



STATE OF HAWAII  
 DEPARTMENT OF LAND AND NATURAL RESOURCES  
 LAND DIVISION  
 P.O. BOX 621  
 HONOLULU, HAWAII 96809

AQUACULTURE DEVELOPMENT PROGRAM  
 AQUATIC RESOURCES  
 BOATING AND OCEAN RECREATION  
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MEMORANDUM

TO: Genevieve Salmonson, Director  
 Office of Environmental Quality Control

OFFICE OF ENVIRONMENTAL  
 QUALITY CONTROL

FROM: Harry Yada, Acting Administrator  
 Land Division

Subject: FINAL ENVIRONMENTAL ASSESSMENT Improvements to Include an Expanded Driveway, New Residential Addition, an Artists Studio/Gazebo, Recreational Deck, and Landscaping at Honolulu, Hawaii, TMK 1<sup>nd</sup> 3-3-36:30

The Department of Land and Natural Resources has reviewed the comments received on the draft Environmental Assessment as well as the applicants' response to these comments for the subject project, and hereby issues a Finding of No Significant Impact (FONSI) determination for the project.

Also, the Department would like clarify a statement made by the consultant in the FEA. In a letter to Mr. Leonard Tam of the Kaimuki Neighborhood Board, the following sentence appears. "Additionally, each conservation parcel is allowed a residential structure if environmental impacts are addressed." This statement is inaccurate. An applicant may apply, but the decision to permit a residence is a discretionary action of the Board of Land and Natural Resources. The Board's decisions are based on a number of factors, which include, but are not limited to the environmental document.

Please publish notice for this project in next issue of The Environmental Notice. Enclosed are four copies of the Final EA. The consultant for the project will e-mail a completed OEQC Bulletin Publication Form with the project description shortly.

Should you have any questions, please contact Sam Lemmo of our planning staff at 587-0381.

c. David Haig

FEB 8 2002

**FILE COPY**

2002-02-08-0A-PEA-

(Haig Residence)

**Site & Dwelling Improvements**

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Honolulu, O'ahu, Hawai'i

**Final Environmental Assessment**

January 2002



Group 70 International • Architecture • Planning • Interior Design • Environmental Services • Building Diagnostics  
925 Bethel Street, Fifth Floor • Honolulu, Hawaii 96813 • Phone (808) 523-5866 FAX (808) 523-5874

# **Haig Residence Site & Dwelling Improvements**

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Honolulu, O'ahu, Hawai'i

## **Final Environmental Assessment**

This environmental document is prepared in accordance with the requirements of Chapter 343, HRS and Hawaii Administrative Rules, Title 11, Department of Health

### **Proposing Individual:**

David Haig  
First Hawaiian Center  
999 Bishop Street, Suite 2800  
Honolulu, Hawai'i 96813

### **Accepting Authority:**

State of Hawai'i, Department of Land and Natural Resources

Responsible  
Official:

\_\_\_\_\_  
Harry Yada, Acting Administrator

\_\_\_\_\_  
Date

### **Prepared By:**

Group 70 International, Inc.  
Architecture • Planning • Interior Design • Environmental Services  
925 Bethel Street, 5<sup>th</sup> Floor  
Honolulu, Hawai'i 96813

**January 2002**

HAIG RESIDENCE - SITE & DWELLING IMPROVEMENTS

• Final Environmental Assessment •

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Section 1.0  
Introduction

## HAIG RESIDENCE - SITE & DWELLING IMPROVEMENTS

• Final Environmental Assessment •

### 1.0 INTRODUCTION

#### 1.1 PURPOSE OF THE DOCUMENT

This Final Environmental Assessment (EA) has been prepared for the development of site improvements on a portion of a currently undeveloped lot adjacent to an existing residence. Because the project site is located within the State Land Use Conservation District, a Conservation District Use Permit must also be obtained. The proposed improvements to the property include an expanded motor court turnaround area, a new residential addition, an artist's studio/gazebo, a recreational deck, landscaping, and fencing.

#### 1.2 PROJECT INFORMATION SUMMARY

<b>Project Name:</b>	Haig Residence - Site & Dwelling Improvements
<b>Applicant:</b>	David Haig First Hawaiian Center 999 Bishop Street, Suite 2800 Honolulu, Hawai'i 96813 Telephone: 808-526-9169
<b>Agent:</b>	Group 70 International, Inc. 925 Bethel Street, Fifth Floor Honolulu, Hawai'i 96813 Contact: George Atta, AICP Telephone: 808-523-5866
<b>Accepting Authority:</b>	State of Hawai'i, Department of Land and Natural Resources
<b>Project Location:</b>	Wilhelmina Rise, Honolulu, O'ahu, Hawai'i (Figure 1-1)
<b>Landowner:</b>	David Haig
<b>Tax Map Key:</b>	TMK: 3-3-36:parcel 30 (Figure 1-2)
<b>Land Areas:</b>	71,377 sq. ft.
<b>City / County Zoning:</b>	P-1 Restricted
<b>City / County Development Plan:</b>	Primary Urban Center: Preservation
<b>State Land Use District:</b>	Conservation – General Subzone

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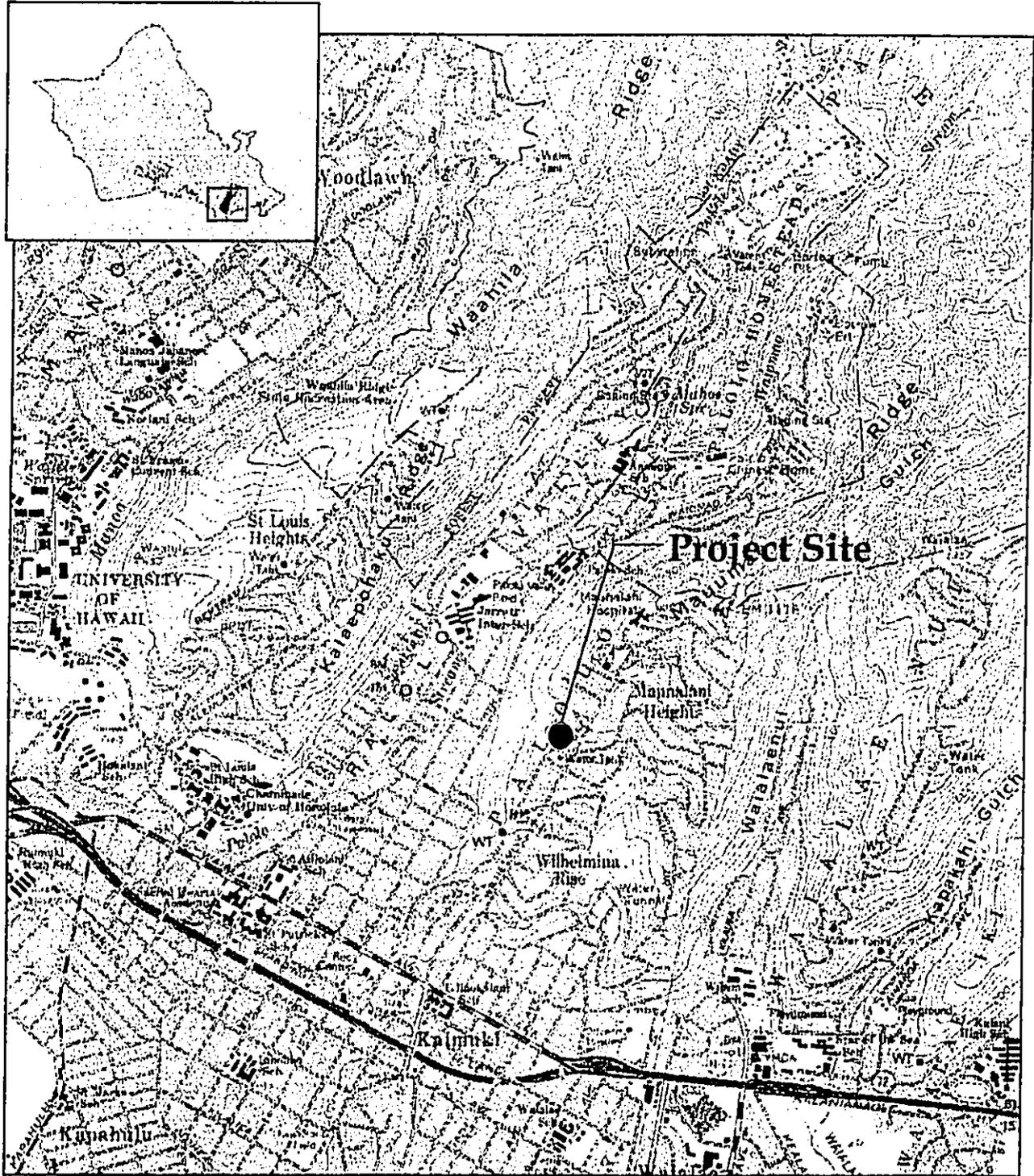
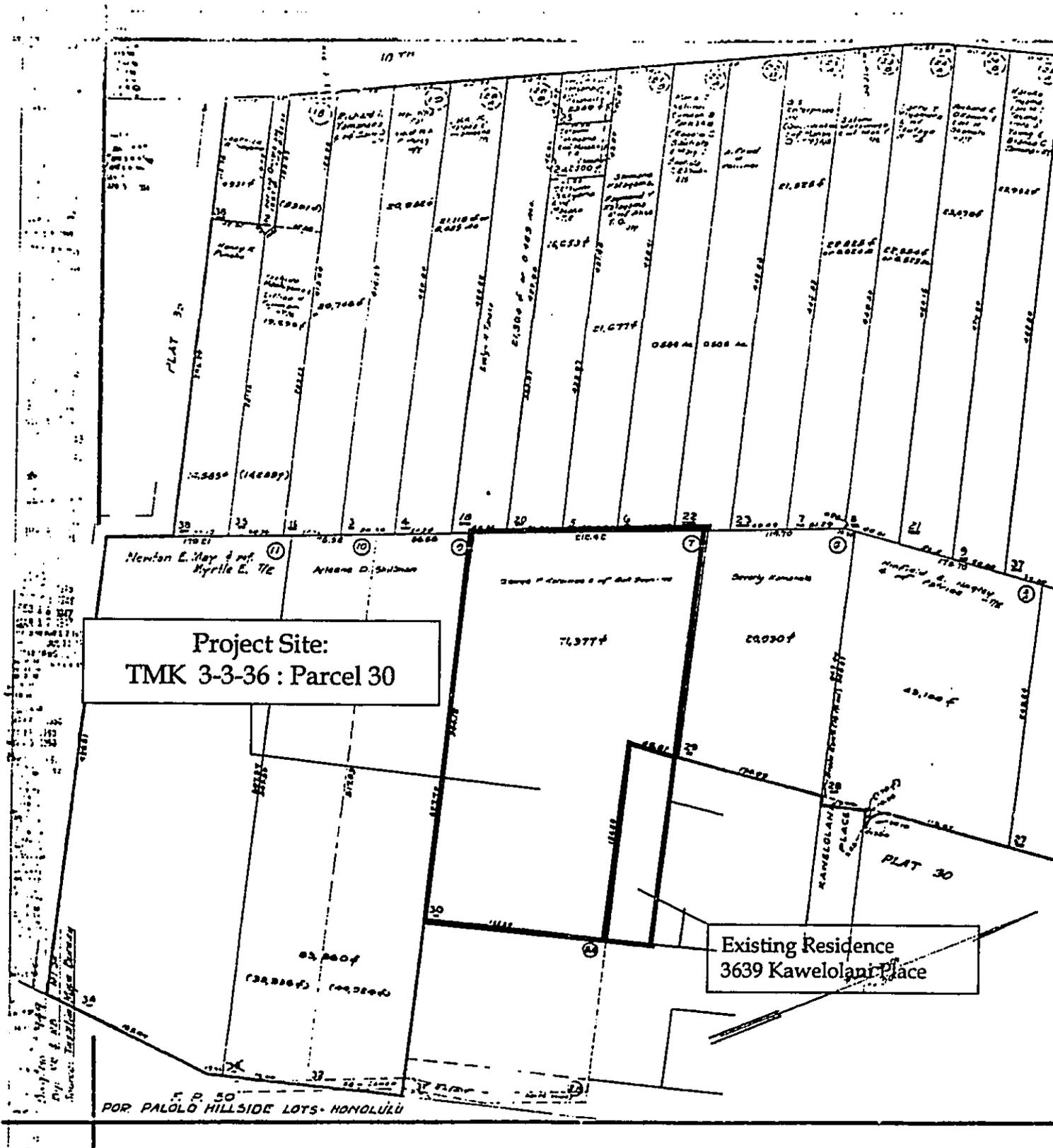


Figure 1-1

Project Location Map  
Haig Residence



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Project Site Tax Map Key 3-3-36: 30

Haig Residence

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Figure 1-2  
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## HAIG RESIDENCE - SITE & DWELLING IMPROVEMENTS

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### 1.3 OVERVIEW OF THE PROPOSED PROJECT

The proposed project involves improvements on a vacant property adjacent to an existing residence. The improvements include: an expanded driveway turnaround area, a new residential addition, an artist's studio/gazebo, a recreational deck and landscaping. The proposed improvements will occupy approximately 4,000 square-feet of the subject property. The property, though directly adjacent to an existing residence, is within the State's Conservation Land Use District and an Environmental Assessment and Conservation District Use Application are necessary precursors to this development action. A complete description of the proposed improvements is contained in Section 2.0.

### 1.4 AGENCIES CONTACTED DURING THE PRE-CONSULTATION AND DRAFT EA REVIEW PERIODS

Listed below are the agencies and other parties contacted regarding the proposed project prior and subsequent to publication of the Draft EA.

Those contacted during the pre-consultation period and Draft EA period are listed below. Correspondence during the preparation of the Draft EA is included in Appendix A. Draft EA Comment letters and responses are included in Section 7. Those parties that provided written comments are indicated with an asterisk [\*].

#### State Agencies

Department of Business, Economic Development and Tourism

Department of Health

Department of Transportation \*

Department of Land & Natural Resources

- Land Division
- State Historic Preservation Division \*

Kaimuki Public Library

Office of Environmental Quality Control (OEQC) \*

Office of Hawaiian Affairs \*

#### City & County of Honolulu Agencies

Board of Water Supply \*

Department of Design and Construction

Department of Environmental Services

Department of Facility Maintenance

Department of Parks and Recreation \*

Department of Planning & Permitting \*

Department of Planning & and Permitting Traffic Review Branch

Department of Transportation \*

Fire Department \*

Kaimuki Neighborhood Board # 4 \*

Police Department \*

## HAIG RESIDENCE - SITE & DWELLING IMPROVEMENTS

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• Final Environmental Assessment •

### Individuals

Lynnette Cruz  
Leigh Wai Doo  
Eddie Kaanana  
Leonard Tam\*

### **1.5 CONTENTS OF THE FINAL ENVIRONMENTAL ASSESSMENT**

This Draft Environmental Assessment evaluates the potential impacts of the proposed project on the natural and human environment. This document is presented in six sections. Section 1.0 contains the introduction and project overview. Section 2.0 describes the proposed project and Section 3.0 addresses the environmental, social, cultural and economic impacts of the proposed project. Alternatives to the proposed project are presented in Section 4.0. A review of the appropriate existing State and County policies and plans is contained in Section 5.0. Section 6.0 contains a statement of anticipated determination, findings and reasons supporting the anticipated determination.

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Section 2.0

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Project Description

## 2.0 PROJECT DESCRIPTION

### 2.1 PROJECT LOCATION AND SITE CHARACTERISTICS

The project site is located on Wilhelmina Rise on the eastern slopes of Palolo Valley on the Island of O'ahu. Mr. David Haig, the applicant and landowner of the main residence immediately adjacent (8,140 sq. ft.), owns the project site (71,377 sq. ft.). The existing site plan is depicted in Figure 2-1 and the main residence is shown in Figure 2-2. The site is located directly adjacent to the residential areas of the ridge within the State Conservation District. A Conservation District Use Application (CDUA) is needed to implement site improvements. The 1.6-acre vacant site is relatively steep with 15-40 percent slopes stretching down its 364-foot length. Several relatively level areas on the site exist however, providing potential locations for the proposed site improvements. It is nearly 450 linear feet to the nearest residences of Palolo Valley below the site. See Figures 2-3 and 2-4 for views of Palolo Valley and Wilhelmina Rise.

Wilhelmina Rise is renowned for its stunning views of Diamond Head, surrounding ridges and valleys and the City of Honolulu. The west side of the ridge faces Palolo Valley, a predominantly residential community with some agricultural areas mostly in the back of the valley. In general, the local area is characterized by dense residential development (City and County Zone R-5) along the ridgeline bordered by vacant Conservation District parcels (City and County Zone P-1) along the steeper slopes. Kaimuki, a residential and commercial community, lies at the foot of the ridge, approximately one mile from the project site.

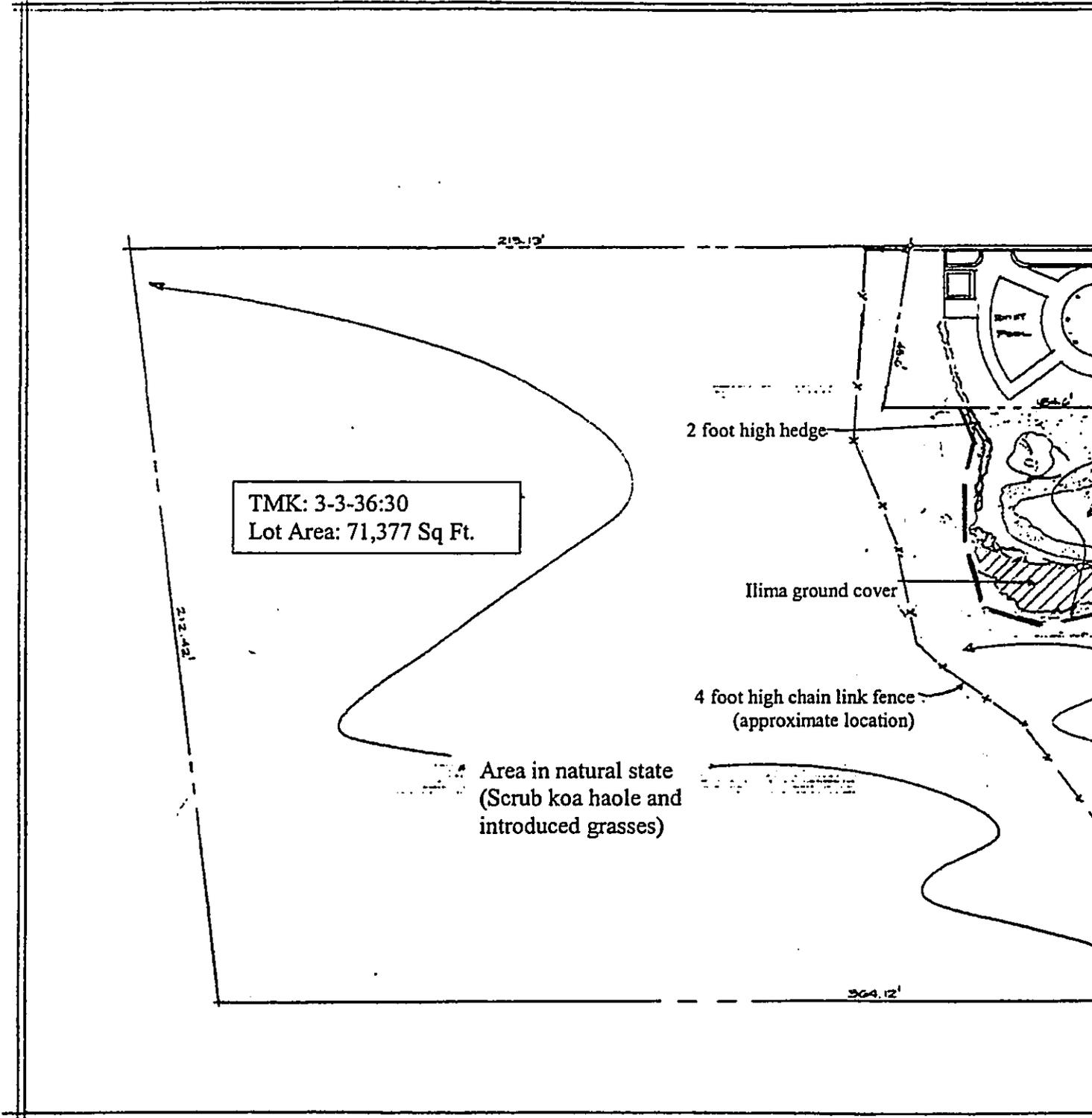
While the slope of the ridge places some limitations on development, there are examples of improvements on the vacant slopes in the area. Some nearby landowners have added slope-side gazebos and other structures, view platforms and landscaping on land below their homes to capture valley and makai views and add value to existing residences. See Figure 2-5, a view of existing gazebos from Palolo Valley.

### 2.2 DESCRIPTION OF THE PROPOSED PROJECT

The proposed improvements to the property include: an expanded motor court turnaround area, a new residential addition, an artist's studio/gazebo, a recreational deck, landscaping, and fencing. The site improvements are intended to utilize buildable areas on the vacant slope and enhance the amenities of the existing main residence. It is intended that these improvements result in minimal impacts on the environment, surrounding neighbors, and down slope areas. The proposed site plan is included as Figure 2-6. Each of the project elements is described in greater detail below:

#### 2.2.1 Motor Court Extension

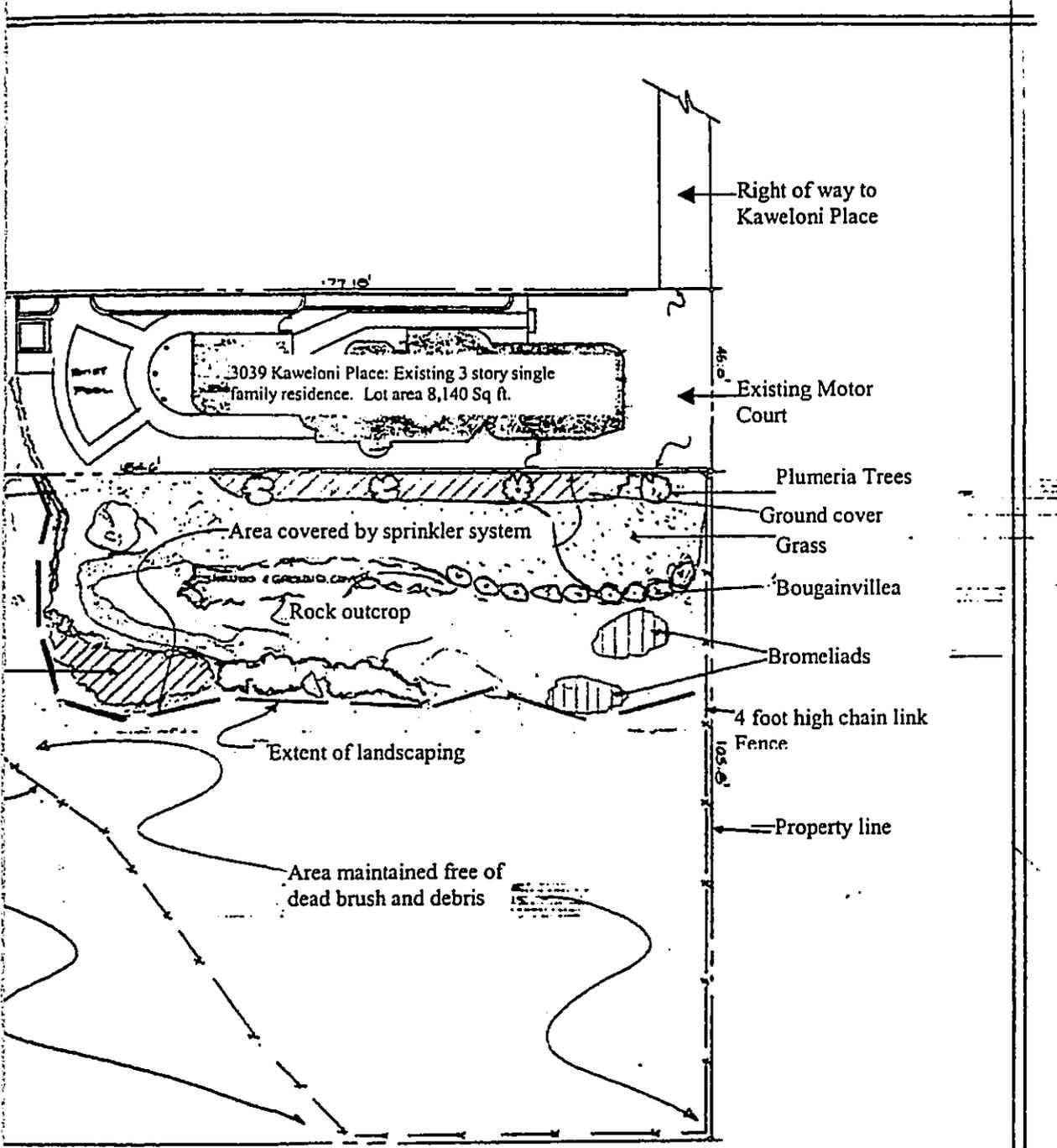
A new 1,300 square-foot concrete motor court is proposed to expand the existing motor court area and to provide three parking spaces for the main residence. Parking and vehicle maneuverability are severely limited under existing conditions, and the addition is



Existing Site Plan  
Haig Residence

DWELLING IMPROVEMENTS

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Site Plan by John Wheeler, AIA

Figure 2-1  
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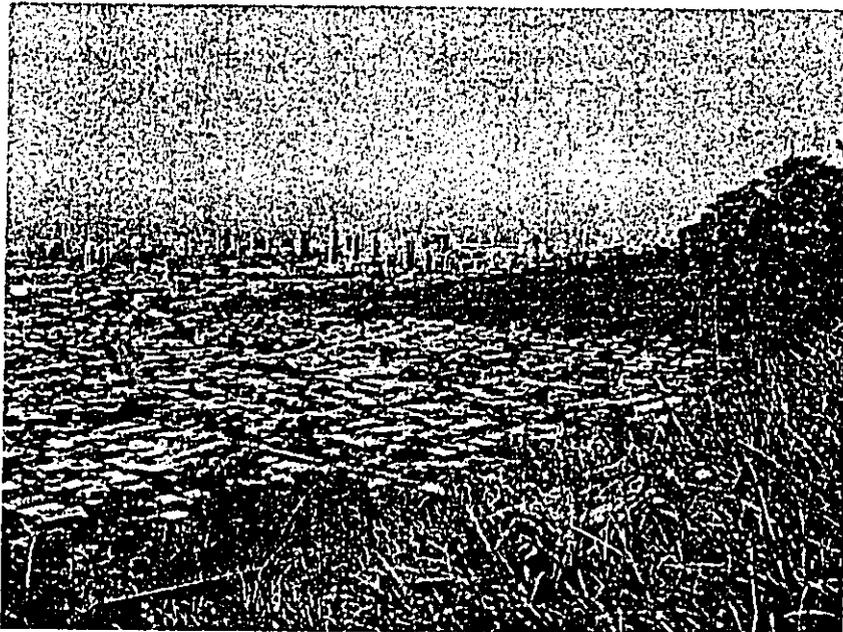
HAIG RESIDENCE - SITE & DWELLING IMPROVEMENTS

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Existing Residence  
and  
Landscaping



Figure 2-2



View of Palolo  
Valley from Project  
Site

Figure 2-3



View of  
Wilhelmina Rise  
From Project Site

Figure 2-4

View of  
Existing Gazebos  
Near Project Site  
Area

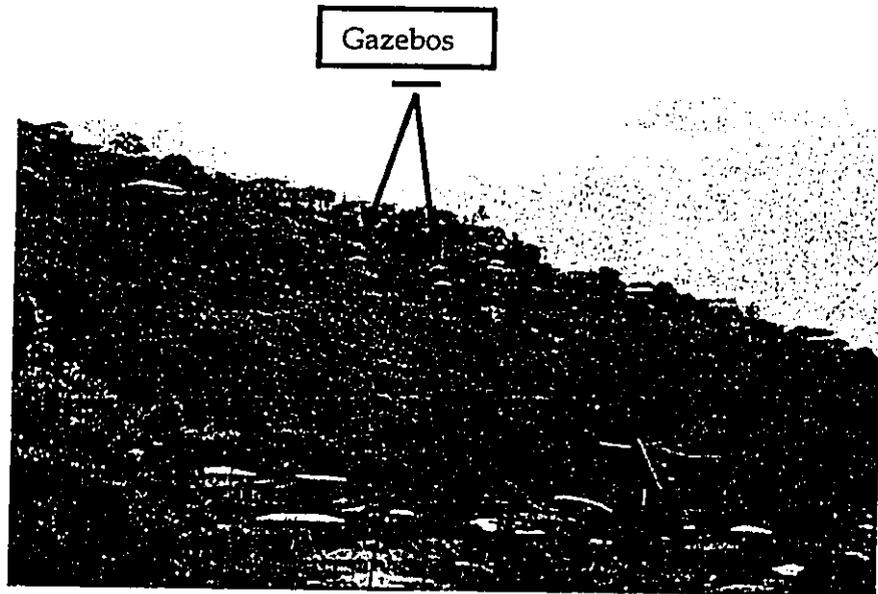
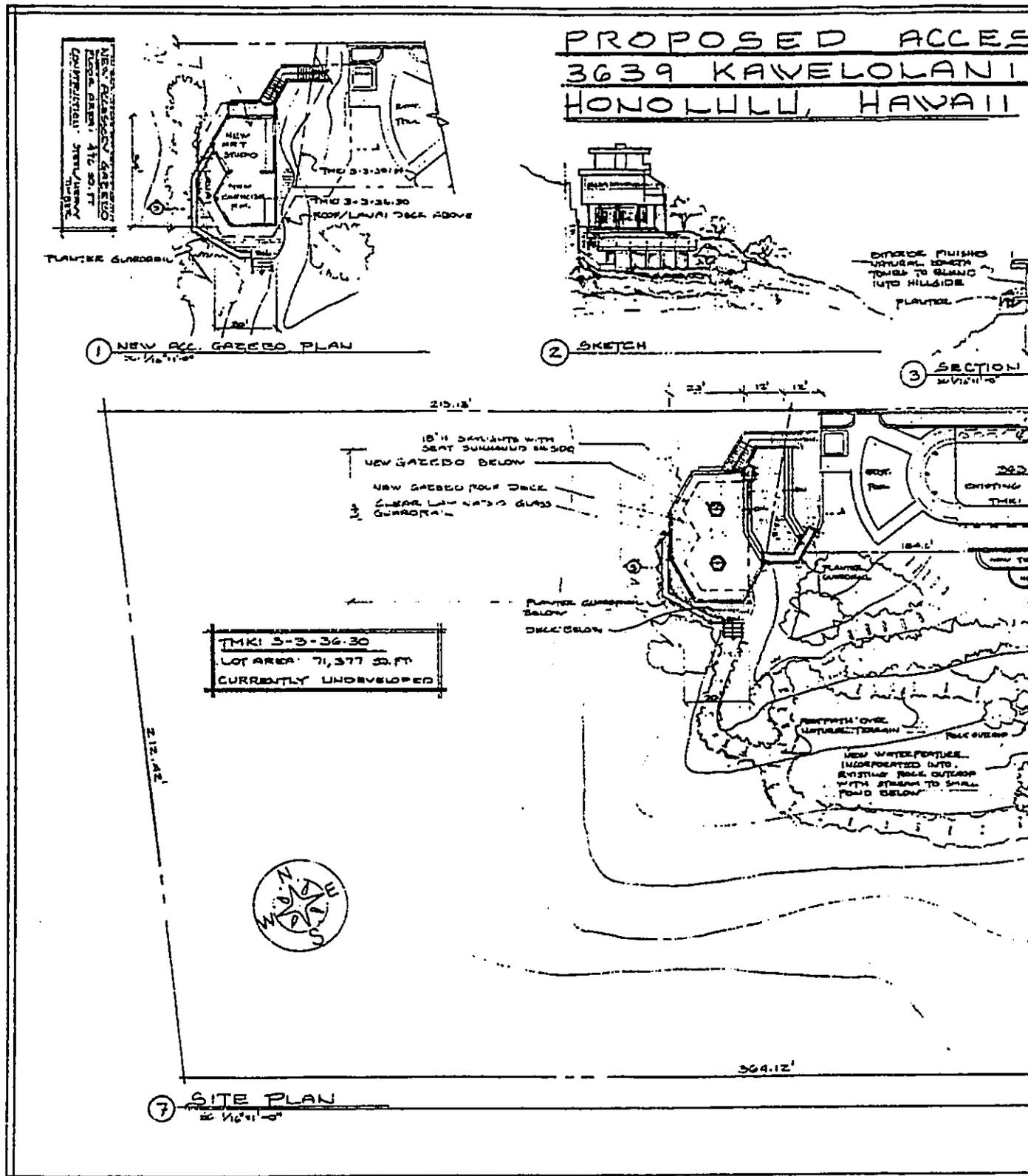


Figure 2-5



Project Site Plan

Haig Residence



## HAIG RESIDENCE - SITE & DWELLING IMPROVEMENTS

### • Final Environmental Assessment •

intended to improve vehicle access and safety. The motor court is designed to provide an adequate turning area for vehicles to reverse and forward exit the property via the narrow right-of-way leading to Kawelolani Place. Currently cars often need to back out of the steep driveway in reverse. Structurally reinforced beams will support the concrete structure with footings placed in the slope. The addition will extend 26-feet into the Conservation District. A proposed residential addition is also planned directly underneath the expanded motor court area. Expansion of the motor court is intended to provide a safe and manageable turn-around and parking area in a constrained space.

#### **2.2.2 Residential Addition**

The residential addition is intended as a 1,040 square-foot accessory dwelling unit. The addition will be located directly underneath the expanded concrete motor court to maximize the limited developable space directly adjacent to the main residence. The addition will be composed of a living room, kitchen/dining area, bedroom and bathroom. A concrete terrace and lanai will ring the new structure with a stairway down from the main residence leading to these features. New electric and plumbing lines extending from the existing house will service the new dwelling. An automated fire sprinkler will also be installed. The residential addition is intended to utilize space directly below the proposed motor court.

#### **2.2.3 Artist's Studio/Gazebo**

A 476-square-foot structure on the west side of the main residence will serve as an artist's studio, exercise room and gazebo. The structure will provide space for studio uses, exercise equipment and a lookout. It is intended to have minimal impact on the slope and the structure will be nestled against the hillside. The building's exterior will be natural earth tones, which will blend into the hillside. The steel and heavy timber building will be surrounded by a planter guardrail and landscaping to minimize its visual impact. Stairs leading from the main residence will provide access to the site. An automated fire sprinkler will also be installed.

#### **2.2.4 Recreational Deck**

A new elevated timber platform tennis court is proposed along a relatively level portion of the project site. The platform structure is located at the base of the slope outside of view-planes from Palolo Valley, which preserves the existing character of the natural terrain. Specific improvements to this area will include a wooden platform court deck, fencing to surround the court and a wooden trellis just upslope from the court. These improvements will occupy approximately 2,000 square feet. A footpath will provide access to the recreational deck over the natural terrain of the site.

#### **2.2.5 Improved Landscaping**

Minor landscaping around the proposed structures will be improved to minimize the visual impact of the structures, provide soil retention and help preserve natural landscape features. In addition, a new water feature will be incorporated into an existing rock outcrop with a stream leading to a small pond. There is no existing water feature. Landscape improvements will not include major grading or slope alterations.

HAIG RESIDENCE - SITE & DWELLING IMPROVEMENTS

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**2.2.6 Fencing**

Fencing will be constructed around the perimeter of the parcel. Landscaping will screen the chain link fence to minimize visual impacts.

**2.3 PROJECT COSTS AND SCHEDULE**

The total project costs for all site improvements is estimated at \$530,000. The following is an estimated breakdown of the costs for each proposed improvement:

Motor Court	\$125,000
Residential Addition	\$100,000
Artist's Studio/Gazebo	\$125,000
Recreational Deck	\$45,000
Improved Landscaping	\$135,000

Construction is tentatively scheduled to begin in early to mid 2002 and continue for approximately 8-12 months.

Section 3.0

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Description of the Environmental Setting,  
Potential Impacts, and Mitigative Measures

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### 3.0 DESCRIPTION OF THE ENVIRONMENTAL SETTING, POTENTIAL IMPACTS AND MITIGATIVE MEASURES

The environmental setting, potential impacts and mitigative measures for the proposed Haig Residence Site and Dwelling Improvements project are addressed below.

#### 3.1 CLIMATE

*Existing Conditions* - The climate of O'ahu is mild and semitropical with prevailing northeast trade winds. Average daily minimum and maximum temperatures range from the low 60's (degrees Fahrenheit) to the low 90's, depending upon the time of day and the season. Precipitation is seasonal with most rainfall typically occurring from October through April. Annual rainfall on O'ahu varies with elevation and geography. Rainfall averages over 120 inches per year at approximately 2,700 foot elevation at the top of Palolo Valley near the ridgeline of the Koolau Mountain Range. Rainfall at the project site is between 40 and 60 inches per year.

*Anticipated Impacts and Mitigative Measures* - The proposed project will have no effect on climatic conditions. Therefore, no mitigative measures are required.

#### 3.2 TOPOGRAPHY

*Existing Conditions* - The project site is located on the ridge above the eastern slopes of Palolo Valley. Topographic elevation ranges from approximately 600 feet to 680 feet above mean sea level. The slope of the terrain varies from 15 to 40 percent.

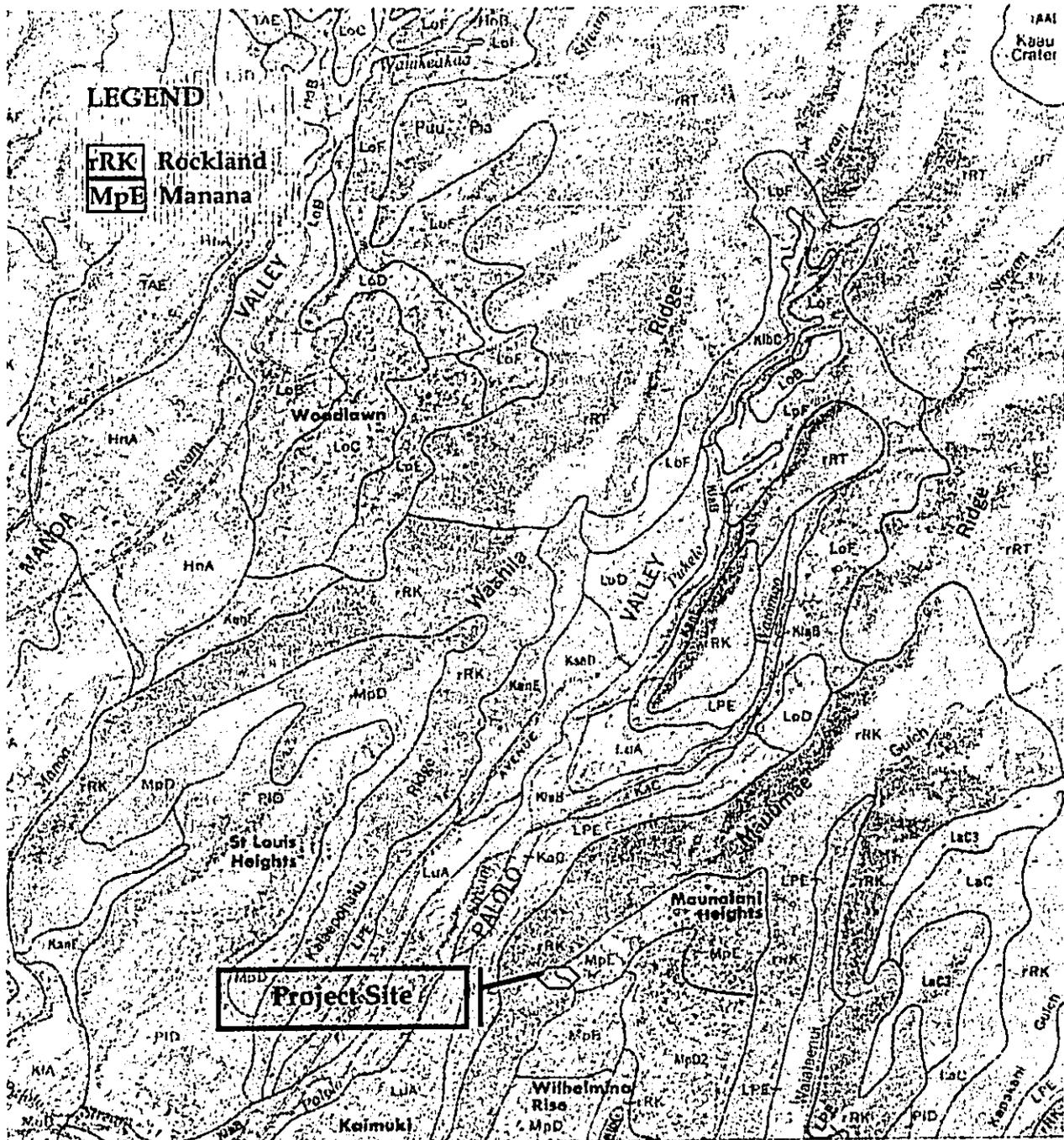
*Anticipated Impacts and Mitigative Measures* - The proposed project will not substantially alter the overall existing topography of the project site. No substantial fill or excavation is being proposed for the project. Mitigative measures related to soils and grading are described in the following section.

#### 3.3 SOILS AND GRADING

*Existing Conditions* - Soils at Wilhelmina Rise are composed of Manana silty clay, 25 to 40 percent slopes (MpE). See Figure 3-1. Manana soil consists of well-drained soils on uplands on the island of O'ahu. These soils developed in material weathered from basic igneous rock and are generally gently sloping to steep. Rock land (rRK) is also present which is made up of areas where exposed rock covers 25 to 90 percent of the surface. These rock outcrops and very shallow soils are the characteristic soils on the site.

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Source: U.S. Department of Agriculture Soil Conservation Service: Soil Survey of Islands of Kauai, O'ahu, Maui, Molokai, and Lanai, State of Hawai'i; 1972

Figure 3-1

Soil Map

Haig Residence



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## HAIG RESIDENCE - SITE & DWELLING IMPROVEMENTS

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**Anticipated Impacts and Mitigative Measures** – The project will involve some minor grading for the development of the studio/gazebo and recreational deck. Other minor grading will take place around the residence for the development of walkways and landscaping. To minimize the potential for any slope instability, the following precautionary measures will be taken:

1. A detailed geological site reconnaissance of structure areas on steep slopes to identify and map existing loose boulders will be conducted, followed by removal of loose boulders prior to or during construction. Loose boulders will either be removed from the site or possibly used for construction of water features or other construction on site. Loose or potentially loose boulders, which are very large, will be either grouted or anchored into place to prevent possible down slope movement.
2. Gunite will be placed in the vicinity of the proposed structures to minimize the potential for rock or boulders becoming loose due to erosion or weathering.
3. All foundations will be anchored to the underlying rock for a depth of 10 feet.

To minimize grading, the proposed structures will be built on posts that sit on the uneven slopes and will involve minimal site grading. Only the areas around the footings and pathway will involve grading. The total volume of grading is expected to be about five cubic yards.

All grading operations will be conducted in compliance with dust and erosion control requirements of the City and County of Honolulu Grading Ordinance. A Grading Permit will be obtained from the City and County of Honolulu prior to beginning construction. During Grading Permit review and approval, the City reviews the grading plans for the site and specific conditions may be attached at that time. See Appendix B for the full geotechnical report.

### 3.4 SURFACE WATER AND DRAINAGE

**Existing Conditions** - The existing flood zones were reviewed using the National Flood Insurance Program, Flood Insurance Rate Map (FIRM, Panel Number 150001-0120C, September 4, 1987). The project site is located outside of any designated flood area and, according to the FIRM, is within "Other Areas Zone X: Areas determined to be outside 500-year flood plain." The potential for soil erosion is minimal as a result of the thin soil cover.

**Anticipated Impacts and Mitigative Measures** – There appears to be limited potential for soil erosion due to the thin soil cover. Erosion control measures such as limiting the site clearing of vegetation to the minimum required for construction and reestablishing plantings or landscaping as soon as possible will be implemented.

Due to the small area of coverage, 4,000 square feet, the anticipated increase in runoff is expected to be minimal. Additionally, increased vegetation is expected to reduce on-site runoff. The anticipated net effect is minimal to no change in surface runoff as a result of the proposed development.

## HAIG RESIDENCE - SITE & DWELLING IMPROVEMENTS

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The water feature will be designed to prevent water from saturating the soil and to prevent soil erosion.

### 3.5 FLORA AND FAUNA

*Existing Conditions* - There do not appear to be any endangered plant species on the project site. The existing vegetation observed throughout the project area consists of grassy areas, small shrubs, and small trees. The plants are nearly all introduced exotics such as koa haole (*Leucaena Leucocephala*), christmas berry (*Schinus terebinthifolius*), and Begger ticks (*Bidens Pilosa*). Ulei and ilima are found on the site but are common species

The project site borders a developed urban setting. The natural fauna of the project site consists of common introduced birds, insects, and domesticated animals (pets). There are no existing wetlands, wildlife sanctuaries or refuges adjacent or in the immediate area of the project.

*Anticipated Impacts and Mitigative Measures* - No rare, endangered, or threatened plant or animal species are presently known to exist on the project site. Improvements to the project site will provide new landscaped areas, trees and plantings that may serve as habitat for area wildlife. Landscape plans will include retaining and/or the planting of native species. No adverse impacts are anticipated, and no mitigative measures are considered necessary.

### 3.6 ARCHAEOLOGICAL RESOURCES

*Existing Conditions* - A portion of the project site and surrounding area has been subject to previous construction. The existing site is not considered historically significant. A relatively small portion of the entire site (about 5 percent) will be disturbed.

*Anticipated Impacts and Mitigative Measures* - According to staff from the State Historic Preservation Division, there are no recorded archaeological resources on the project site. However, an archeological survey has not been conducted in the area and burial caves have been found on similar slopes nearby. A visual inspection of the hillside revealed several small caves filled with soil, but there was no evidence that these were used as burial caves.

In the event that any previously unidentified sites or remains are encountered during site work and construction, work in the immediate area will cease. An archaeologist from the State Historic Preservation Division will be notified and work in the area will be suspended until further recommendations are made for appropriate treatment of archaeological and/or cultural materials.

### 3.7 CULTURAL RESOURCES

*Existing Conditions* - A cultural impact assessment was conducted that included both preliminary research and consultation with individuals known to have knowledge of the Palolo Valley area.

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Lynnette Cruz, a member of Ahupua'a Action Alliance, was the first individual consulted because of her reputation of having knowledge of cultural resources in Palolo Valley. Ms. Cruz recommended that we contact other individuals with knowledge of the area. One individual, who requested her name not be used, stated that there may be burials on the project site because the ridge is associated with the legend of the thief with a magic net. However, this legend is generally attributed to the lower portion of the ridge and not with the project site. This informant also recalled an event several years ago when houses were constructed along the St. Louis Heights side of the valley and the entire valley fell in. She attributed this to unstable geology as well as to legends of burial sites in the area. She did not know of any other cultural resources in the area.

Three other individuals were identified as having information regarding the cultural significance of the area. However, we were unable to reach two individuals. Eddie Kaanana, who was mentioned as a potential informant, said his knowledge was more about lower Waialae than upper Palolo Valley.

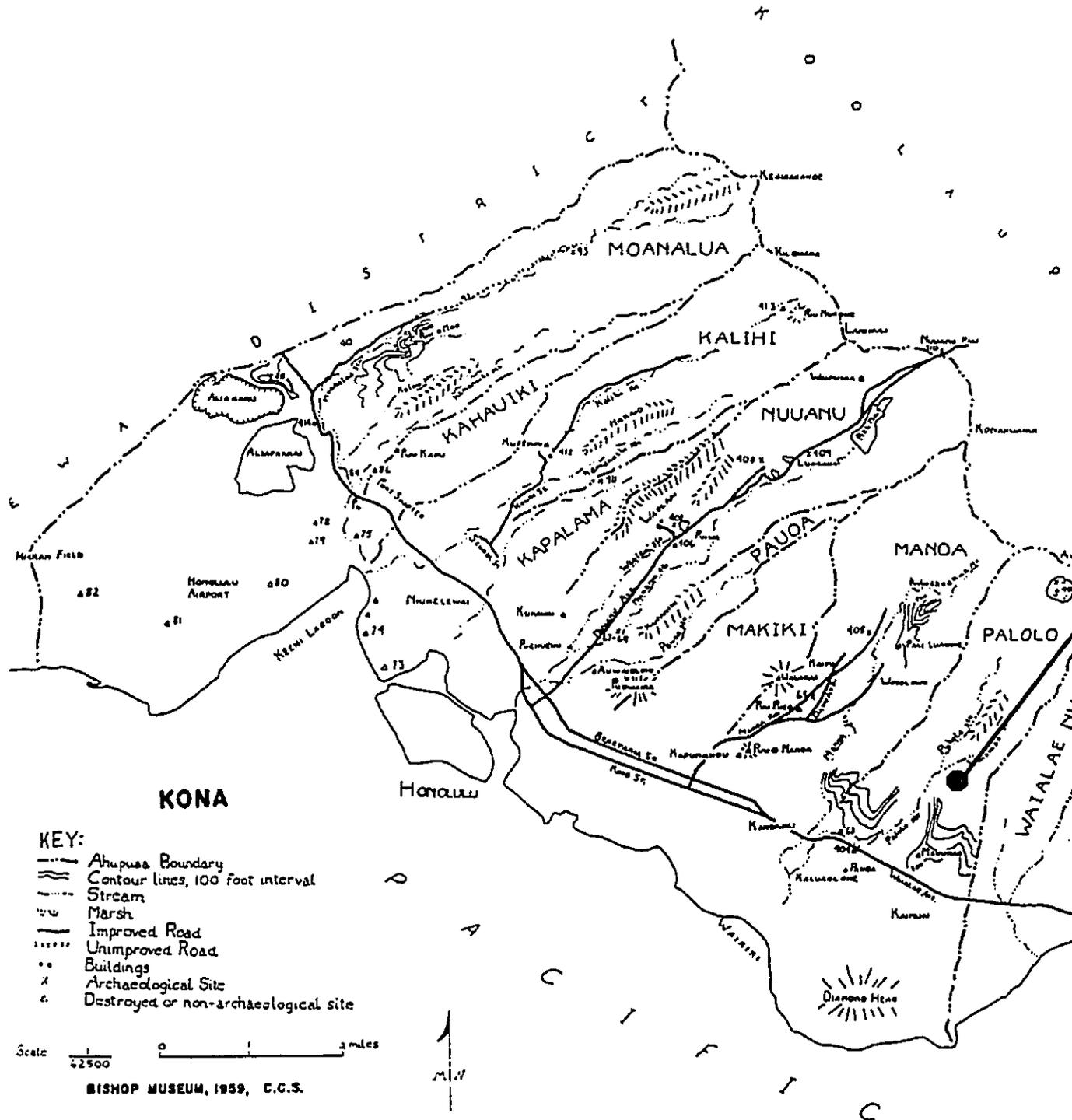
Interviews were conducted on the telephone and in person. The interviewer explained that the interview was part of research for proposed development on Wilhelmina Rise, which involves a recreation deck and gazebo, similar to existing gazebos on the slope of the valley. The interviewer then asked open-ended questions about stories, legends, and oral histories for Palolo.

Lynnette Cruz is a member of the Ahupua'a Action Alliance. The Alliance is a coalition of grassroots environmental and Hawaiian organizations. Their primary focus is protection and restoration of Hawai'i's natural, cultural and spiritual resources -- its land, water, gods and people. The Alliance offers an alternative approach to resource management based on the traditional Hawaiian model of the ahupua'a. The other informant who prefers not to be cited, is active in agencies involved in preserving native Hawaiian cultural practices.

Elsbeth Sterling and Catherine C. Summers' *Sites of O'ahu* is a comprehensive study of archaeological and historical sites of O'ahu. It includes material reprinted from the 1920s and 1930s, myths and legends associated with natural landmarks and traditional sites, and unpublished information collected from interviews. *Sites of O'ahu* revealed that the project site is located in the Palolo Ahupua'a (Figure 3-2) and that Palolo Valley has a history of extensive terracing and cultivation. Sterling and Summers also recount legends of a robber and his son living on the Wilhelmina Rise side of the valley. They would rob and kill victims and place the bodies in burial caves in the vicinity.

Based upon information gathered from research and interviews, the potentially most significant cultural practice associated with the hillside areas along Palolo Valley is the Native Hawaiian practice of burying the dead in caves. However, field checks did not uncover any burials at the project site.

The lack of other information provided by the informants suggests that either the site is not associated with many cultural practices and beliefs or that the informants were not knowledgeable about the project site. The former is more likely to be correct because several



Ahupua'a Boundary

Haig Residence

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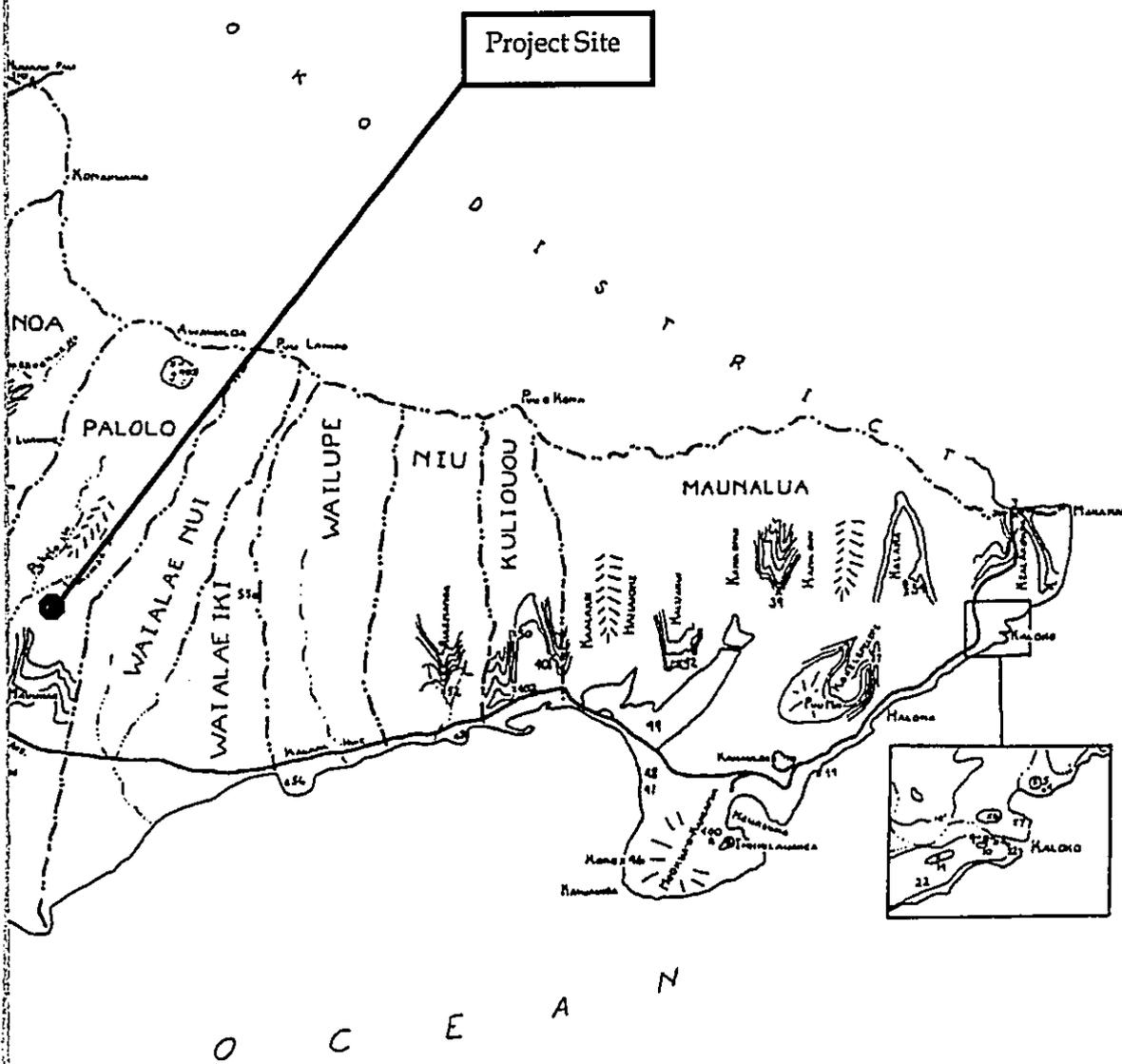


Figure 3-2  
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Well-known informants with knowledge of the area were contacted. Even if they could not provide information, they would have been able to provide referrals of informants who had more information. Therefore, it is likely that the project site is not associated with significant cultural practices or beliefs.

*Anticipated Impacts and Mitigative Measures* – The cultural assessment did not reveal any significant cultural practices or beliefs associated with the project area. As a result, it is anticipated that the proposed development will not significantly impact cultural practices and no mitigative measures are considered necessary.

### 3.8 LAND USE POLICIES, PLANS AND REGULATIONS

*Existing Conditions* – Development patterns on O‘ahu are set by State Land Use District designations and by the City and County of Honolulu General Plan, regional Development Plans or *Sustainable Communities Plans*, and zoning district designations. The principal function of these plans and regulations is to specify where land uses such as commercial, residential, industrial, agricultural, open and public areas are permitted. The existing land use designations are briefly summarized below.

State Land Use Designation - The project site is located in the State of Hawai‘i Land Use Conservation District (Figure 3-3). The subject project requires a Conservation District Use Application (CDUA) as the project proposes development in this district. The project is located in the general subzone which is the least restrictive subzone in the Conservation District regulations. Dwellings and other accessory improvements are allowed in this subzone pursuant to Board of Land and Natural Resources (BLNR) approval. The basis of the application will be the findings of this Environmental Assessment.

City and County Development Plan - The City and County of Honolulu’s Primary Urban Center Development Plan Land Use Map designates the subject property as a “Preservation Area” (Figure 3-4) consistent with the State Land Use Designation.

City and County Zoning – The subject property is designated “P-1 Restricted Preservation District” on the City and County of Honolulu’s Zoning Map (Figure 3-5). Because of the site’s designation as “P-1 Restricted Preservation District” application for a State CDUA has precedent and properly addresses inconsistencies with more localized plans.

Coastal Zone Management Program – The project site is located approximately two miles inland and is not included within the Special Management Area established by the City and County of Honolulu to administer the Coastal Zone Management (CZM) Program.

*Anticipated Impacts and Mitigative Measures* – A single residence is allowed under Conservation District guidelines and the proposed residential component of this project meets this criteria. Each of the project features as described in Section 2.0 meets CDUA criteria and was designed with close consideration to the characteristics of the Conservation District.



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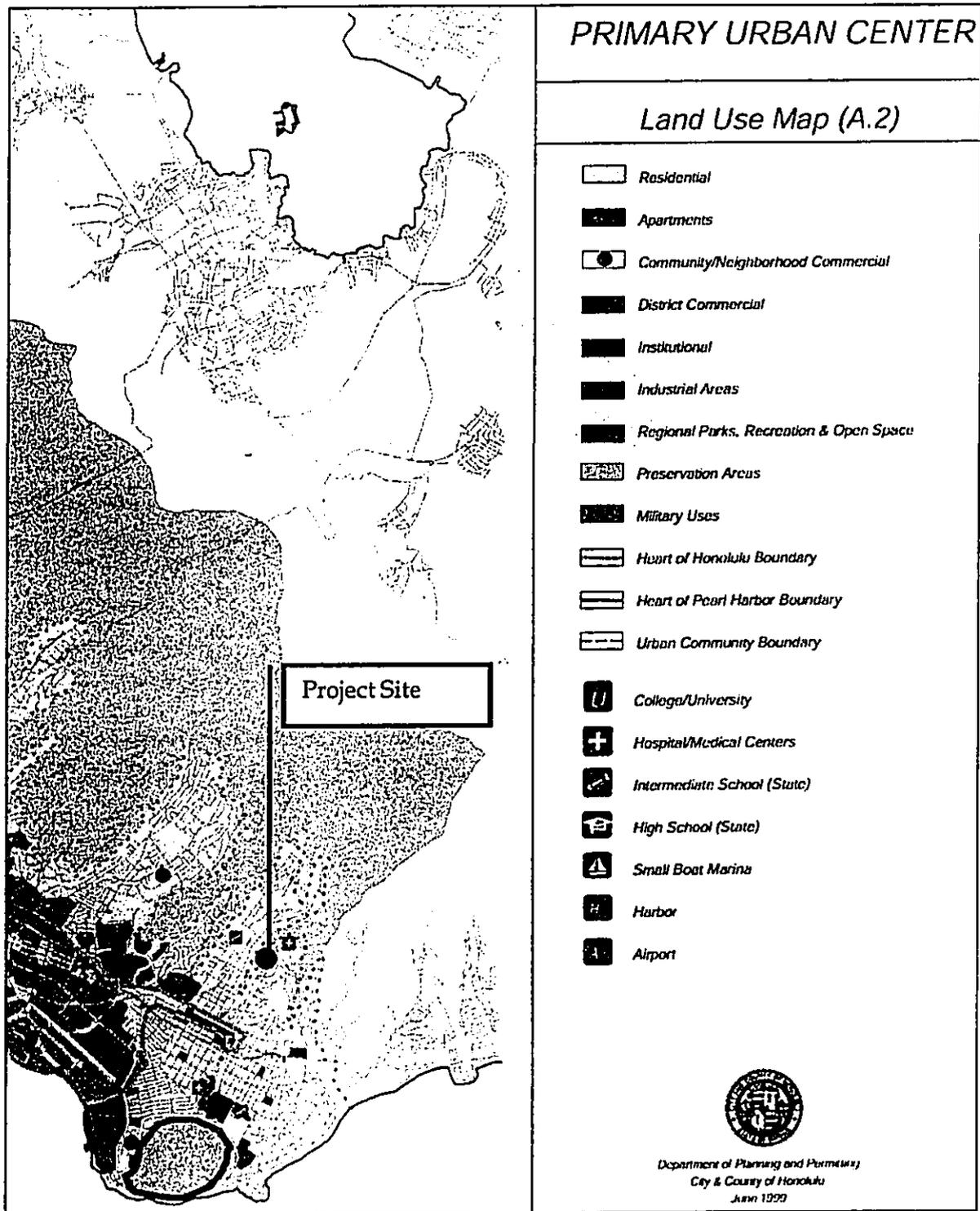


Figure 3-4

City/County Development Plan (Pending)

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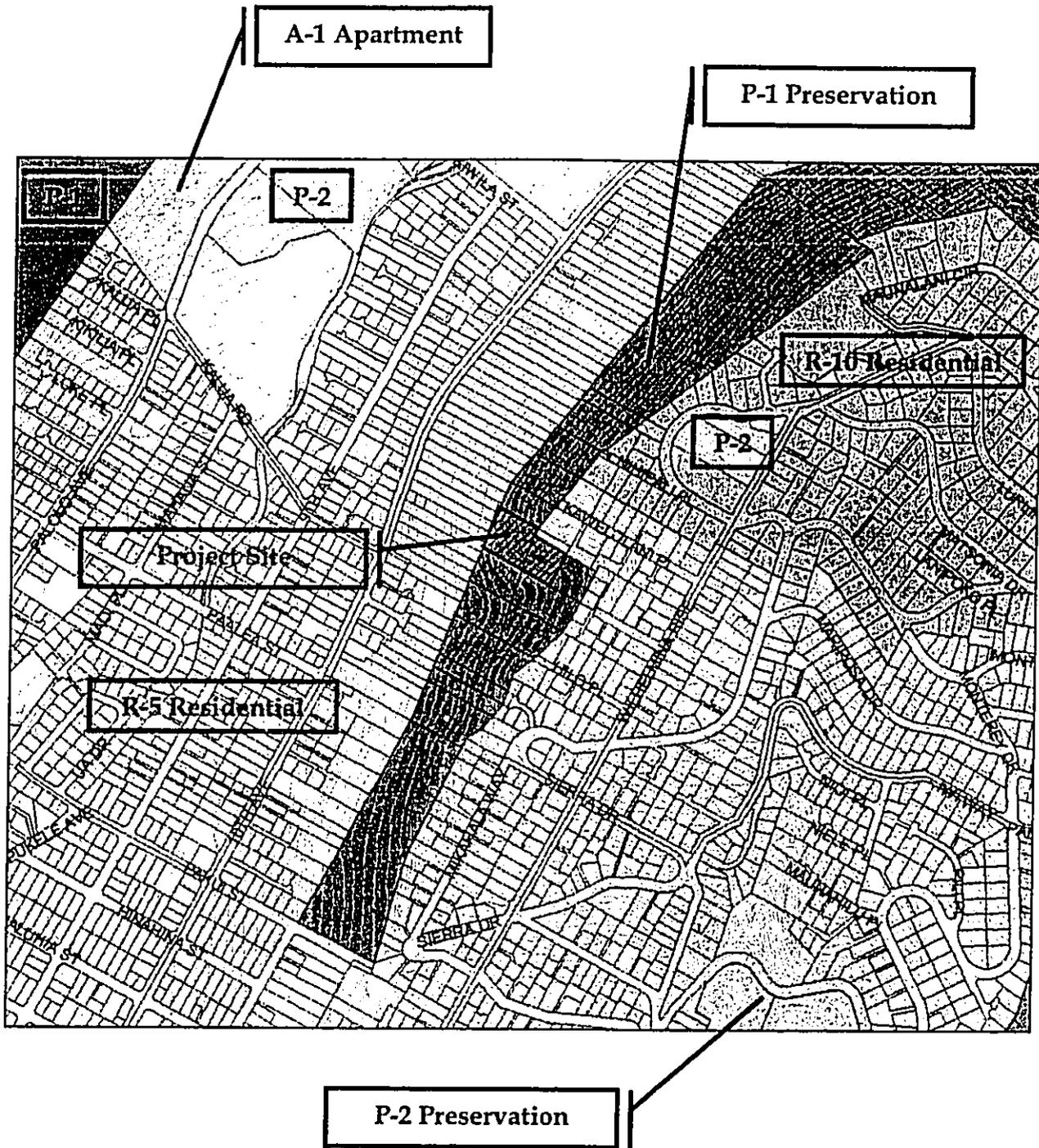


Figure 3-5

City/County Zoning

Haig Residence



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The proposed development will require a Conditional Use Permit (CUP-m) for joint development of the two zoning lots, since parcel 34 is zoned residential and under City jurisdiction. This is due to a connecting driveway, which is located in the P-1 district. In addition, the motor court and residential addition will be located in the required yard on the property. The motor court is being proposed in this location because it is an expansion of the existing driving and must be located on the edge of the parcel. The residential addition is planned directly under the motor court to minimize the intrusion into the conservation district. If the residential addition were not located in the required yard, a separate residential structure would need to be constructed that extended much farther into the conservation district.

### 3.9 SURROUNDING LAND USES

*Existing Conditions* - The project site is bordered by residences to the east and open space slopes to the west. The P-1 Conservation and R-5 Residential zones are the predominant land uses in the immediate area. The site borders the relatively dense residential area of Wilhelmina Rise and the steep slopes leading down to the residential areas of Palolo Valley.

*Anticipated Impacts and Mitigative Measures* - The existing residential land uses in the surrounding area are compatible with this project, as is this project with the surrounding residential land uses. The proposed project includes a small residential addition and the construction of several other residential-related amenities. The existing pattern of land uses in the area has existed for several decades. There are no nearby off-site hazardous land uses or activities, such as above-ground storage tanks or the handling of explosive or flammable materials, toxic substances or radioactive materials, that could adversely impact the proposed residential component of the project. The proposed site improvements have been designed to limit the impact on the slope and surrounding Conservation District. These improvements will be limited, and further encroachment is not anticipated.

### 3.10 VISUAL RESOURCES

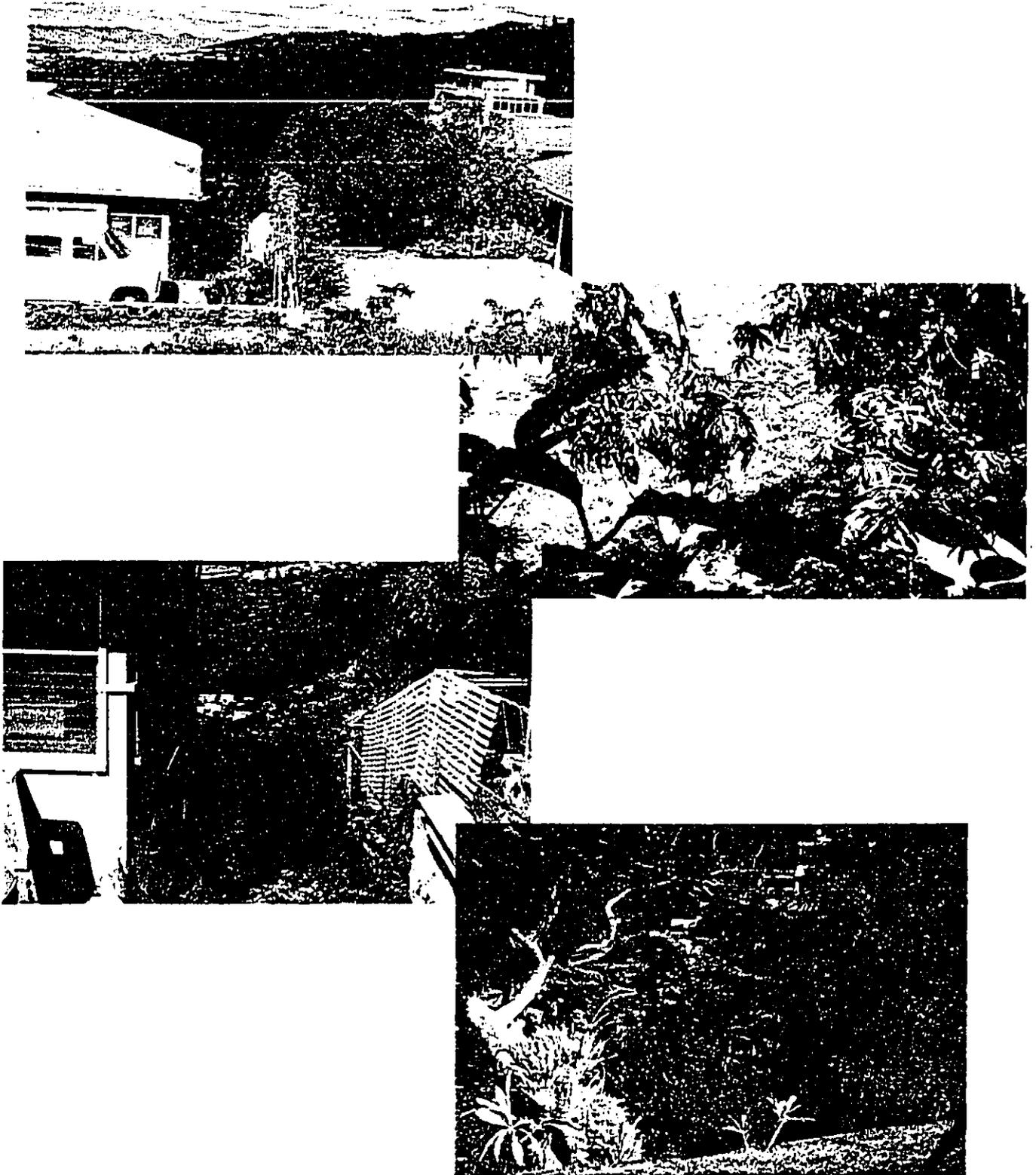
*Existing Conditions* - The project site borders a developed urban residential neighborhood. The buildings are located at varying elevations along Wilhelmina Rise. Views from the project site (Figure 2-3 and 2-4) consist primarily of adjacent residential areas, the expanse of Palolo Valley, Diamond Head crater and broad mauka and makai views.

There is limited visibility of the project site from neighboring properties. The photographs in Figure 3-6 were taken from Hilo Place looking up at the subject property. Extensive landscaping on the neighboring properties almost completely obscure views of the project site.

Figure 3-7 shows the project site in relation to three public sites, Ali'iolani School (1240 7<sup>th</sup> Ave), Lili'uokalani Elementary School (3633 Waialae Ave), and Jarrett Middle School (1903 Palolo Ave). The elevation of the three schools and the project site are indicated on the figure. The figure also shows that Lili'uokalani Elementary School and Ali'iolani School are nearly 5,000 linear feet from the project site making the project site and the existing house barely

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View of Project Site From Neighboring Residences

Haig Residence

Figure 3-6

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Slope / View Analysis

Haig Residence

Figure 3-7

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visible. Jarrett Middle School is 2,000 linear feet from the project site which is also a substantial distance.

Figure 3-8 further illustrates that the project site is not very visible from Lili'uokalani Elementary School and Ali'iolani School. Trees and buildings in the foreground of the photographs obscure views of the project site.

### *Anticipated Impacts and Mitigative Measures –*

Figure 3-9 is a view study of the proposed developments. A rendering of the gazebo, motor court / residential addition were superimposed on a photograph of the property taken from 10<sup>th</sup> Avenue in Palolo Valley. The photograph is taken from approximately 1,135 linear feet away from the project site.

Motor Court/Residential Unit -- The proposed residential unit and extended motor court is anticipated to have a minimal impact on the area's visual resources. This structure is located directly down slope from the existing main residence, extending approximately 26-feet from the existing developed lot. The land surrounding and containing the proposed structure is within the Conservation District and no residences will abut the subject property. The existing main residence will limit upslope neighbors' views of the proposed structure. However, the improvement will be visible from nearby residences and a minimal impact on neighbors' view-planes will result.

The view from 10<sup>th</sup> Avenue is depicted in Figure 3-9. The motor court is not visible from this perspective and the residential addition does not extend far into the Conservation District.

Artist's Gazebo and Exercise Room - The proposed accessory gazebo will be located immediately adjacent to the west side of the existing main residence (Figure 3-9). The structure will be nestled against the hillside, which will minimize any impact on the neighbors' view-planes. The natural earth tones of the building combined with landscaping will further minimize any visual impact.

A view of the gazebo from Jarrett Middle School in Palolo Valley shows that the gazebo will have a minimal visual impact (Figure 3-10). The project site is located approximately 2,000 linear feet from Jarrett Middle School and the proposed development is barely visible.

Recreational Deck – The proposed elevated timber platform tennis court will be located at the base of the slope outside of view-planes from Palolo Valley. Located below the horizon plane of other adjacent Wilhelmina Rise residences, the impact on view-planes will be minor.

A rendering of the recreational deck is included in the view study provided in Figure 3-9. Landscaping will mitigate any visual impacts.

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View of Project Site from Ali'iolani School



View of Project Site from Lili'uokalani Elementary School

View of Project Site from Ali'iolani and Lili'uokalani Schools

Figure 3-8

Haig Residence

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Existing Views of Project Site



Rendering of Proposed Development

Rendering of Proposed Development

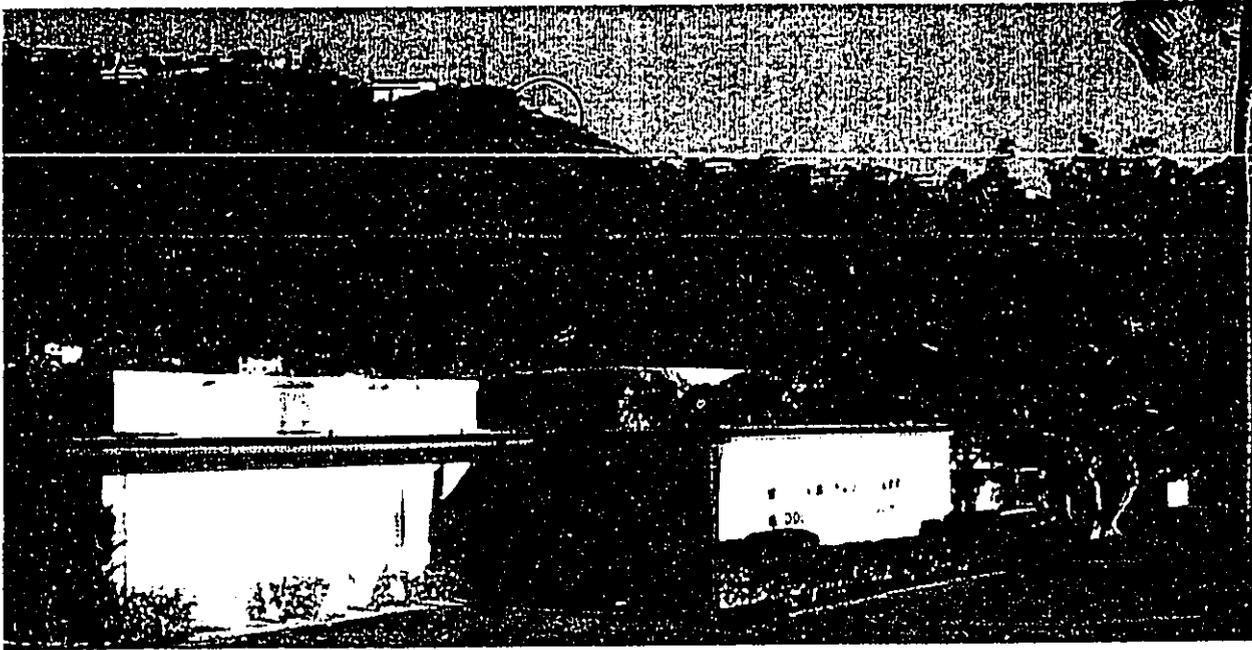
Haig Residence

Figure 3-9

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Existing View of Project Site from Jarrett Middle School



View of Gazebo

Haig Residence

Figure 3-10

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### 3.11 UTILITIES

#### *Existing Conditions –*

Water - The Board of Water Supply's system supplies potable water to surrounding homes. Improvements to the existing on-site water system will be completed as part of the project's site and dwelling improvements. There will be an increase in water usage with the addition of a residential unit and landscaping that will require irrigation. Based on a conversation with staff from the Board of Water Supply, the existing Board of Water Supply system has sufficient capacity to service the project.

Wastewater - The sewage system for surrounding homes connects to the City and County of Honolulu's municipal system. The existing on-site sewer lines will be extended to the proposed residential unit as part of the project's site and dwelling improvements. The sewage system will be a gravity flow system.

Electrical Power - Hawaiian Electric Company will service the electrical needs of the project site. Upgrades to the on-site electrical overhead distribution and service transformers serving the buildings will be completed as part of the project's site and dwelling improvements. Sufficient power to serve the proposed residential unit is available.

*Anticipated Impacts and Mitigative Measures* – The utility demand of the proposed residential unit can be met by existing sources. Extension of power, water and wastewater lines to the new unit will be necessary, but resulting demand on these utility systems are expected to be minimal. The new water feature will re-circulate water to minimize water usage.

No mitigative measures are considered necessary.

### 3.12 PUBLIC SERVICES

*Existing Conditions* – Access to various public services from the project site is satisfactory. Elementary and intermediate schools, parks, a fire station and police sub-station are all within a reasonable radius of the project site. Hospitals and emergency services (beyond those available at the nearby fire station) are within reasonably easy reach. Route 14 of the City bus system services the immediate area.

*Anticipated Impacts and Mitigative Measures* – As noted, this project includes the construction of a single residential unit. Thus, the demands placed upon public services are considered minimal. No mitigative measures are considered necessary.

### 3.13 ROADWAYS AND TRAFFIC

*Existing Conditions* - Access to the project site via Kawelolani Place is maintained by the City and County of Honolulu. The pavement width is approximately 18 feet. It is located in a residential area with no significant traffic capacity problems. No plans for future road widening in the area are designated on the Primary Urban Center Development Plan Public Facilities Map.

#### *Anticipated Impacts and Mitigative Measures* -

Construction Period - All construction work and motor court improvements will take place within the boundaries of the project site and the adjacent main residence. Construction activities will be limited to this area, and adjacent roadway use will be scheduled to avoid unnecessary impacts on traffic. Contractors will be responsible for providing necessary traffic controls and precautions to maintain traffic safety on roadways fronting the project site and main residence. Construction is tentatively scheduled to begin in early to mid 2002 and continue for approximately 8-12 months.

Future Traffic Flow - The proposed project consists of the construction of a single residential unit and accessory recreational facilities. Traffic safety will be enhanced by the proposed expansion of the residential motor court, reducing the need for vehicles to back-out onto Kawelolani Place. Given the limited impacts and projected continuation of acceptable traffic conditions in the future, no mitigative measures are considered necessary.

### 3.14 AIR QUALITY

*Existing Conditions* - The State Department of Health, Clean Air Branch regularly samples ambient air quality at monitoring stations throughout the State and publishes the information in *Hawaii Air Quality Data*. The monitoring station closest to the project site is located in Waikiki.

Air quality on O'ahu is generally good and relatively low in pollution, except where there are large numbers of vehicles or when weather patterns create stationary air conditions. With respect to the Clean Air Act, the project is located in an "attainment area", as is the entire State of Hawai'i. In 1999, the State of Hawai'i did not exceed any federal ambient air quality standards.

*Anticipated Impacts and Mitigative Measures* - The proposed project will have no long-term impact on air quality. There will be short-term impacts during the construction period in the form of exhaust from increased traffic and fugitive dust from construction activity.

The short-term effects on air quality during construction will be mitigated by compliance with State Department of Health Administrative Rules, Title 11, Chapter 60 (Air Pollution Control for O'ahu) and the U.S. Soil Conservation Service's Erosion and Sediment Control Guide for Hawai'i. Potential control measures to reduce fugitive dust include frequent wetting down of loose soil areas with water, use of windscreens, covering of open-bodied trucks during materials transport, and the washing down of tires on construction equipment.

Establishment of landscaping early in the construction schedule can also help control fugitive dust. This would initially require frequent watering to carry young plants through the dry season. If necessary, increased vehicular emissions due to disruption of peak-hour traffic by construction equipment and/or commuting construction workers can be alleviated by moving the equipment and personnel to the site during off-peak traffic hours. No mitigative measures are considered necessary.

### 3.15 NOISE

*Existing Conditions* - The primary noise sources in the area of the project site are related to traffic and urban activities. The proposed project itself is not anticipated to generate extended unacceptable levels of noise.

*Anticipated Impacts and Mitigative Measures* - Construction work at the project site will involve activities that may generate an increase in noise levels. However, such exposures will be only a short-term condition, occurring during specified daylight hours.

Construction vehicles and activities must comply with State Department of Health Administrative Rules, Title 11, Chapter 42 (Vehicular Noise Control for O'ahu) and Title 11, Chapter 46 (Community Noise Control for O'ahu). The State of Hawai'i Department of Health's noise control regulation requires a permit for construction activities that emit noise in excess of 95 decibels. Mitigative measures to minimize construction noise will include the use of mufflers to suppress loud equipment and limitations on the hours of heavy equipment operation.

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Section 4.0

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Alternatives to the Proposed Action

#### **4.0 ALTERNATIVES TO THE PROPOSED ACTION**

This Draft Environmental Assessment evaluates three alternatives to the proposed project described in Section 2.0. The alternatives include:

- No Action Alternative
- Alternative Designs and Configurations
- Completely Separate Residence in the P-1 Parcel

#### **4.1 ALTERNATIVE 1: NO ACTION**

The No Action alternative would maintain the site in its present condition. Site improvements would not occur on the Conservation District property and therefore, a CDUA would not be required. The No Action Alternative is consistent with State and local land use regulations and policies (see Section 3.8 – Land Use Policies, Plans and Regulations) as development of Conservation District lands would not occur.

Without the proposed improvements, the property owner's ability to enhance the amenities of the existing main residence would be limited. The existing motor court, constrained in size and maneuverability, would remain its present size. This would continue the existing awkward traffic flow through a narrow right-of-way and onto Kawelolani Place and the current hazardous traffic conditions would remain. The other site improvements, including a residential addition, artist's studio and gazebo and a recreational deck, designed to improve the use and value of the existing main residence would also not be constructed. The property owner's ability to improve his residence on the adjacent lot remains constrained given the limited size of the main residential property.

#### **4.2 ALTERNATIVE 2: ALTERNATIVE DESIGN**

A second alternative to the proposed project would be to construct only the motor court extension and residential addition. Site improvements would occur on the Conservation District and as a result, a CDUA would be required. However, the impacts on the Conservation District property would be minimized. First, erosion would be reduced and this component of the development involves minimal grading. Also, a single residence is an allowable feature under the Conservation District Guidelines and this component meets this criteria. Furthermore, there would be a minimal impact on the view-planes because the existing main residence already limits upslope neighbors' views of the proposed structure. Finally, the expanded motor court will enhance traffic safety and reduce the need for vehicles to back-out onto Kawelolani Place.

The property owner's ability to make improvements to the amenities of the main residence would be reduced without the construction of the proposed artist studio and gazebo and recreational deck. These improvements cannot be located on the adjacent lot due to the limited size of the main residential property.

**4.3 ALTERNATIVE 3: A COMPLETELY SEPARATE RESIDENCE IN THE P-1 PARCEL**

A third alternative to the proposed project would be to construct a completely separate residence in the P-1 Parcel in the Conservation District. A single residence is an allowable use under the Conservation District Guidelines and a CDUA would be required. Given the size of the lot, the floor area of the residence could be up to 5,000 square feet and could include a second story.

This alternative would allow for the construction of a more substantial residential property but is less desirable for several reasons. First, without the expansion of the motor court, the driveway would continue to be hazardous and constrained in size and the gazebo and recreational deck would not be constructed. In addition, a separate residential structure would be more visible from both up-slope and down-slope view-planes. Finally, this alternative would require construction in an area of the parcel with steeper slopes. The favored proposal maximizes uses on the more level areas of the parcel by building three separate small structures in the relatively level areas. This proposal, however, requires a single large surface area, which will require construction in an area with steeper slopes because there is not a relatively level area large enough to accommodate one large structure. This would result in more grading and erosion.



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### 5.0 REQUIRED APPROVALS AND PERMITS

#### 5.1 STATE LAND USE DESIGNATIONS AND CONTROLS

The subject property is located within the State of Hawai'i Land Use Conservation District. Hawai'i Revised Statutes (HRS) 183C-3 regulates the classification and uses of lands in the State to accommodate growth and development, and to retain the natural resources of the area. The State Land Use Commission classifies all State lands, with consideration given to the General Plan of the County, as either Urban, Rural, Agricultural, or Conservation. The proposed project requires a Conservation District Use Application (CDUA) as the project proposes development in this district.

#### 5.2 CITY AND COUNTY CONDITIONAL USE PERMIT

The proposed development will require a Conditional Use Permit (CUP-m) for joint development of the two zoning lots, since parcel 34 is zoned residential and under City jurisdiction. This is due to a connecting driveway, which is located in the P-1 district. In addition, the motor court and residential will be located in the required yard on the property.

In addition, if the recreational deck is located within a required yard, it will also require a CUP-m. However, the location of the deck is being re-evaluated.

Section 6.0

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Findings and Reasons Supporting  
Anticipated Determination

**6.0 FINDINGS AND REASONS SUPPORTING ANTICIPATED DETERMINATION**

**6.1 ANTICIPATED DETERMINATION**

In accordance with the National Environmental Policy Act, Chapter 343 HRS and the State Department of Health Administrative Rules, Section 11-200 (Environmental Impact Statement Rules), an applicant or agency must determine whether an action may have a significant impact on the environment. Section 11-200-12 of the EIS Rules establish "significant criteria" to be used as a basis in making the determination and whether significant environmental impacts will occur. According to Section 11-200-12, an action shall be determined to have a significant impact on the environment if it meets any one of the following criteria:

**(1) Involve an irrevocable loss or destruction of any natural or cultural resources.**

The proposed project does not involve any known destruction of existing natural or cultural resources. The project is located in the State of Hawai'i Land Use Conservation District and new development is planned for the relatively level areas near the adjacent residential area. As previously noted, no significant archaeological or historical sites are known to exist within the project site. If during the course of construction any cultural or archaeological remnants are unearthed, the Historic Preservation Division of the State Department of Land and Natural Resources will immediately be notified, and their treatment will be conducted in strict compliance with SHPD requirements.

**(2) Curtail the range of beneficial uses of the environment.**

The proposed development is located in the State of Hawai'i Land Use Conservation District but it will not cause substantial adverse impact on the natural environment. The site improvements constitute a very limited encroachment on the conservation area and they are designed to blend in with the natural area. In addition, the use will be compatible with the surrounding locality.

**(3) Conflict with the State's long-term environmental policies or goals and guidelines as expressed in Chapter 344, HRS, and any revisions thereof and amendments thereto, court decisions, or executive orders.**

The proposed project is consistent with the environmental policies established in Chapter 344, Hawai'i Revised Statutes. Expanded landscaping will increase the number of native plant species. Stabilization of boulders will reduce the potential for rock slides.

**(4) Substantially affects the economic or social welfare of the community or State.**

The proposed project will improve the amenities of an existing residential unit. The site and dwelling improvements will not negatively or significantly alter the existing residential area, nor will it contribute to population growth. The improvements will provide the property owner with

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a higher quality living environment. Design and construction work will generate indirect and induced employment opportunities and multiplier effects, but not at a level that would generate any significant expansion. The short-term employment impacts will be beneficial to the local economy.

**(5) Substantially affects public health.**

The project does not substantially affect public health. The long-term benefits associated with the project outweigh the temporary impacts to air and noise levels.

**(6) Involves substantial secondary impacts, such as population changes or effects on public facilities.**

The proposed project will add one additional dwelling unit to the property and additional landscaping. This will not create significant secondary impacts such as population changes or effects on public facilities.

**(7) Involves a substantial degradation of environmental quality.**

The proposed project is designed to have a minimal impact on the State of Hawai'i Land Use Conservation District where it is located. All new structures will be mitigated with appropriate landscaping and designed to blend into to the natural environment.

**(8) Is individually limited but cumulatively has considerable effect upon the environment or involves a commitment for larger actions.**

No plan or schedule currently exists for further development in this area. The proposed project is not an incremental portion of a larger project.

**(9) Substantially affects a rare, threatened or endangered species, or its habitat.**

There are no endangered plant or animal species located within the project site.

**(10) Detrimentially affects air or water quality or ambient noise levels.**

Short-term effects on air, water quality or ambient noise levels during construction will be mitigated by compliance with City and County of Honolulu and State Department of Health rules which regulate construction-related activities. After development, improvements to the site and related infrastructure should have no significant impacts on air and water quality, and on ambient noise levels.

## HAIG RESIDENCE SITE & DWELLING IMPROVEMENTS

### • Final Environmental Assessment •

- (11) **Affects or is likely to suffer damage by being located in an environmentally sensitive area such as a flood plain, tsunami zone, beach, erosion-prone area, geologically hazardous land, estuary, fresh water, or coastal waters.**

The existing project site is generally compatible with the criteria stated above. Although slopes at the site are steep, they are likely to be generally stable since the slope is primarily composed of basaltic rock. Proposed improvements include stabilization of boulders and this is expected to reduce the potential for slides of falling rocks. In addition, all proposed development will occur on the more level areas of the parcel. There is limited potential for soil erosion due to the thin soil cover. The improvements will be designed with consideration of these natural factors.

- (12) **Substantially affects scenic vistas and view-planes identified in county or state plans or studies.**

The proposed development is designed to minimize impact on scenic vistas and view-planes. The impact of the proposed residential unit and extended motor court on the neighbors' view-planes will be minimized because the existing main residence will limit upslope neighbors' views of the proposed structure. The residential unit is partially hidden under the motor court extension and will blend into the slope. The Artist's Gazebo and Exercise Room will be nestled against the hillside minimizing visual affects. Finally, the Recreational Deck will be located at the base of the slope outside of view-planes. Since other gazebos and landscaping already exist on the east side of Palolo Valley, this addition is not expected to significantly impact view-planes.

- (13) **Require substantial energy consumption.**

Construction of the project will not require substantial energy consumption. As a relatively small project, energy consumption during construction should be low.

## 6.2 REASONS SUPPORTING THE ANTICIPATED DETERMINATION

As stated above, there are no significant environmental impacts expected to result from the proposed action. A Finding of No Significant Impact (FONSI) is anticipated. The Site improvements to the Haig residence will be beneficial the property owner and will have no significant negative effect on the neighborhood. There may be some increases in property values.

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Section 7.0

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Draft Environmental Assessment  
Comments and Responses

BENJAMIN J. CAYETANO  
GOVERNOR



BRIAN K. MINAAI  
DIRECTOR

DEPUTY DIRECTORS  
GLENN M. OKIMOTO  
JADINE Y. URASAKI

RECEIVED

OCT 24 2001

GROUP 70

STATE OF HAWAII  
DEPARTMENT OF TRANSPORTATION  
869 PUNCHBOWL STREET  
HONOLULU, HAWAII 96813-5097

IN REPLY REFER TO:

HWY-PS  
2.4588

OCT 22 2001

Group 70 International, Inc.  
925 Bethel Street, 5<sup>th</sup> Floor  
Honolulu, Hawaii 96813-4307

Attn: Mr. George Atta, AICP

Gentlemen:

Subject: Draft Environmental Assessment (EA) for Haig Residence Site and Dwelling  
Improvements

Thank you for the opportunity to review the Draft EA. The proposed improvements will not adversely affect State highway facilities.

If you have any questions, please contact Ronald Tsuzuki, Head Planning Engineer, Highways Division, at 587-1830.

Very truly yours,

Handwritten signature of Brian K. Minaii in cursive.

BRIAN K. MINAAI  
Director of Transportation



November 2, 2001

Francis S. Oda,  
Arch. D., AIA, AICP  
Norman G.Y. Hong, AIA  
Sheryl B. Seaman, AIA, ASID  
Hitoshi Hida, AIA  
Roy H. Nihei, AIA, CSI  
James I. Nishimoto, AIA  
Ralph E. Portmore, AICP  
Stephen H. Yuen, AIA  
Linda C. Miki, AIA

Mr. Brain K. Minaai, Director  
Department of Transportation  
State of Hawai'i  
869 Punchbowl Street  
Honolulu, Hawai'i 96813

George I. Atta, AICP  
Paul P. Chorney, AIA  
Wendy Lee Cook, AIA, CDT  
Philip T. Cuccia  
Sutobin Halim  
Jeremy C. Hsu, AIA  
Roy A. Inouye, AIA, CSI  
Stuart M. Jow, AIA  
Charles Y. Kaneshiro, AIA  
Dean H. Kitamura  
Frank B. McCue  
Kyle K. Nakamoto  
Kathryn A. Nam  
Jeffrey H. Overton, AICP  
Christine M. Ruotola, AICP  
Norma J. Scott  
Scott Tangonan  
Sharon Ching Williams, AIA

Dear Mr. Minaai:

Subject: Haig Residence Site and Dwelling Improvements Draft EA

Thank you for your letter dated October 22, 2001 regarding your review of the Draft Environmental Assessment (EA) for the Haig Residence Site and Dwelling Improvements.

We acknowledge your response that the proposed improvements will not adversely affect State highway facilities.

Your letter and this response will be included in the Final EA. We will forward a copy of the Final EA upon its completion. We appreciate your input for the environmental review process.

Sincerely,

GROUP 70 INTERNATIONAL, INC.

GEORGE ATTA, AICP  
Chief Community Planner

cc: John Wheeler, AIA  
Trevor Carroll, DLNR

BENJAMIN J. CAYETANO  
GOVERNOR OF HAWAII



GILBERT S. COLOMA-AGARAN, CHAIRPERSON  
BOARD OF LAND AND NATURAL RESOURCES  
COMMISSION ON WATER RESOURCE MANAGEMENT

DEPUTIES  
JANET E. KAWELO  
LINNEL NISHIOKA

STATE OF HAWAII

DEPARTMENT OF LAND AND NATURAL RESOURCES

October 16, 2001

George Atta, AICP  
Group 70  
925 Bethel Street, 5<sup>th</sup> Floor  
Honolulu, Hawaii 96813-4307

HISTORIC PRESERVATION DIVISION  
Kekuhihewa Building, Room 566  
601 Kamokila Boulevard  
Kapolei, Hawaii 96707

AQUATIC RESOURCES  
BOATING AND OCEAN RECREATION  
COMMISSION ON WATER RESOURCE  
MANAGEMENT  
CONSERVATION AND RESOURCES  
ENFORCEMENT  
CONVEYANCES  
FORESTRY AND WILDLIFE  
HISTORIC PRESERVATION  
LAND  
STATE PARKS

LOG NO: 28338 ✓  
DOC NO: 0110EJ07

Dear Mr. Atta:

**SUBJECT: Chapter 6E-42 Historic Preservation Review – Draft Environmental Assessment (DEA) for Mr. David Haig Residence Site and Dwelling Improvements  
Wilhelmina Rise (Palolo Ahupua'a), Kona, O`ahu  
TMK: 3-3-036:030**

Thank you for the opportunity to comment on the DEA for the Haig Residence Site & Dwelling Improvements. SHPD commented on the CDUA application for this project and submitted comments to DLNR/Land Division (SHPD LOG NO: 28283, October 4, 2001). Our earlier comments are reiterated below:

The applicant plans to develop a currently undeveloped lot adjacent to an existing residence. Proposed improvements to the property include an expanded motor court turnaround, a new residential addition an artist's studio/gazebo, a recreational deck, landscaping and fencing. The application amendment correctly incorporates our comments that there are no known historic sites at this location although an archaeological survey has not been conducted of the parcel. Although historic sites including burial caves have been found on similar slopes lower in the valley, no such caves exist on this parcel. The development area has been extensively landscaped and according to the applicant a visual inspection of the area has not identified any human remains in any of the small caves and outcrops on the property. Therefore, we believe that this action will have "no effect" on significant historic sites.

In the unlikely event that historic sites, including human burials, are uncovered during routine construction activities, all work in the vicinity must stop and the State Historic Preservation division must be contacted at 692-8015.

Should you have any questions, please feel free to call Sara Collins at 692-8026 or Elaine Jourdane at 692-8027.

Aloha,

A handwritten signature in black ink, appearing to read "Don Hibbard".

Don Hibbard, Administrator  
State Historic Preservation Division

EJ:jk

BENJAMIN J. CAYETANO  
GOVERNOR OF HAWAII



GILBERT S. COLDMA-AGARAN, CHAIRPERSON  
BOARD OF LAND AND NATURAL RESOURCES  
COMMISSION ON WATER RESOURCE MANAGEMENT

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LAND DIVISION

2001 OCT -8 A 11: 11

STATE OF HAWAII

DEPARTMENT OF LAND AND NATURAL RESOURCES

DEPT. OF LAND &  
NATURAL RESOURCES  
STATE OF HAWAII

HISTORIC PRESERVATION DIVISION  
Kekuhihewa Building, Room 665  
601 Kamokila Boulevard  
Kapolei, Hawaii 96707

October 1, 2001

DEPUTIES  
JANET E. KAWELO  
LINNEL NISHIOKA

AQUATIC RESOURCES  
BOATING AND OCEAN RECREATION  
COMMISSION ON WATER RESOURCE  
MANAGEMENT  
CONSERVATION AND RESOURCES  
ENFORCEMENT  
CONVEYANCES  
FORESTRY AND WILDLIFE  
HISTORIC PRESERVATION  
LAND  
STATE PARKS

MEMORANDUM

LOG NO: 28283 ✓  
DOC NO: 0109EJ31

TO: Harry Yada, Administrator  
Land Division

FROM: Don Hibbard, Administrator *DH*  
Historic Preservation

SUBJECT: (File No. OA-3048) Chapter 6E-42 Historic Preservation Review  
Conservation District Use Application (CDUA) for Mr. David Haig  
Residence Site and Dwelling Improvements.  
Wilhelmina Rise (Palolo Ahupua'a), Kona, O'ahu  
TMK: 3-3-036:030

The applicant plans to develop a currently undeveloped lot adjacent to an existing residence. Proposed improvements to the property include an expanded motor court turnaround, a new residential addition an artist's studio/gazebo, a recreational deck, landscaping and fencing. The application amendment correctly incorporates our comments that that there are no known historic sites at this location although an archaeological survey has not been conducted of the parcel. Although historic sites including burial caves have been found on similar slopes lower in the valley, no such caves exist on this parcel. The development area has been extensively landscaped and according to the applicant a visual inspection of the area has not identified any human remains in any of the small caves and outcrops on the property. Therefore, we believe that this action will have "no effect" on significant historic sites.

In the unlikely event that historic sites, including human burials, are uncovered during routine construction activities, all work in the vicinity must stop and the State Historic Preservation division must be contacted at 692-8015.

Should you have any questions, please feel free to call Sara Collins at 692-8026 or Elaine Jourdane at 692-8027.

EJ:jk



November 2, 2001

Francis S. Oda,  
Arch. D., AIA, AICP  
Norman G.Y. Hong, AIA  
Sheryl B. Seaman, AIA, ASID  
Hitoshi Hida, AIA  
Roy H. Nihei, AIA, CSI  
James I. Nishimoto, AIA  
Ralph E. Portmore, AICP  
Stephen H. Yuen, AIA  
Linda C. Miki, AIA

Mr. Don Hibbard, Administrator  
State Historic Preservation Division  
Department of Land and Natural Resources  
State of Hawai'i  
601 Kamokila Blvd.  
Kapolei, Hawai'i 96707

George I. Atta, AICP  
Paul P. Chorney, AIA  
Wendy Lee Cook, AIA, CDT  
Philip T. Cuccia  
Sutobin Halim  
Jeremy C. Hsu, AIA  
Roy A. Inouye, AIA, CSI  
Stuart M. Jow, AIA  
Charles Y. Kaneshiro, AIA  
Dean H. Kitamura  
Frank B. McCue  
Kyle K. Nakamoto  
Kathryn A. Nam  
Jeffrey H. Overton, AICP  
Christine M. Ruotola, AICP  
Norma J. Scott  
Scott Tangonan  
Sharon Chung Williams, AIA

Dear Mr. Hibbard:

Subject: Haig Residence Site and Dwelling Improvements Draft EA

Thank you for your letter dated October 16, 2001 regarding your review of the Draft EA (Environmental Assessment) for the Haig Residence Site and Dwelling Improvements.

We acknowledge your comment that this action will have "no effect" on significant historic sites.

If historic sites or human burials are uncovered during construction, all work in the vicinity will stop and the State Historic Preservation Division will be contacted.

Your letter and this response will be included in the Final EA. We will forward a copy of the Final EA for your review upon its completion. We appreciate your input for the environmental review process.

Sincerely,

GROUP 70 INTERNATIONAL, INC.

GEORGE ATTA, AICP  
Chief Community Planner

cc: John Wheeler  
Trevor Carroll, DLNR

BENJAMIN J. CAYETANO  
GOVERNOR



GENEVIEVE SALMONSON  
DIRECTOR

STATE OF HAWAII  
OFFICE OF ENVIRONMENTAL QUALITY CONTROL  
236 SOUTH BERETANIA STREET  
SUITE 702  
HONOLULU, HAWAII 96813  
TELEPHONE (808) 586-4186  
FACSIMILE (808) 586-4186

October 10, 2001

Harry Yada, Acting Administrator  
Department of Land and Natural Resources  
P.O. Box 621  
Honolulu, Hawaii 96809

Attention: Traver Carrol

Dear Mr. Yada:

Subject: Draft Environmental Assessment (EA) for Haig Residence, Wilhelmina Rise, Oahu

Please include the following in the final EA:

Contacts: Include copies of any correspondence with those contacted during the pre-consultation phase, as well as during the draft EA comment period. Documentation is also required from the Historic Preservation Division of DLNR stating it's "no effect" determination.

Landscaping: We recommend the use of native Hawaiian flora wherever possible and/or the use of unthirsty plants.

Water feature: Give a fuller description of the planned water feature. The draft EA states that a new water feature will include a stream to a small pond. Is the pond existing or will it be new? What impacts will there be and how will they be mitigated?

Two-sided pages: In order to reduce bulk and save on paper, please consider printing on both sides of the pages in the final document.

If you have any questions, call Nancy Heinrich at 586-4185.

Sincerely,

fo GENEVIEVE SALMONSON  
Director

c: George Atta  
David Haig



November 2, 2001

Ms. Genevieve Salmonson, Director  
Office of Environmental Quality Control  
State of Hawai'i  
235 South Beretania Street, Suite 702  
Honolulu, Hawai'i 96813

Dear Ms. Salmonson:

Subject: Haig Residence Site and Dwelling Improvements Draft EA

Thank you for your October 10, 2001 letter regarding your review of the Draft Environmental Assessment (EA) for the Haig Residence Site and Dwelling Improvements. We have prepared the following responses to you comments:

1. **Contacts:** Correspondence with those contacted during the pre-consultation phase, as well as during the Draft EA comment period will be included in the Final EA. Documentation from the Historic Preservation Division of DLNR stating it's "no effect" determination will also be included.
2. **Landscaping:** Native Hawaiian plants and unthirsty plants will be planted.
3. **Water Feature:** A new water feature will be incorporated into an existing rock outcrop. There is no existing water feature. Water will be re-circulated to minimize water usage. In addition, the feature will be designed to prevent water from saturating the soil and to prevent soil erosion.
4. **Two-sided pages:** The Final EA will be printed on both sides of the pages.

Your letter and this response will be included in the Final EA. We will forward a copy of the Final EA for your review upon its completion. We appreciate your input for the environmental review process.

Letter to Ms. Genevieve Salmonson, Director  
OEQC, State of Hawa'ii  
November 2, 2001  
page 2

Sincerely,

GROUP 70 INTERNATIONAL, INC.



GEORGE ATTA, AICP  
Chief Community Planner

cc: John Wheeler, AIA  
Trevor Carroll, DLNR

PHONE (808) 594-1888



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LAND DIVISION

2001 SEP 28 A 10: 57

DEPT. OF LAND &  
NATURAL RESOURCES  
STATE OF HAWAII

September 24, 2001

STATE OF HAWAII  
OFFICE OF HAWAIIAN AFFAIRS  
711 KAPI'OLANI BOULEVARD, SUITE 500  
HONOLULU, HAWAII 96813

RECEIVED  
01 SEP 28 A 8: 13

DEPT. OF LAND  
& NATURAL RESOURCES  
STATE OF HAWAII

Mr. Gilbert S. Coloma-Agaran, Chairperson  
Board of Land and Natural Resources  
P.O. Box 621  
Honolulu, HI 96809

HRD01/300

Subject: Conservation District Use Application (CDUA)  
Haig Residence: Site and Dwelling Improvements  
TMK: 3-3-036: por 30; O'ahu, Hawaii'i

Dear Mr. Yada:

Thank you for the opportunity to comment on the above referenced application request. The Office of Hawaiian Affairs (OHA) offers the following comments to the proposed application.

Because burial caves have been found on slopes in the valley, OHA requests that an archaeological survey be conducted in the proposed project area. Moreover, the project site warrants such a survey as no prior survey has been conducted of the area.

In addition, in the event human burials, cultural, or historical sites are discovered during grading or construction activities at the proposed project site, the State's Historic Preservation Division should be contacted immediately. OHA requests that a mitigation plan be developed in the event of any discoveries. If you have any questions, please contact Mark A. Mararagan, policy analyst at 594-1756, or e-mail him at markmararagan@hotmail.org.

Sincerely,

Colin C. Kippen, Jr.  
Deputy Administrator

cc: Board of Trustees  
Administrator



December 3, 2001

Francis S. Oda,  
Arch. D., AIA, AICP  
Norman G.Y. Hong, AIA  
Sheryl B. Seaman, AIA, ASID  
Hitoshi Hida, AIA  
Roy H. Nihei, AIA, CSI  
James I. Nishimoto, AIA  
Ralph E. Portmore, AICP  
Stephen H. Yuen, AIA  
Linda C. Miki, AIA

Mr. Colin C. Kippen  
Deputy Administrator  
Office of Hawaiian Affairs  
State of Hawai'i  
711 Kapi'olani Boulevard, Suite 500  
Honolulu, Hawai'i 96813

Dear Mr. Kippen:

Subject: Haig Residence Site and Dwelling Improvements Draft EA

Thank you for your letter dated September 24, 2001 regarding your review of the Draft EA (Environmental Assessment) for the Haig Residence Site and Dwelling Improvements. We have prepared the following response to your comments:

The area under consideration for development is small. Footprints for the maids quarters, gazebo, and recreational deck total less than 5,000 square feet. Grading will be kept to a minimum to reduce cost and site impacts.

The development area has been extensively landscaped and a visual inspection of the area has not identified any human remains in any of the small cavities and outcrops on the property. Furthermore, the field inspection revealed that there are no caves in the areas where structures are proposed. Because of the absence of caves in the area, no potential burials are likely to be disturbed by the construction.

The State Historic Preservation Division has stated that the proposed development will have "no effect" on significant historic sites. As a result, no additional archeological surveys are scheduled.

However, in the event that subsurface human burials, cultural, or historical sites are discovered during grading or construction activities at the proposed project site, the State's Historic Preservation Division will be contacted immediately. A mitigation plan will be developed in the event of any discoveries.

Your letter and this response will be included in the Final EA. We will forward a copy of the Final EA upon its completion. We appreciate your input for the environmental review process.

Mr. Colin C. Kippen  
Page 2  
December 3, 2001

Sincerely,

GROUP 70 INTERNATIONAL, INC.

*George I. Atta*

GEORGE ATTA, AICP  
Chief Community Planner

cc: John Wheeler  
Traver Carroll, DLNR

**BOARD OF WATER SUPPLY**

CITY AND COUNTY OF HONOLULU  
630 SOUTH BERETANIA STREET  
HONOLULU, HI 96843



November 8, 2001

JEREMY HARRIS, Mayor

EDDIE FLORES, JR., Chairman  
CHARLES A. STED, Vice-Chairman  
JAN M.L.Y. AMII  
HERBERT S.K. KAOPUA, SR.  
BARBARA KIM STANTON

BRIAN K. MINAAI, Ex-Officio  
ROSS S. SASAMURA, Ex-Officio

CLIFFORD S. JAMILE  
Manager and Chief Engineer

Group 70 International, Inc.  
925 Bethel Street, 5th Floor  
Honolulu, Hawaii 96813-4307

**RECEIVED**

NOV - 6 2001

GROUP 70

Attention: George Atta

Gentlemen:

Subject: Your Transmittal of September 24, 2001 of the Draft Environmental Assessment and Conservation District Use Application for the Haig Residence Site and Dwelling Improvements, Honolulu, TMK: 3-3-30: 34; 3-3-36: 30

Thank you for the opportunity to review the subject document for the proposed residential improvements project.

We have the following comments to offer:

1. There is one existing water service consisting of a 3/4-inch water meter serving TMK: 3-3-30: 34. Should this existing service be utilized for TMK: 3-3-36: 30, a joint development agreement will be required for the two parcels.
2. The availability of water will be determined when the Building Permit Applications are submitted for our review and approval. If water is made available, the applicant will be required to pay the applicable Water System Facilities Charges for resource development, transmission and daily storage.
3. The fire protection requirements should be coordinated with the Fire Prevention Bureau of the Honolulu Fire Department.

If you have any questions, please contact Scot Muraoka at 527-5221.

Very truly yours,

  
for CLIFFORD S. JAMILE  
Manager and Chief Engineer

cc: Department of Planning and Permitting



December 3, 2001

Mr. Clifford Jamile, Manager and Chief Engineer  
Board of Water Supply  
City and County of Honolulu  
630 South Beretania Street  
Honolulu, Hawai'i 96843

Dear Mr. Jamile:

Subject: Haig Residence Site and Dwelling Improvements Draft EA

Thank you for your November 8, 2001 letter regarding your review of the Draft Environmental Assessment (EA) for the Haig Residence Site and Dwelling Improvements. We have prepared the following responses to you comments:

1. Joint Development Agreement: We acknowledge the need for a Conditional Use Permit Minor (CUP-m) for joint development of the two zoning lots.
2. Water Facilities Charges: We understand that the availability of water will be determined when Building Permit Applications are submitted for review and approval. We also acknowledge that the applicant will be required to pay the applicable Water System Facilities Charges for resource development, transmission, and daily storage.
3. Fire Protection: The Fire Department has been consulted regarding fire protection requirements.

Your letter and this response will be included in the Final EA. We will forward a copy of the Final EA upon its completion. We appreciate your input for the environmental review process.

Sincerely,

GROUP 70 INTERNATIONAL, INC.

GEORGE ATTA, AICP  
Chief Community Planner

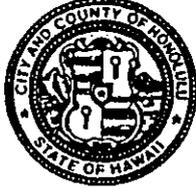
cc: John Wheeler, AIA  
Trevor Carroll, DLNR

DEPARTMENT OF PARKS AND RECREATION  
CITY AND COUNTY OF HONOLULU

650 SOUTH KING STREET, 10TH FLOOR • HONOLULU, HAWAII 96813  
PHONE: (808) 523-4182 • FAX: 527-5725 • INTERNET: www.co.honolulu.hi.us

JEREMY HARRIS  
MAYOR

RECEIVED  
OCT 29 2001



WILLIAM D. BALFOUR, JR.  
DIRECTOR

EDWARD T. "SKIPPA" DIAZ  
DEPUTY DIRECTOR

GROUP 70

October 26, 2001

Mr. George Atta, AICP  
Group 70 International, Inc.  
925 Bethel Street, 5th Floor  
Honolulu, Hawaii 96813-4307

Dear Mr. Atta:

Subject: Haig Residence - Site and Dwelling Improvements  
Draft Environmental Assessment  
Honolulu, Island of Oahu, Hawaii  
TMK: 3-3-36:30

Thank you for the opportunity to review and comment on the Draft Environmental Assessment relating to the Haig Residence - Site and Dwelling Improvements.

The proposed project will not affect any of our programs or facilities. We have no other comments and request that we be deleted as a consulted party in the environmental impact process for this project.

Should you have any questions, please contact Mr. John Reid, Planner, at 547-7396.

Sincerely,

A handwritten signature in black ink that reads "W.D. Balfour, Jr.".

WILLIAM D. BALFOUR, JR.  
Director

WDB:cu (4529)

cc: Mr. Don Griffin, Department of Design and Construction



GROUP 70  
INTERNATIONAL, INC.

Francis S. Oda,  
Arch. D., AIA, AICP  
Norman GY Hong, AIA  
Sheryl B. Seaman, AIA, ASID  
Hitoshi Hida, AIA  
Roy H. Nihei, AIA, CSI  
James I. Nishimoto, AIA  
Ralph E. Portinore, AICP  
Stephen H. Yuen, AIA  
Linda C. Miki, AIA

George I. Atta, AICP  
Paul P. Chorney, AIA  
Wendy Lee Cook, AIA, CDT  
Philip T. Cuccia  
Sutobin Halmi  
Jeremy C. Hsu, AIA  
Roy A. Inouye, AIA, CSI  
Stuart M. Jow, AIA  
Charles Y. Kaneshiro, AIA  
Dean H. Kitamura  
Frank B. McCue  
Kyle K. Nakamoto  
Kathryn A. Nam  
Jeffrey H. Overton, AICP  
Christine M. Ruotola, AICP  
Norma J. Scott  
Scott Tangonan  
Sharon Ching Williams, AIA

November 2, 2001

Mr. William D. Balfour, Jr., Director  
City and County of Honolulu  
Department of Parks and Recreation  
650 South King Street, 10th Floor  
Honolulu, Hawai'i 96813

Dear Mr. Balfour:

Subject: Haig Residence Site and Dwelling Improvements Draft EA

Thank you for your letter dated October 26, 2001 regarding your review of the Draft Environmental Assessment (EA) for the Haig Residence Site and Dwelling Improvements.

We acknowledge your response that the proposed project will not affect any of your programs or facilities.

Your letter and this response will be included in the Final EA. We appreciate your input for the environmental review process.

Sincerely,

GROUP 70 INTERNATIONAL, INC.

GEORGE ATTA, AICP  
Chief Community Planner

cc: John Wheeler, AIA  
Trevor Carroll, DLNR

DEPARTMENT OF PLANNING AND PERMITTING  
**CITY AND COUNTY OF HONOLULU**

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LAND DIVISION

650 SOUTH KING STREET • HONOLULU, HAWAII 96813  
TELEPHONE: (808) 523-4414 • FAX: (808) 527-6743 • INTERNET: www.co.honolulu.hi.us

2001 OCT -9 P 12: 38

JEREMY HARRIS  
MAYOR

DEPT. OF LAND &  
NATURAL RESOURCES  
STATE OF HAWAII



RANDALL K. FUJIKI, AIA  
DIRECTOR

LORETTA K.C. CHEE  
DEPUTY DIRECTOR

2001/CLOG-3954(ry)

October 8, 2001

Mr. Harry Yada, Acting Administrator  
Land Division  
Department of Land and Natural Resources  
P.O. Box 621  
Honolulu, Hawaii 96809

Dear Mr. Yada:

Subject: Conservation District Use Application (CDUA OA-3048)  
Haig Residence Site & Dwelling Improvements, Wilhemina Rise, Oahu  
Tax Map Key 3-3-36: 30 and 3-3-30: 34

We have reviewed the above application and have the following comments to offer:

1. Primary Urban Center Development Plan

The Primary Urban Center Development Plan (DP) addresses the protection of public views, open space, and natural resources. The DP states that the "...City's mountains, hills, shoreline and streams are considered as major scenic, open space and recreational resources." The Special Provisions for the DP also indicates that the visibility, preservation, enhancement and accessibility of open space, including steep slopes of valley and ridge areas, shall be given high priority. The Draft Environmental Assessment (EA) does not adequately address these provisions of the DP. At a minimum, the Final EA should address how the proposal is consistent with the above guidelines of the DP and also provide a view analysis with color renderings of the completed project superimposed on views of the site from public vantage points.

2. Zoning

Parcel 30 is located within the P-1 Restricted Preservation District and the Land Use Ordinance does not regulate development in the P-1 District. However, the proposal will require a Conditional Use Permit Minor (CUP-m) for joint development of the two zoning lots, since Parcel 34 is zoned R-5 Residential

Mr. Harry Yada, Acting Administrator  
Land Division  
Department of Land and Natural Resources  
October 8, 2001  
Page 2

District and under City jurisdiction. This is due to a connecting driveway, which is located on Parcel 34 and in the R-5 District, to the proposed parking area (Parcel 30) which is located in the P-1 District. In addition, the recreational deck, which will be located within a required yard on the residential lot, also requires a CUP-m. The Draft Environmental Assessment (DEA) should include the CUP-m as a required permit in Section 5, Required Permits and Approvals.

3. Civil Engineering

The applicant must limit surface water runoff to pre-development conditions. Erosion control measures shall be in place during grading to minimize the effects of erosion.

4. Wastewater Disposal

The applicant will need to submit an application for sewer connection to the municipal sewer system. The applicant may also be liable for payment of the Wastewater System Facility Charge.

Thank for the opportunity to comment. If you have any questions, please contact Raymond Young of our staff at 527-5839.

Sincerely yours,



RANDALL K. FUJIKI, AIA  
Director of Planning and Permitting

RKF:lh  
Doc 119470



December 3, 2001

Mr. Randall Fujika, AIA, Director  
Department of Planning and Permitting  
City and County of Honolulu  
650 South King Street  
Honolulu, Hawai'i 96813

Dear Mr. Fujika:

Subject: Haig Residence Site and Dwelling Improvements Draft EA

Thank you for your October 8, 2001 letter regarding your review of the Draft Environmental Assessment (EA) for the Haig Residence Site and Dwelling Improvements. We have prepared the following responses to your comments:

1. Primary Urban Center Development Plan: The Final EA will include a view analysis with color renderings of the completed project superimposed on views of the site from public vantage points.

The proposed development will preserve the natural beauty of the land. Expanded landscaping will increase the number of native plant species. Additionally, the stabilization of boulders will reduce the potential for rock slides. The impact on views is described below:

**Residential Unit and Motor Court:** The proposed residential unit and extended motor court is anticipated to have a minimal impact on the area's visual resources. This structure is located directly down slope from the existing main residence, extending approximately 26-feet from the existing developed lot. The land surrounding and containing the proposed structure is within the Conservation District and no residences will abut the subject property. The existing main residence will limit upslope neighbors' views of the proposed structure. However, the improvement will be visible from nearby residences and a minimal impact on neighbors' view-planes is anticipated.

**Gazebo:** The proposed accessory gazebo will be located immediately adjacent to the west side of the existing main residence. While the structure will be visible from Palolo Valley, its small scale will minimize its impact. The structure will be nestled against the hillside, which will minimize any impact on the neighbors' view-planes. Landscaping and the natural earth tones of the building will further minimize any visual impact.

**Timber Platform:** The proposed elevated timber platform tennis court will be located at the base of the slope outside of view-planes from Palolo

Francis S. Oda,  
Arch. D., AIA, AICP  
Norman G.Y. Hoig, AIA  
Sheryl B. Seaman, AIA, ASID  
Hitoshi Hida, AIA  
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James I. Nishimoto, AIA  
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Linda C. Miki, AIA

George I. Atta, AICP  
Paul P. Chorney, AIA  
Wendy Lee Cook, AIA, CDT  
Philip T. Cuccia  
Sutodin Halim  
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Roy A. Inouye, AIA, CSI  
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Dean H. Kitaniura  
Frank B. McCue  
Kyle K. Nakamoto  
Kathryn A. Nam  
Jeffrey H. Overton, AICP  
Christine M. Ruotola, AICP  
Norma J. Scott  
Scott Tangonan  
Sharon Ching Williams, AIA

Letter to Mr. Randall Fujiki, AIA, Director  
Department of Planning and Permitting  
City and County of Honolulu  
December 3, 2001  
Page 2

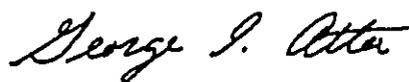
Valley. Located below the horizon plane of other adjacent Wilhelmina Rise residences, the impact on view-planes will be minor.

**Landscaping:** Minor landscaping around the proposed structures will be improved to minimize the visual impact of the structures, provide soil retention, and help preserve natural landscape features.

2. **Zoning:** We acknowledge the need for a Conditional Use Permit Minor (CUP-m) for joint development of the two zoning lots. The recreation deck may be relocated outside the required yard setback. This issue will be re-evaluated.
3. **Civil Engineering:** There appears to be limited potential for soil erosion due to the thin soil cover. Erosion control measures such as limiting the site clearing of vegetation to the minimum required for construction and reestablishing plantings or landscaping as soon as possible will be implemented. Due to the small area of coverage, 4,000 square feet, the anticipated increase in runoff is expected to be minimal. Additionally, increased vegetation is expected to reduce on-site runoff. The anticipated net effect is minimal to no change in surface runoff as a result of the proposed development. If necessary, dry wells and buffer strips will be installed to retain runoff. All applicable grading regulations will be adhered to and best management practices will be implemented to manage erosion and runoff.
4. **Wastewater Disposal:** The applicant will submit an application for sewer connection to the municipal sewer system.

Your letter and this response will be included in the Final EA. We will forward a copy of the Final EA for your review upon its completion. We appreciate your input for the environmental review process.

Sincerely,



GROUP 70 INTERNATIONAL, INC.

GEORGE ATTA, AICP  
Chief Community Planner

cc: John Wheeler, AIA  
Traver Carroll, DLNR

DEPARTMENT OF TRANSPORTATION SERVICES  
**CITY AND COUNTY OF HONOLULU**

PACIFIC PARK PLAZA • 711 KAPIOLANI BOULEVARD, SUITE 1200 • HONOLULU, HAWAII 96813  
TELEPHONE: (808) 523-4529 • FAX: (808) 523-4730 • INTERNET: [www.cc.honolulu.hi.us](http://www.cc.honolulu.hi.us)

JEREMY HARRIS  
MAYOR



CHERYL D. SOON  
DIRECTOR

GEORGE "KEOKI" MIYAMOTO  
DEPUTY DIRECTOR

TP10/01-04447R

November 7, 2001

Mr. George Atta, AICP  
Group 70 International, Inc.  
925 Bethel Street, 5<sup>th</sup> Floor  
Honolulu, Hawaii 96813-4307

Dear Mr. Atta:

Subject: Haig Residence – Site & Dwelling Improvements

In response to your September 24, 2001 letter, the draft environmental assessment for the subject project was reviewed. Our only comment is that the expanded motor court turnaround area must be kept clear in order for it to serve its intended purpose.

Should you have any questions regarding this matter, please contact Faith Miyamoto of the Transportation Planning Division at 527-6976.

Sincerely,

A handwritten signature in cursive script, appearing to read "Cheryl D. Soon".

CHERYL D. SOON  
Director



December 3, 2001

Francis S. Oda,  
Arch. D., AIA, AICP  
Norman G.Y. Hong, AIA  
Sheryl B. Seaman, AIA, ASID  
Hitoshi Hida, AIA  
Roy H. Nihei, AIA, CSI  
James I. Nishimoto, AIA  
Ralph E. Portmore, AICP  
Stephen H. Yuen, AIA  
Linda C. Miki, AIA

Ms. Cheryl D. Soon, Director  
Department of Transportation Services  
City and County of Honolulu  
711 Kapiolani Blvd, Suite 1200  
Honolulu, Hawai'i 96813

George I. Atta, AICP  
Paul P. Chorney, AIA  
Wendy Lee Cook, AIA, CDT  
Philip T. Cuccia  
Sutobin Halim  
Jeremy C. Hsu, AIA  
Roy A. Inouye, AIA, CSI  
Stuart M. Jow, AIA  
Charles Y. Kaneshiro, AIA  
Dean H. Kitamura  
Frank B. McCue  
Kyle K. Nakamoto  
Kathryn A. Nam  
Jeffrey H. Overton, AICP  
Christine M. Ruotolo, AICP  
Norma J. Scott  
Scott Tangonan  
Sharon Ching Williams, AIA

Dear Ms. Soon:

Subject: Haig Residence Site and Dwelling Improvements Draft EA

Thank you for your letter dated November 7, 2001 regarding your review of the Draft Environmental Assessment (EA) for the Haig Residence Site and Dwelling Improvements.

The motor court area will be kept clear and be used as driveway / turnaround area.

Your letter and this response will be included in the Final EA. We will forward a copy of the Final EA upon its completion. We appreciate your input for the environmental review process.

Sincerely,

GROUP 70 INTERNATIONAL, INC.

GEORGE ATTA, AICP  
Chief Community Planner

cc: John Wheeler, AIA  
Traver Carroll, DLNR



November 2, 2001

Francis S. Oda,  
Arch. D., AIA, AICP  
Norman GY Hong, AIA  
Sheryl B. Seaman, AIA, ASID  
Hitoshi Hida, AIA  
Roy H. Nihe, AIA, CSI  
James I. Nishimoto, AIA  
Ralph E. Portmore, AICP  
Stephen H. Yuen, AIA  
Linda C. Miki, AIA

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Kathryn A. Nam  
Jeffrey H. Overton, AICP  
Christine M. Ruotola, AICP  
Norma J. Scott  
Scott Tengonan  
Sharon Ching Williams, AIA

Mr. Attilio K. Leonardi, Fire Chief  
Fire Department  
City and County of Honolulu  
3375 Koapaka Street, Suite H425  
Honolulu, Hawai'i 96819

Dear Mr. Leonardi:

Subject: Haig Residence Site and Dwelling Improvements Draft EA

Thank you for your October 18, 2001 letter regarding your review of the Draft Environmental Assessment (EA) for the Haig Residence Site and Dwelling Improvements. We have prepared the following responses to your comments:

1. Approved automatic fire sprinkler system: Automatic fire sprinkler systems will be installed in the residential addition and the artist's studio/gazebo.
2. Construction Plans: Construction plans will be submitted to the Department of Planning and Permitting.

Your letter and this response will be included in the Final EA. We will forward a copy of the Final EA upon its completion. We appreciate your input for the environmental review process.

Sincerely,

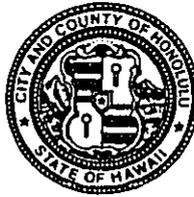
GROUP 70 INTERNATIONAL, INC.

GEORGE ATTA, AICP  
Chief Community Planner

cc: John Wheeler, AIA  
Trevor Carroll, DLNR

FIRE DEPARTMENT  
**CITY AND COUNTY OF HONOLULU**

3375 KOAPAKA STREET, SUITE H425 • HONOLULU, HAWAII 96819-1869  
TELEPHONE: (808) 831-7761 • FAX: (808) 831-7750 • INTERNET: [www.co.honolulu.hi.us](http://www.co.honolulu.hi.us)



JEREMY HARRIS  
MAYOR

ATTILIO K. LEONARDI  
FIRE CHIEF

JOHN CLARK  
DEPUTY FIRE CHIEF

October 18, 2001

Mr. George Atta, AICP  
Group 70 International, Inc.  
925 Bethel Street, Fifth Floor  
Honolulu, Hawaii 96813-4307

Dear Mr. Atta:

Subject: Haig Residence - Site and Dwelling Improvements  
Draft Environmental Assessment  
Honolulu, Island of Oahu, Hawaii  
Tax Map Key: 3-3-036: 030

We received your letter dated September 24, 2001, regarding the Draft Environmental Assessment for site and dwelling improvements to the Haig residence.

The Honolulu Fire Department requests that you comply with the following:

1. Provide an approved automatic fire sprinkler system in accordance with NFPA 13D, Standard for the Installation of Sprinkler Systems in One- and Two-Family Dwellings for the new residential addition and the artist's studio/gazebo.
2. Submit construction plans to the Department of Planning and Permitting.

Should you have any questions, please call Battalion Chief Kenneth Silva of our Fire Prevention Bureau at 831-7778.

Sincerely,

A handwritten signature in black ink that reads "Attilio K. Leonardi".

ATTILIO K. LEONARDI  
Fire Chief

AKL/SK:jo

**George Atta**

---

**From:** Phil Cuccia  
**Sent:** Thursday, November 08, 2001 9:55 AM  
**To:** George Atta  
**Subject:** FW: Haig residence development proposal  
**Importance:** High

George,  
This came in through the web site e-mail.

Phil

-----Original Message-----

**From:** Vernon Tam [mailto:vtam@hgea.org]  
**Sent:** Thursday, November 08, 2001 6:14 AM  
**To:** GROUP 70 INT MAIL  
**Subject:** Haig residence development proposal  
**Importance:** High

**To:** Project Manager, Haig Residence  
**Fr:** Vernon Tam, Chairperson, Kaimuki Neighborhood Bd. #4

With respect to the requested variance, concern was expressed individually by a Kaimuki Board member with respect to some of the intended uses of conservation land. He will be setting forth his concerns in his own response.

We would like to request a presentation of the proposed design for our next board meeting, Wednesday, December 5, 2001. We note that the time for response, the day after the November 7th board meeting gave scant time for the Board, which meets monthly, to examine all pertinent issues affecting this matter.

Your response to our request for a presentation would be appreciated.



GROUP 70

December 3, 2001

Francis S. Oda,  
Arch. D., AIA, AICP  
Norman G.Y. Hong, AIA  
Sheryl B. Seaman, AIA, ASID  
Hitoshi Hida, AIA  
Roy H. Nihei, AIA, CSI  
James I. Nishimoto, AIA  
Ralph E. Portmore, AICP  
Stephen H. Yuen, AIA  
Linda C. Miki, AIA

Mr. Vernon Tam, Chairperson  
Kaimuki Neighborhood Board # 4  
3504 Alohea Avenue  
Honolulu, Hawai'i 96816

Dear Mr. Tam:

Subject: Haig Residence Site and Dwelling Improvements Draft EA

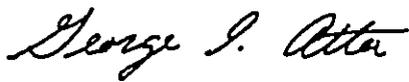
Thank you for your November 8, 2001 email regarding your review of the Draft Environmental Assessment (EA) for the Haig Residence Site and Dwelling Improvements.

We would like to accept your invitation to make a presentation to the Kaimuki Neighborhood Board. Unfortunately, due to a scheduling conflict, we will not be able to make a presentation to the Board until the meeting on Wednesday, February 6, 2002. The Board will have the opportunity to provide further input into the Conservation District Use Application (CDUA) process at that time.

Your letter and this response will be included in the Final EA. We will forward a copy of the Final EA upon its completion. We appreciate your input for the environmental review process.

Sincerely,

GROUP 70 INTERNATIONAL, INC.



GEORGE ATTA, AICP  
Chief Community Planner

cc: John Wheeler, AIA  
Traver Carroll, DLNR

POLICE DEPARTMENT  
**CITY AND COUNTY OF HONOLULU**

801 SOUTH BERETANIA STREET  
HONOLULU, HAWAII 96813 - AREA CODE (808) 529-3111

<http://www.honolulu-pd.org>

[www.co.honolulu.hi.us](http://www.co.honolulu.hi.us)

JEREMY HARRIS  
MAYOR



LEE D. DONOHUE  
CHIEF

MICHAEL CARVALHO  
ROBERT AU  
DEPUTY CHIEFS

OUR REFERENCE CS-KP

October 23, 2001

Mr. George Atta, AICP  
Group 70 International, Inc.  
925 Bethel Street, 5th Floor  
Honolulu, Hawaii 96813-4307

RECEIVED  
OCT 29 2001

GROUP 70

Dear Mr. Atta:

Thank you for the opportunity to review and comment on the Draft Environmental Assessment for the Haig Residence - Site and Dwelling Improvements.

We do not anticipate any significant impact on police facilities or services as a result of this project.

If there are any questions, please call Ms. Carol Sodetani of the Support Services Bureau at 529-3658.

Sincerely,

LEE D. DONOHUE  
Chief of Police

By   
EUGENE UEMURA  
Assistant Chief of Police  
Support Services Bureau

*Serving and Protecting with Aloha*



December 3, 2001

Francis S. Oda, Arch. D., AIA, AICP  
Norman G.Y. Hong, AIA  
Sheryl B. Seaman, AIA, ASID  
Hitoshi Hida, AIA  
Roy H. Nihei, AIA, CSI  
James I. Nishimoto, AIA  
Ralph E. Portmore, AICP  
Stephen H. Yuen, AIA  
Linda C. Miki, AIA

Mr. Lee D. Donohue, Chief of Police  
Police Department  
City and County of Honolulu  
801 South Beretania Street  
Honolulu, Hawai'i 96813

George I. Atta, AICP  
Paul P. Chorney, AIA  
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Kathryn A. Nam  
Jeffrey H. Overton, AICP  
Christine M. Ruotola, AICP  
Norma J. Scott  
Scott Tangonan  
Sharon Ching Williams, AIA

Dear Chief Donohue:

Subject: Haig Residence Site and Dwelling Improvements Draft EA

Thank you for your letter dated October 23, 2001 regarding your review of the Draft Environmental Assessment (EA) for the Haig Residence Site and Dwelling Improvements.

We acknowledge your response that you do not anticipate any significant impact on police facilities or services as a result of this project.

Your letter and this response will be included in the Final EA. We will forward a copy of the Final EA upon its completion. We appreciate your input for the environmental review process.

Sincerely,

GROUP 70 INTERNATIONAL, INC.

GEORGE ATTA, AICP  
Chief Community Planner

cc: John Wheeler, AIA  
Traver Carroll, DLNR

**From:** Leonard Tam [ltam@hawaii.rr.com]

**Sent:** Sunday, November 11, 2001 10:38 PM

**To:** Megan York

**Subject:** RE: Haig Residence - Site and Dwelling Improvements Draft EA

I am generally opposed to any development on conservation land. However, if safety and basic needs for living are involved, I am willing to consider some development on conservation land.

Regarding this property, there may be a need to improve vehicle access and safety. If the residential addition is located directly beneath the expanded motor court and does not cause the motor court to be increased in size and further extend into the conservation land, I don't have a problem with it.

The artist's studio/gazebo and the recreational deck are nice to have. I feel that it is an abuse of the privilege of owning conservation land and an insult to the community to build the artist's studio/gazebo and the recreational deck on conservation land. Custodians of conservation land have the responsibility to take care of the land and keep the land in its natural state, not exploit the privilege of living in such a beautiful area.

This is my personal opinion. The Neighborhood Board received the Draft Environmental Assessment on November 7<sup>th</sup> and could not take Board action.

Leonard Tam

Member, Kaimuki Neighborhood Board



GROUP 70

December 3, 2001

Francis S. Oda,  
Arch. D., AIA, AICP  
Norman G.Y. Hong, AIA  
Sheryl B. Seaman, AIA, ASID  
Hitoshi Hida, AIA  
Roy H. Nihei, AIA, CSI  
James I. Nishimoto, AIA  
Ralph E. Portmore, AICP  
Stephen H. Yuen, AIA  
Linda C. Miki, AIA

Mr. Leonard Tam, Member  
Kaimuki Neighborhood Board # 4  
3916 Keanu Street  
Honolulu, Hawai'i 96816

Dear Mr. Tam:

Subject: Haig Residence Site and Dwelling Improvements Draft EA

George I. Atta, AICP  
Paul P. Chorney, AIA  
Wendy Lee Cook, AIA, COT  
Philip T. Cuccio  
Sutobin Halim  
Jeremy C. Hsu, AIA  
Roy A. Inouye, AIA, CSI  
Stuart M. Jow, AIA  
Charles Y. Kaneshiro, AIA  
Dean H. Kitamura  
Frank B. McCue  
Kyle K. Nakamoto  
Kathryn A. Nam  
Jeffrey H. Overton, AICP  
Christine M. Ruotola, AICP  
Norma J. Scott  
Scott Tangonan  
Sharon Ching Williams, AIA

Thank you for your November 11, 2001 email regarding your review of the Draft Environmental Assessment (EA) for the Haig Residence Site and Dwelling Improvements.

We acknowledge your comments that you are not opposed to the motor court and residential addition if the motor court will improve safety and if the residential additional addition will be located directly beneath the motor court. You also indicate that you believe that the recreational deck and gazebo are inappropriate uses for conservation land.

The State guidelines provide guidance on the appropriate use of conservation lands (Section 13-5, Hawai'i Administrative Rules). Lands in the conservation districts are classified into one of the following subzones: Protective, Limited, Resource, and General. The objectives of each subzone as well as the areas included in each zone and the permitted uses are summarized in the attached table.

The subject property is located in the General Subzone which is considered the least restrictive Conservation Subzone. A single-family residence, accessory structures, and landscaping are allowed in the General Subzone pursuant to Board of Natural Resources approval. The impacts of the proposed project in relationship to the General Subzone are discussed below:

- **Objectives of the General Subzone:** The proposed land use is consistent with the objectives of the general subzone. The general subzone's objective is to designate open space where specific conservation uses may not be defined, but where urban use would be premature. Recreational uses with conditions are allowed in the zone. The proposed development will occur on relatively flatter portions of the parcel where the topography allows for development. The density and impact of development are also important considerations and we feel our project is sensitive to and conforms to the intent and guidelines of the general subzone. Additionally, each conservation parcel is allowed a residential structure if environmental impacts are addressed.

- **Environmental Impacts:** The project will not cause substantial adverse impact to the environment. The types of impacts are described below:

*Topography:* The proposed project will not substantially alter the overall existing topography. The motor court/ servants quarters extension will be built on an existing landscaped terrace. The deck and gazebo will be constructed on posts to minimize change in topography. Landscaping will generally follow the natural contours of the land.

*Grading:* To minimize grading, the proposed structures will be built on posts that sit on the uneven slopes. Only the areas around the footings and pathways will involve some minor grading.

*Surface Water and Drainage:* There appears to be limited potential for soil erosion due to the thin soil cover. Erosion control measures such as limiting the site clearing of vegetation to the minimum required for construction and reestablishing plantings or landscaping as soon as possible will be implemented. Due to the small area of coverage, 4,000 square feet, the anticipated increase in runoff is expected to be minimal. Additionally, increased vegetation is expected to reduce on-site runoff. The anticipated net effect is minimal to no change in surface runoff as a result of the proposed development.

*Flora and Fauna:* No rare, endangered, or threatened plant or animal species are presently known to exist on the project site. Improvements to the project site will provide new landscaped areas, trees, and plantings that may serve as habitat for area wildlife. Landscape plans will include retaining and/or the planting of native species.

*Archeological Resources:* According to staff from the State Historic Preservation Division, there are no recorded archaeological resources on the project site.

- **Surrounding Land Uses:** The existing residential land uses in the surrounding area are compatible with this project, as is this project with the surrounding residential land uses. The improvements have been designed to limit the impact on the slope and surrounding Conservation District. These improvements will be limited, and further encroachment is not anticipated.
- **Visual Resources:** The proposed development will preserve the natural beauty of the land. The proposed residential unit and extended motor court is anticipated to have a minimal impact on the area's visual resources. This structure is located directly down slope from the existing main residence, extending approximately 26-feet from the existing developed lot. The land surrounding and containing the proposed structure is within the Conservation District and no residences will abut the subject property. The existing main

Letter to Mr. Leonard Tam, Member  
Kaimuki Neighborhood Board # 4  
December 3, 2001  
page 3

residence will limit upslope neighbors' views of the proposed structure. However, the improvement will be visible from nearby residences.

The proposed accessory gazebo will be located immediately adjacent to the west side of the existing main residence. The structure will be nestled against the hillside, which will minimize any impact on the neighbors' view-planes. The natural earth tones of the building combined with landscaping will further minimize any visual impact.

The proposed elevated timber platform tennis court will be located at the base of the slope outside of view-planes from Palolo Valley. Located below the horizon plane of other adjacent Wilhelmina Rise residences, the impact on view-planes will be minor.

Minor landscaping around the proposed structures will be improved to minimize the visual impact of the structures, provide soil retention and help preserve natural landscape features.

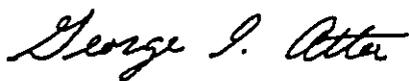
The Final EA will include a view analysis with color renderings of the completed project superimposed on a view of the site from a public vantage point.

We will be making a presentation to the Kaimuki Neighborhood Board #4 on Wednesday, February 6, 2001 and will be available to discuss your concerns further at that time.

Your letter and this response will be included in the Final EA. We will forward a copy of the Final EA upon its completion. We appreciate your input for the environmental review process.

Sincerely,

GROUP 70 INTERNATIONAL, INC.



GEORGE ATTA, AICP  
Chief Community Planner

cc: John Wheeler, AIA  
Traver Carroll, DLNR

**Summary of Conservation District Subzones and Permitted Uses**

	<b>Objective</b>	<b>Areas Included</b>	<b>Permitted Uses</b>
<b>Protective Subzone</b>	To protect valuable resources in designated areas such as restricted watersheds, marine, plant and wildlife sanctuaries, significant historic, archeological, geological, and volcanic features and sites; and other designated unique areas	<ul style="list-style-type: none"> <li>Lands and water necessary for protecting watersheds</li> </ul>	Data collection Fishponds Landscaping, removal of Noxious Plants Moorings and Aids to Public Navigation Sanctuaries Signs Existing Structures Accessory Structures Subdivision of Consolidation of Property Tree Removal
<b>Limited Subzone</b>	To limit uses where natural conditions suggest constraints on human activities	<ul style="list-style-type: none"> <li>Land susceptible to floods and soil erosion</li> </ul>	Uses in Protective Subzone Agricultural Botanical Gardens and Private Parks Erosion Control Seawalls and Shoreline Protection Single Family Residence Accessory Structures
<b>Resource Subzone</b>	To develop, with proper management, areas to ensure sustained use of the natural resources of those areas	<ul style="list-style-type: none"> <li>Park, lands suitable for growing and harvesting of commercial timber, outdoor recreation area</li> </ul>	Uses in Protective & Limited Subzones Aquaculture Artificial Reefs Astronomy Facilities Commercial Forestry Landscaping Marine Construction Mining and Extraction
<b>General Subzone</b>	Designate open space where specific conservation uses may not be defined but where urban uses would be premature	<ul style="list-style-type: none"> <li>Lands with topography, soils, climate, or other related environmental factors that may not be normally adaptable or presently needed for urban, rural, or agricultural use</li> <li>Lands suitable for farming, flower gardening, etc</li> </ul>	Uses in Protective, Limited & Resource Subzone Open Space Land Use Not Previously Identified

Section 8.0  
References

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HAIG RESIDENCE SITE & DWELLING IMPROVEMENTS

• Final Environmental Assessment

8.0 REFERENCES

Clean Air Branch, State of Hawaii: Annual Summary Hawai'i Air Quality Data; 1999.

Department of Land and Natural Resources, State of Hawai'i: Rainfall Atlas of Hawai'i, Report R76; 1986

Federal Emergency Management Agency: FIRM Flood Insurance Rate Map City and County of Honolulu, Panel Number 150001-0120C; Prepared for the National Flood Insurance Program, September 4, 1987

U.S. Department of Agriculture Soil Conservation Service: Soil Survey of Islands of Kauai, O'ahu, Maui, Moloka'i, and Lana'i, State of Hawai'i; 1972

University of Hawai'i, Department of Geography: Atlas of Hawai'i, Second Edition; 1983

Sterling, Elspeth P. and Catherine C. Summers: Sites of O'ahu; 1993.





**GROUP 70**  
INTERNATIONAL

Francis S. Oda, AIA, AICP  
Norman G. Y. Hong, AIA  
Sheryl B. Seaman, AIA, ASID  
Hitoshi Hida, AIA  
Roy H. Nihci, AIA, CSI  
James I. Nishimoto, AIA  
Ralph E. Portmore, AICP  
Stephen H. Yuen, AIA  
Linda C. Miki, AIA

# RECORD OF CONVERSATION

Group 70 International, Inc. • Architecture • Planning • Interior Design • Environmental Services  
925 Bethel Street, Fifth Floor • Honolulu, Hawaii 96813-4307 • PH: (808) 523-5866 • FAX: (808) 523-5874

PROJECT		PROJECT NO.
Haig Residence		20056-11
SUBJECT		
Wastewater capacity		
DATE	TIME	
March 30, 2001	10:20 a.m.	
PERSON CALLING	AGENCY	PHONE NO.
Megan York	Group 70	441-2107
PERSON CALLED	AGENCY	PHONE NO.
George	Department of Waste Water Management, Environmental Services	523-4429

## SUMMARY:

Called to inquire about waste water capacity at the site. I spoke to engineer who stated that in order to get specific information, it would be necessary to file a permit application. However, he did state that as far as he knew, there would be no waste water capacity problem in the Wihlemina Rise area.



Francis S. Oda, AIA, AICP  
Norman G. Y. Hong, AIA  
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Roy H. Nihei, AIA, CSI  
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Linda C. Miki, AIA

# CONFERENCE REPORT

Group 70 International, Inc. • Architecture • Planning • Interior Design • Environmental Services  
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TO	File	FROM	Megan York
DATE	April 5, 2001	PLACE	DLNR Land Division
PROJECT	Haig Residence		
PRESENT	George Atta, Group 70 Megan York, Group 70 Sam Lemmo, DLNR Land Division		
SUBJECT	Pre-consultation Meeting for Draft Environmental Assessment with DLNR Land Division		

---

George Atta summarized the project. The property owner currently lives in a house located on an adjacent lot zoned R-5. He would like to improve his residence by expanding the existing motor court, building a maid's quarters, gazebo, and platform recreation deck, and landscaping the area. These improvements would all occur in a separate parcel located in the State Land Use Conservation District.

Sam Lemmo from DLNR stated that because the improvements would occur in a separate parcel, the owner could apply for a Conservation District Use Permit to build a single residence. The entire floor area cannot exceed 5,000 square feet. The square footage of the motor court, maid's quarters, gazebo, and recreation deck would be included in the total.

Mr. Lemmo indicated that DLNR would have several concerns with the project. The office would want to know the plans for drainage and grading and the office would be less supportive of extensive grading and earth movement. In addition, he stated that it is preferable if the proposed development follows the existing natural contour of the land as much as possible. Photos of the site should be included in the Environmental Assessment.

In regards to the cultural resources component of the Environmental Assessment, Mr. Lemmo stated that for residential projects, the applicant should demonstrate that they contacted the State Historic Preservation Division and cultural experts in the area.

Mr. Lemmo stated that before a Conservation District Use Permit or accompanying Environmental Assessment can be reviewed by DLNR, the property owner must fully disclose any landscape violations in the State Land Use Conservation District. The property owner should send a letter explaining the nature and extent of the violations, when they occurred, and why the appropriate permission was not applied for before the area was landscaped. A map of the landscape improvements should accompany the letter. The Board of Land and Natural Resources will review the letter and decide if what remediation, if any, is required. Once the existing landscaping is in compliance, the owner may apply for a Conservation District Use Permit for the proposed development.



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Linda C. Miki, AIA

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PROJECT		PROJECT NO.
Haig Residence		20056-11
SUBJECT		
Water Supply		
DATE		TIME
3-30-01		
PERSON CALLING	AGENCY	PHONE NO.
George Atta	G70	
PERSON CALLED	AGENCY	PHONE NO.
Bert Kuioka	BWS	527-6134

## SUMMARY:

Informed Bert Kuioka (Senior Planner – Board of Water Supply) about the proposed project. He said that a project of that size will probably not have any significant impact on the water system except maybe the landscape irrigation. They would need to look at the landscape plans as well as the fixture count in the maid's quarters before making any definitive conclusions but he did not really see any problems.

I asked Mr. Kuioka if there were any system problems or shortages in the Wilhelmina Rise area. He said there was no moratorium and he was not aware of any system limitations at the present time.

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# RECORD OF CONVERSATION

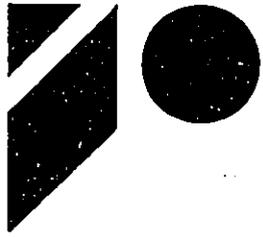
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925 Bethel Street, Fifth Floor • Honolulu, Hawaii 96813-4307 • PH: (808) 523-5866 • FAX: (808) 523-5874

Francis S. Oda, AIA, AICP  
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Stephen H. Yuen, AIA  
Linda C. Miki, AIA

PROJECT		PROJECT NO.
Haig Residence		20056-11
SUBJECT		
Traffic Improvements		
DATE		TIME
May 22, 2001		1:30
PERSON CALLING	AGENCY	PHONE NO.
Megan York	Group 70	
PERSON CALLED	AGENCY	PHONE NO.
Mel Hirayama	Department of Planning Permitting	523-4119

## SUMMARY:

I spoke to Mel Hirayama at the Department of Planning and Permitting Traffic Review Branch. I explained to him that we are preparing an EA for development in the Wilhelmina Rise area. I provided him with the tax map number of the property and asked him if there are any planned improvements to traffic conditions in the area. He stated that there are no planned road improvements in the area.



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INTERNATIONAL

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Ralph E. Portmore, AICP  
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Linda C. Miki, AIA

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PROJECT		PROJECT NO.
Haig Residence		22056-11
SUBJECT		
Fire Protection		
DATE		TIME
10-29-01		3:55 pm
PERSON CALLING	AGENCY	PHONE NO.
George Atta	G70	
PERSON CALLED	AGENCY	PHONE NO.
Chief Kenneth Silva	Fire Department	831-7778

## SUMMARY:

Called Battalion Chief Silva to discuss the comments in the letter from Fire Chief Attilio K. Leonardi dated October 18, 2001. My question revolved around the need for sprinkler systems in the servants quarters residence and the artist gazebo.

Chief Silva said the comments were based on an assumption that there were no fire hydrants within 150 feet of the front of the property. Chief Silva mentioned that this standard comes from NFPA 13D. Chief Silva asked where the nearest fire hydrant was located. I said the owner of the lot lives on the adjacent lot and he has water but we did not know where the nearest hydrant was located. We will investigate.

I also asked Chief Silva why the gazebo required sprinklers since it is an open-air structure. He said the comments were general and if the gazebo is an open-air structure it might be OK to not sprinker that building. He suggested that we write a letter proposing that alternative and he thought it sounded reasonable.



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INTERNATIONAL

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PROJECT		PROJECT NO.
Haig Residence		20056-11
SUBJECT		
Cultural Resources		
DATE	TIME	
4-4-01		
PERSON CALLING	AGENCY	PHONE NO.
George Atta	G70	
PERSON CALLED	AGENCY	PHONE NO.
Lynette Cruz	Ahupuaa Action Alliance	738-0084

## SUMMARY:

Called Lynnette Cruz to ask her about stories, legends, oral histories for Palolo. I informed her that we were working on a project on Wilhelmina Rise, which involved a gazebo and a recreation deck. Lynnette asked if it was one of the gazebos they can see on the hillside. I said this one is not built but it would be similar.

Ms. Cruz said that community groups had worked on a project that collected such information. The results were in a folder at the Palolo Housing Office. We should contact Dahlia Asuega at 721-5462 (residence) or 732-1796 (office) to try to obtain the folder for reading or copying.

I mentioned that some people considered her as a person with a lot of information about Palolo. She said she had some information but know people who have lived here much longer. I said I would be interested in talking to them but also wanted to sit down and talk story with her. We set a tentative date for Friday April 6 at 3:30 pm at Columbia Inn in Kaimuki.

I mentioned my childhood experiences in Palolo Valley on La I Road visiting my neighbor's farm. Ms. Cruz mentioned that she lived at the bottom of La I Road and the area had many loi in the past. I remember mountain apples and macadamia nuts on the farm.

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PROJECT		PROJECT NO.
Haig Residence		20056-11
SUBJECT		
Cultural Impacts		
DATE		TIME
May 29, 2001		8:45 am
PERSON CALLING	AGENCY	PHONE NO.
Leigh Wai Doo		
PERSON CALLED	AGENCY	PHONE NO.
George Atta	G70	

## SUMMARY:

Leigh Wai Doo called in response to the message I left on his voice mail. Leigh Wai is a former councilmember for the district and a long time resident of the Valley. He and Bill Young have been doing some historical research about the valley.

I described the project to him. His response was "no". He did not see any negative impacts of the proposal on cultural social or cultural practices that he was aware of.



M F A

MASA FUJIOKA & ASSOCIATES  
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99-1205 Halawa Valley Street, Suite 302 • Aiea, Hawaii 96701-3281  
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GROUP 70

March 26, 2001

Mr. David M. Haig  
First Hawaiian Center  
999 Bishop Street, Suite 2800  
Honolulu, HI 96813

Consultation Letter  
Geotechnical Consultation  
Proposed Accessory Structures for David Haig Residence  
3639 Kawelolani Place  
Maunawili Heights, Oahu, Hawaii

Masa Fujioka & Associates (MFA) is pleased to submit this preliminary geotechnical consultation letter to you.

Geotechnical consultation for this project is being provided in two phases.

The initial phase consists of preliminary geotechnical consultation for the purposes of providing support to your CDUA permit application. We have held discussions with George Atta of Group 70 regarding the requirements for this work.

The second phase would consist of conducting a geotechnical investigation and preparing a geotechnical design report for the proposed accessory structures.

Based on a site plan provided to us, we understand that the proposed additions consist of an accessory gazebo with a deck between the proposed gazebo and the existing swimming pool, a new motor court with accessory dwelling below, and a platform tennis court. A pathway to the platform tennis court and a water feature on the hillside above the platform tennis court will also be constructed.

#### SCOPE OF WORK

The following scope of work was proposed and performed:

1. Site visit by the undersigned.
2. Review of pertinent information on the site (i.e. plans, etc.) provided by you. We also reviewed information in our files regarding general soil conditions and geology of your residence area.
3. Preparation of this geotechnical consultation letter. This letter includes a summary of available data and findings based on our site visit. The letter includes a general description of available information on the site geology and soil conditions, and a preliminary assessment of

Mr. David M. Haig  
March 26, 2001  
Page 2

foundation support requirements. We also address slope stability and soil erosion potential related to the proposed development which may become CDUA issues.

4. We would be available to provide additional geotechnical consultation as required for the permitting process, including expert testimony if required.

## SITE CONDITIONS

### Geology

The site has been mapped by the US Geological Survey as Tkb, basaltic rock of the Koolau Volcanic Series. Based on observation of the rock outcroppings visible on the site, the mapping appears to be accurate.

### Soil Mapping

The site has been mapped by the Soil Conservation Service as MpE (Manana silty clay) for the upper and more level areas and rRK (Rockland) for the steeper areas of the site.

Manana series soils consist of well drained soils on upland areas of Oahu which developed due to weathering in place of basaltic rock, i.e. a residual soil. Due to the location of the site adjacent to steep slopes, the soil cover over basaltic rock is relatively thin.

Rock land is made up of areas where exposed rock covers 25 to 90 percent of the surface.

### Site Conditions

The site contains an existing three story single family residence which is situated downslope of Kawelolani Place. There is another residence immediately upslope of the Haig residence. Access to Kawelolani Place is through a steep driveway built on a right of way to Kawelolani Place.

The residence is constructed on a narrow relatively level area on the slope, which likely was formed by previous grading. The slope continues down in two directions, a very steep slope to the west down into Palolo Valley, and a less steep slope to the south which also eventually bottoms in Palolo Valley.

Mr. David M. Haig  
March 26, 2001  
Page 3

Immediately downslope of the residence, to the south, is another narrow area which was apparently formed by placing concrete rubble fill. The new motor court with a new accessory dwelling is planned for this area, as well as new terrace planters.

Further down this slope, a water feature, walkway, and new platform tennis court are planned. This area does not appear to have been graded in the past. The upper areas of this slope have been landscaped.

Immediately downslope of the residence swimming pool, to the west, is a very steep slope which has some landscaping immediately adjacent to the residence but otherwise does not appear to have been graded or otherwise worked. A new Accessory Gazebo and a deck are planned for this area.

## DISCUSSIONS AND PRELIMINARY RECOMMENDATIONS

### Foundation Support

We anticipate that the near surface rock will be suitable for foundation support of the planned structures. Some precautions are recommended based on both general and specific site conditions:

1. The area of the planned new Motor Court and Accessory Dwelling has been leveled with concrete rubble fill. This rubble fill should be stabilized prior to constructing a slab or foundations over it. There is not enough information at this time to evaluate the recommended method of stabilization, but we anticipate that options would include:
  - a. Removal and replacement with compacted granular fill placed behind a retaining structure.
  - b. If the concrete rubble fill is open graded with few fines, it may be feasible to stabilize the rubble by grouting to fill in the voids in the concrete rubble.
2. The areas of the planned new Motor Court and Accessory Dwelling also overlies an apparent sewer easement. A sewer manhole is present at the property boundary where the planned structure is located. The backfill for the sewerline may consist of fill materials which may not have been compacted sufficiently for foundation support. Special precautions may be required for foundations in the vicinity of the sewerline. Foundation support may need to extend to depths below the sewerline. An alternative may be to shift the structure away from the sewerline, i.e. away from the property line. The distance required from the property line would depend upon the depth of the sewerline.

Mr. David M. Haig  
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Page 4

3. For structures planned for relatively steeply sloping areas of the site, foundation support should extend into the underlying basaltic rock, by anchoring foundations into the basaltic rock. We anticipate that this can be accomplished by drilling anchors to a depth of 10 feet into basaltic rock. We anticipate that anchors would consist of #8 corrosion protected rebar grouted into a 4 to 6 inch diameter drilled borehole. Sufficient lengths of anchor rebar would be left above grade to enable construction of foundations around the anchors. We anticipate that foundations would be shallow, either resting directly on bare basaltic rock or with shallow embedment into thin surface soils. Further details on the anchors can be provided in our final geotechnical report.

We anticipate that drilling of the anchors can be accomplished with tripod mounted portable drilling equipment with coring capability. For very steep areas, temporary drilling platforms would likely need to be constructed.

### Slope Stability

The slopes at the site are very steep but are likely to be generally stable since the slope is primarily composed of basaltic rock. The natural weathering process may result in periodic loosening of a basaltic rock boulder which could move downslope. A number of loose surface boulders were observed on the site.

To minimize the potential for any form of slope instability at the proposed structure locations, we anticipate that a number of precautionary measures could be undertaken. Final recommendations would be based on further site investigation, but we anticipate that precautionary stability measures may include:

1. A detailed geological site reconnaissance of structure areas on steep slopes to identify and map existing loose boulders, followed by removal of loose boulders prior to or during construction. Loose boulders should either be removed from the site or possibly used for construction of water features or other construction on site. Loose or potentially loose boulders which are very large should be either grouted or anchored into place to prevent possible downslope movement.
2. Guniting placement in the vicinity of the proposed structures to minimize the potential for rock or boulders to become loose due to erosion or weathering.
3. Anchoring all foundations to the underlying rock for a depth of 10 feet as described in the above section on Foundation Support.



Mr. David M. Haig  
March 26, 2001  
Page 5

Erosion

There appears to be limited potential for soil erosion due to the thin soil cover. We anticipate that erosion control measures could consist of the following:

1. Limit site clearing of vegetation to the minimum required for construction.
2. Reestablish planting or landscaping as soon as possible.

LIMITATIONS

We have prepared this geotechnical engineering consultation letter report for the use of the designated project architects and engineers, in accordance with generally accepted soils and foundation engineering practices. No other warranty, expressed or implied, is made as to the professional advice included in this report. This report may not contain sufficient information for the purposes of other parties or for other uses.

This report is based on a site visit and review of available geological and soils mapping information, and must be supplemented by a geotechnical investigation and design report prior to implementation of any of the preliminary recommendations presented in this consultation letter.

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Please do not hesitate to contact the undersigned if there are any questions regarding this consultation letter.

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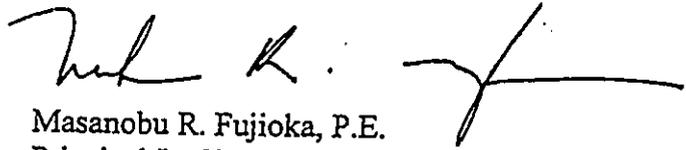
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Mr. David M. Haig  
March 26, 2001  
Page 6

Yours very truly,

MASA FUJIOKA & ASSOCIATES  
A Professional Partnership



Masanobu R. Fujioka, P.E.  
Principal-In-Charge

MRF  
(two copies submitted)

cc: John Howard Wheeler AIA - Fax No. 373-2950  
Group 70, Attn: George Atta