)(1-2), HRS Sections 226-11(B)(1, 3-4, 7-9), HRS</p>	<p><b>(A) Planning for the State's physical environment with regard to land-based, shoreline, and marine resources shall be directed towards achievement of the following objectives:</b> (1) Prudent use of Hawaii's land-based, shoreline, and marine resources. (2) Effective protection of Hawaii's unique and fragile environmental resources.  <b>(B) To achieve the land-based, shoreline, and marine resources objectives, it shall be the policy of this State to:</b> (1) Exercise an overall conservation ethic in the use of Hawaii's natural resources. (2) Ensure compatibility between land-based and water-based activities and natural resources and ecological systems. (3) Take into account the physical attributes of areas when planning</p>	<p><b>Comment:</b> Section 226-11(A) sets forth planning objectives and policies for the physical environment - land base, shoreline and marine resources. Section 226-11(B) sets forth how to implement the objectives enumerated in Section A.  KCC believes that the redevelopment of the Cannon Club site is a prudent use of Hawai'i's land resources, as no additional lands are being urbanized to accommodate the development of a facility that helps promote workforce development within the State.  The land use plan for the Culinary Institute of the Pacific (CIP) integrates basic principles of conservation and sustainability. As mentioned throughout the report, the project is being designed to implement LEED Silver standards.  A conscious effort has been</p>	<p>set forth planning objectives and policies for the physical environment - land base, shoreline and marine resources. Section 226-11(B) sets forth how to implement the objectives enumerated in Section A.  KCC believes that the redevelopment of the Cannon Club site is a prudent use of Hawai'i's land resources, as no additional lands are being urbanized to accommodate the development of a facility that helps promote workforce development within the State.  The land use plan for the Culinary Institute of the Pacific (CIP) integrates basic principles of conservation and sustainability. As mentioned throughout the report, the project is being designed to implement LEED Silver standards.  A conscious effort has been</p>
<p>Section 226-4(A)(2), HRS</p>	<p><b>State goals.</b> In order to guarantee, for present and future generations, those elements of choice and mobility that insure that individuals and groups may approach their desired levels of self-reliance and self-determination, it shall be the goal of the State to achieve: (1) A strong, viable economy, characterized by stability, diversity, and growth, that enables the fulfillment of the needs and expectations of Hawaii's present and future</p>	<p><b>Comment:</b> With regard to Section 226-4(A)(2), HRS, the Diamond Head Citizens Advisory Committee (DHCAC) noted that the CIP conflicts with the <i>Hawaii State Plan</i> because it does not guarantee "for present and future generations...A desired physical environment, characterized by beauty, quiet, stable natural systems, and uniqueness."  Please note that although the DHCAC doesn't believe that</p>	<p>generations. (2) A desired physical environment, characterized by beauty, cleanliness, quiet, stable natural systems, and uniqueness, that enhances the mental and physical well-being of the people.</p>

	<p>made on the part of KCC and its architects to take into account the physical attributes of the Diamond Head State Monument, and design a facility that minimizes the visual impact. The proposed redesigned project will consist of one-story structures which comply with the 25-foot allowable building height envelope mandated by the Land Use Ordinance of the City and County of Honolulu. The proposed redesign will correspond with the site in terms of slope, color and vegetation. This method of design, while adhering to many of the conservation and sustainability principles KCC has committed to in the development of this project, allows for multiple uses without much impact or damage to the surrounding environment.</p> <p>At its core, the facility is for an educational purpose. By providing an environment that is environmentally sensitive, and promoting the use of local cultivation in culinary arts, the students eventually graduating from the program will enter the private and public sectors and hopefully take these elements of sustainability into their everyday lives.</p>	<p>Comments made by the DHCAC. As such, the visual analysis was revised to incorporate the revised preliminary site plan. The revised visual analysis indicates an improvement over the previous site plan and minimal visual impact to the site – consistent with this section of the <i>Hawaii State Plan</i>.</p> <p>Furthermore, as stated above, KCC has made a concerted attempt to integrate visual congruence with the surrounding environment, a top priority of this project.</p>
<p>and designing activities and facilities.</p> <p>(4) Manage natural resources and environs to encourage their beneficial and multiple use without generating costly or irreparable environmental damage.</p> <p>(5) Consider multiple uses in watershed areas, provided such uses do not detrimentally affect water quality and recharge functions.</p> <p>(6) Encourage the protection of rare or endangered plant and animal species and habitats native to Hawaii.</p> <p>(7) Provide public incentives that encourage private actions to protect significant natural resources from degradation or unnecessary depletion.</p> <p>(8) Pursue compatible relationships among activities, facilities, and natural resources.</p> <p>(9) Promote increased accessibility and prudent use of inland and shoreline areas for public recreational, educational, and scientific purposes.</p>	<p>natural beauty, and multi-cultural/historic resources.</p> <p>(b) To achieve the scenic, natural beauty, and historic resources objective, it shall be the policy of this State to:</p> <p>(1) Promote the preservation and restoration of significant natural and historic resources.</p> <p>(2) Provide incentives to maintain and enhance historic, cultural, and scenic amenities.</p> <p>(3) Promote the preservation of views and vistas to enhance the visual and aesthetic enjoyment of mountains, ocean, scenic landscapes, and other natural features.</p> <p>(4) Protect those special areas, structures, and elements that are an integral and functional part of Hawaii's ethnic and cultural heritage.</p> <p>(5) Encourage the design of developments and activities that complement the natural beauty of the islands.</p>	<p>Comment: This section of the statute is applicable to long term planning and policy on a State level. The proposed project does not bear any responsibility to improve the overall quality of Hawaii's land, air and water resources. KCC remains committed to ensure that it is minimizing its impacts on the surrounding environment, and is also committed to achieving LEED NC Silver accreditation once the project is completed.</p>
<p>Section 226-12(A), HRS Sections 226-12(B)(1-5), HRS</p>	<p>§226-12 Objectives and policies for the physical environment-land, air, and water quality.</p> <p>(a) Planning for the State's physical environment with regard to land, air, and water quality shall be directed towards achievement of the following objectives:</p> <p>(1) Maintenance and pursuit of improved quality in Hawaii's land, air, and water resources.</p> <p>(2) Greater public awareness</p>	<p>Sections 226-13(A)(1-2), HRS Sections 226-13(B)(1-2, 8), HRS</p>

<p>made on the part of KCC and its architects to take into account the physical attributes of the Diamond Head State Monument, and design a facility that minimizes the visual impact. The proposed redesigned project will consist of one-story structures which comply with the 25-foot allowable building height envelope mandated by the Land Use Ordinance of the City and County of Honolulu. The proposed redesign will correspond with the site in terms of slope, color and vegetation. This method of design, while adhering to many of the conservation and sustainability principles KCC has committed to in the development of this project, allows for multiple uses without much impact or damage to the surrounding environment.</p> <p>At its core, the facility is for an educational purpose. By providing an environment that is environmentally sensitive, and promoting the use of local cultivation in culinary arts, the students eventually graduating from the program will enter the private and public sectors and hopefully take these elements of sustainability into their everyday lives.</p>	<p>and designing activities and facilities.</p> <p>(4) Manage natural resources and environs to encourage their beneficial and multiple use without generating costly or irreparable environmental damage.</p> <p>(5) Consider multiple uses in watershed areas, provided such uses do not detrimentally affect water quality and recharge functions.</p> <p>(6) Encourage the protection of rare or endangered plant and animal species and habitats native to Hawaii.</p> <p>(7) Provide public incentives that encourage private actions to protect significant natural resources from degradation or unnecessary depletion.</p> <p>(8) Pursue compatible relationships among activities, facilities, and natural resources.</p> <p>(9) Promote increased accessibility and prudent use of inland and shoreline areas for public recreational, educational, and scientific purposes.</p>	<p>Comments made by the DHCAC. As such, the visual analysis was revised to incorporate the revised preliminary site plan. The revised visual analysis indicates an improvement over the previous site plan and minimal visual impact to the site – consistent with this section of the <i>Hawaii State Plan</i>.</p> <p>Furthermore, as stated above, KCC has made a concerted attempt to integrate visual congruence with the surrounding environment, a top priority of this project.</p>
<p>Section 226-12(A), HRS Sections 226-12(B)(1-5), HRS</p>	<p>§226-12 Objectives and policies for the physical environment-land, air, and water quality.</p> <p>(a) Planning for the State's physical environment with regard to land, air, and water quality shall be directed towards achievement of the following objectives:</p> <p>(1) Maintenance and pursuit of improved quality in Hawaii's land, air, and water resources.</p> <p>(2) Greater public awareness</p>	<p>Comment: This section of the statute is applicable to long term planning and policy on a State level. The proposed project does not bear any responsibility to improve the overall quality of Hawaii's land, air and water resources. KCC remains committed to ensure that it is minimizing its impacts on the surrounding environment, and is also committed to achieving LEED NC Silver accreditation once the project is completed.</p>

	<p>appreciation of Hawaii's environmental resources.</p> <p>(b) To achieve the land, air, and water quality objectives, it shall be the policy of this State to:</p> <ol style="list-style-type: none"> <li>(1) Foster educational activities that promote a better understanding of Hawaii's limited environmental resources.</li> <li>(2) Promote the proper management of Hawaii's land and water resources.</li> <li>(3) Promote effective measures to achieve desired quality in Hawaii's surface, ground, and coastal waters.</li> <li>(4) Encourage actions to maintain or improve aural and air quality levels to enhance the health and well-being of Hawaii's people.</li> <li>(5) Reduce the threat to life and property from erosion, flooding, tsunamis, hurricanes, earthquakes, volcanic eruptions, and other natural or man-induced hazards and disasters.</li> <li>(6) Encourage design and construction practices that enhance the physical qualities of Hawaii's communities.</li> <li>(7) Encourage urban developments in close proximity to existing services and facilities.</li> <li>(8) Foster recognition of the importance and value of the land, air, and water resources to Hawaii's people, their cultures and visitors.</li> </ol>
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<p>Section 226-17(A)(1), HRS</p> <p>Sections 226-17(B)(5, 10-13), HRS</p>	<p><b>§226-17 Objectives and policies for facility systems--transportation.</b></p> <p>(a) Planning for the State's facility systems with regard to transportation shall be directed towards the achievement of the following objectives:</p> <ol style="list-style-type: none"> <li>(1) An integrated multi-modal transportation system that services statewide needs and promotes the efficient, economical, safe, and convenient movement of people and goods.</li> <li>(2) A statewide transportation system that is consistent with and will accommodate planned growth objectives throughout the State.</li> <li>(b) To achieve the transportation objectives, it shall be the policy of this State to: <ol style="list-style-type: none"> <li>(1) Design, program, and develop a multi-modal system in conformance with desired growth and physical development as stated in this chapter;</li> <li>(2) Coordinate state, county, federal, and private transportation activities and programs toward the achievement of statewide objectives;</li> <li>(3) Encourage a reasonable distribution of financial responsibilities for transportation among participating governmental and private parties;</li> <li>(4) Provide for improved accessibility to shipping, docking, and storage facilities;</li> <li>(5) Promote a reasonable</li> </ol> </li> </ol>	<p><b>Comment:</b> A traffic study was conducted by PB Americas. The traffic consultant concluded that the future roadway network is projected to operate at essentially the same acceptable level of service as the existing conditions, with the operation of the proposed project. As such, the construction of the proposed project will not create an additional strain on the area's current network of roads and future traffic.</p> <p>The project plans to encourage the use of pedestrians and bicyclists through an extension of the proposed Linear Park's proposed multi-purpose path. A pedestrian promenade would connect the proposed project to the main KCC campus.</p>
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<p>growth objectives; and (13) Encourage diversification of transportation modes and infrastructure to promote alternate fuels and energy efficiency.</p>	<p><b>Comment:</b> The construction of the proposed project will not impede a resident's ability to engage in leisure, cultural, artistic and recreational activities. The facility does not prevent access to Diamond Head State Monument.</p> <p>Although DHCAC asserts that the proposed project does not mesh with certain points within Section B, it does with other points including providing improved educational facilities and improved facility design. Furthermore, the facility promotes the culinary arts, and allows those that will be studying at the CIP to engage in the artistic creation of culinary masterpieces.</p>
<p>growth objectives; and (13) Encourage diversification of transportation modes and infrastructure to promote alternate fuels and energy efficiency.</p>	<p><b>§226-23 Objective and policies for socio-cultural advancement--leisure.</b> (a) Planning for the State's socio-cultural advancement with regard to leisure shall be directed towards the achievement of the adequate objective of the adequate provision of resources to accommodate diverse cultural, artistic, and recreational needs for present and future generations. (b) To achieve the leisure objective, it shall be the policy of this State to: (1) Foster and preserve Hawaii's multi-cultural heritage through supportive cultural, artistic, recreational, and humanities-oriented programs and activities. (2) Provide a wide range of activities and facilities to fulfill the cultural, artistic, and recreational needs of all diverse and special groups effectively and efficiently. (3) Enhance the enjoyment of recreational experiences through safety and security measures, educational opportunities, and improved facility design and maintenance. (4) Promote the recreational and</p>
<p>Section 226-23(A) Sections 226-23(B)(4, 5, 10)</p>	

<p>level and variety of mass transportation services that adequately meet statewide and community needs; (6) Encourage transportation systems that serve to accommodate present and future development needs of communities; (7) Encourage a variety of carriers to offer increased opportunities and advantages to interisland movement of people and goods; (8) Increase the capacities of airport and harbor systems and support facilities to effectively accommodate transshipment and storage needs; (9) Encourage development of transportation systems and programs which would assist statewide economic growth and diversification; (10) Encourage the design and development of transportation systems sensitive to the needs of affected communities and the quality of Hawaii's natural environment; (11) Encourage safe and convenient use of low-cost, energy-efficient, non-polluting means of transportation; (12) Coordinate intergovernmental land use and transportation planning activities to ensure the timely delivery of supporting transportation infrastructure in order to accommodate planned</p>	
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<p>educational potential of natural resources having scenic, open space, cultural, historical, geological, or biological values while ensuring that their inherent values are preserved.</p> <p>(5) Ensure opportunities for everyone to use and enjoy Hawaii's recreational resources.</p> <p>(6) Assure the availability of sufficient resources to provide for future cultural, artistic, and recreational needs.</p> <p>(7) Provide adequate and accessible physical fitness programs to promote the physical and mental well-being of Hawaii's people.</p> <p>(8) Increase opportunities for appreciation and participation in the creative arts, including the literary, theatrical, visual, musical, folk, and traditional art forms.</p> <p>(9) Encourage the development of creative expression in the artistic disciplines to enable all segments of Hawaii's population to participate in the creative arts.</p> <p>(10) Assure adequate access to significant natural and cultural resources in public ownership.</p>	<p>Comment: KCC believes that the construction of the proposed project is consistent with objectives and policies enumerated in the <i>Hawaii State Plan</i> statute, and other regional, area and community</p>
<p>Section 226-59(A)</p>	<p>§226-59 State programs.</p> <p>(a) The formulation, administration, and implementation of state programs shall be in conformance with the overall theme, goals,</p>

<p>Sections 226-104(B)(9, 10, 12, 13)</p>	<p>objectives, and policies, and shall utilize as guidelines the priority guidelines contained within this chapter, and the state functional plans approved pursuant to this chapter.</p>	<p>plans.</p>
<p>§226-104 Population growth and land resources priority guidelines.</p> <p>(a) Priority guidelines to effect desired statewide growth and distribution:</p> <p>(1) Encourage planning and resource management to insure that population growth rates throughout the State are consistent with available and planned resource capacities and reflect the needs and desires of Hawaii's people.</p> <p>(2) Manage a growth rate for Hawaii's economy that will parallel future employment needs for Hawaii's people.</p> <p>(3) Ensure that adequate support services and facilities are provided to accommodate the desired distribution of future growth throughout the State.</p> <p>(4) Encourage major state and federal investments and services to promote economic development and private investment to the neighbor islands, as appropriate.</p> <p>(5) Explore the possibility of making available urban land, low-interest loans, and housing subsidies to encourage the provision of housing to support</p>	<p>Comment: KCC is cognizant of Diamond Head's environmentally sensitive nature and has "impose(d) mitigating measures so that negative impacts on the environment would be minimized." The project site was developed for military use long before the surrounding area was developed for housing, and this action does not encroach on to raw land.</p>	<p>Comment: KCC believes that the construction of the proposed project is consistent with objectives and policies enumerated in the <i>Hawaii State Plan</i> statute, and other regional, area and community</p>

	<p>groundwater area.</p> <p>(4) Encourage restriction of new urban development in areas where water is insufficient from any source for both agricultural and domestic use.</p> <p>(5) In order to preserve green belts, give priority to state capital-improvement funds which encourage location of urban development within existing urban areas except where compelling public interest dictates development of a noncontiguous new urban core.</p> <p>(6) Seek participation from the private sector for the cost of building infrastructure and utilities, and maintaining open spaces.</p> <p>(7) Pursue rehabilitation of appropriate urban areas.</p> <p>(8) Support the redevelopment of Kakaako into a viable residential, industrial, and commercial community.</p> <p>(9) Direct future urban development away from critical environmental areas or impose mitigating measures so that negative impacts on the environment would be minimized.</p> <p>(10) Identify critical environmental areas in Hawaii to include but not be limited to the following: watershed</p>
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	<p>selective economic and population growth on the neighbor islands.</p> <p>(6) Seek federal funds and other funding sources outside the State for research, program development, and training to provide future employment opportunities on the neighbor islands.</p> <p>(7) Support the development of high technology parks on the neighbor islands.</p> <p>(b) Priority guidelines for regional growth distribution and land resource utilization:</p> <p>(1) Encourage urban growth primarily to existing urban areas where adequate public facilities are already available or can be provided with reasonable public expenditures, and away from areas where other important benefits are present, such as protection of important agricultural land or preservation of agricultural lifestyles.</p> <p>(2) Make available marginal or nonessential agricultural lands for appropriate urban uses while maintaining agricultural lands of importance in the agricultural district.</p> <p>(3) Restrict development when drafting of water would result in exceeding the sustainable yield or in significantly diminishing the recharge capacity of any</p>
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	<p>and recharge areas; wildlife habitats (on land and in the ocean); areas with endangered species of plants and wildlife; natural streams and water bodies; scenic and recreational shoreline resources; open space and natural areas; historic and cultural sites; areas particularly sensitive to reduction in water and air quality; and scenic resources.</p> <p>(11) Identify all areas where priority should be given to preserving rural character and lifestyle.</p> <p>(12) Utilize Hawaii's limited land resources wisely, providing adequate land to accommodate projected population and economic growth needs while ensuring the protection of the environment and the availability of the shoreline, conservation lands, and other limited resources for future generations.</p> <p>(13) Protect and enhance Hawaii's shoreline, open spaces, and scenic resources.</p>
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