

ALAN M. ARAKAWA  
Mayor

WILLIAM R. SPENCE  
Director

MICHELE CHOUTEAU McLEAN  
Deputy Director



COUNTY OF MAUI  
**DEPARTMENT OF PLANNING**

September 7, 2012

OCT 08 2012

**FILE COPY**

Mr. Gary Hooser, Director  
State of Hawaii  
Office of Environmental Quality Control  
235 South Beretania Street, Suite 702  
Honolulu, Hawaii 96813

Dear Mr. Hooser:

**SUBJECT: FINAL ENVIRONMENTAL ASSESSMENT (EA) FOR THE PROPOSED FEDELE RESIDENCE IMPROVEMENTS PROJECT, LOCATED AT 455 FRONT STREET, LAHAINA, MAUI, HAWAII; TMK: (2) 4-6-002:006 (SMX 2011/0188) (EA 2011/0002)**

The Department of Planning has reviewed the Final EA and issued a Finding of No Significant Impact (FONSI) determination. Please publish the Final EA, FONSI determination for this project in the next available publication of the Office of Environmental Quality Control (OEQC) Environmental Notice.

With this letter, I am attaching the following items:

- (1) hard copy of the completed OEQC Publication Form;
- (1) CD (PDF file) of the completed OEQC Publication Form;
- (1) hard copy of the Final EA; and
- (1) CD (PDF file) of the Final EA.

Thank you for your cooperation. Should you have any questions, please feel free to contact Staff Planner Anna Benesovska at [anna.benesovska@mauicounty.gov](mailto:anna.benesovska@mauicounty.gov) or at (808) 463-3867.

Sincerely,

A handwritten signature in black ink, appearing to read "William Spence".

WILLIAM SPENCE  
Planning Director

Attachments

xc: Clayton I. Yoshida, AICP, Planning Program Administrator (PDF)  
Anna Benesovska, Staff Planner (PDF)  
Jordan E. Hart, Chris Hart & Partners, Inc  
Project File  
General File

WRS:AB:rm

K:\WP\_DOCS\PLANNING\smx\2011\0188\_FedeleResidenceLahaina\oeqc\FinalEA\OEQC transmittal.doc

250 SOUTH HIGH STREET, WAILUKU, MAUI, HAWAII 96793

MAIN LINE (808) 270-7735; FACSIMILE (808) 270-7634

CURRENT DIVISION (808) 270-8205; LONG RANGE DIVISION (808) 270-7214; ZONING DIVISION (808) 270-7253

**Publication Form**  
**The Environmental Notice**  
**Office of Environmental Quality Control**

Instructions: Please submit one hardcopy of the document along with determination letter from the agency. On a compact disk, put an electronic copy of this publication form and a PDF of the EA or EIS. Mahalo.

**Name of Project:** Fedele Residence Addition  
**Applicable Law:** HRS 343 & 205A  
**Type of Document:** Final Environmental Assessment with SMA Assessment Application  
**Island:** Maui  
**District:** Lahaina  
**TMK:** (2) 4-6-002: 006  
**Permits Required:** Building Permit, SMA Permit  
**Name of Applicant or Proposing Agency:** Joseph F. Fedele  
455 Front Street  
Address: Lahaina, HI 96761  
City, State, Zip: CH&P - Jordan Hart, (808) 242-1955  
Contact and Phone  
**Approving Agency or Accepting Authority:** Maui Planning Department  
250 S. HIGH STREET  
WAILUKU, HI 96793  
Address: Anna Benesovska, (808) 463-3867  
City, State, Zip  
Contact and Phone  
**Consultant:** Chris Hart & Partners, Inc.  
Address: 115 N. Market St.  
City, State, Zip: Wailuku, HI 96793  
Contact and Phone: Jordan Hart, (808) 242-1955

**Project Summary:** Addition to an existing residence of approximately 3,000 SQFT, as well as the addition of a swimming pool & pool deck. The project site is located within the Lahaina National Historic Landmark District. The house itself is not a historic structure. The project site is also located within the County of Maui's Special Management Area (SMA). No work is proposed within the Shoreline Setback.

There are no anticipated long-term impacts associated with the proposed project. Normally expected short-term impacts associated with construction related activities are anticipated on a minimal level.

# FINAL ENVIRONMENTAL ASSESSMENT

IN SUPPORT OF A  
SPECIAL MANAGEMENT AREA ASSESSMENT  
FOR

# FEDELE RESIDENCE IMPROVEMENTS

*Prepared for:*  
Mr. Joseph Fedele  
455 Front Street  
Lahaina, Hawaii

*Prepared by:*  
Chris Hart & Partners, Inc.  
1955 Main Street, Suite 200  
Wailuku, Hawaii  
808.242.1955



March 2012



**FINAL ENVIRONMENTAL ASSESSMENT**  
IN SUPPORT OF A  
**SPECIAL MANAGEMENT AREA ASSESSMENT**  
FOR  
**FEDELE RESIDENCE IMPROVEMENTS**

**INDEX**

1. Special Management Area Assessment Application Form
2. Land Ownership Documentation
3. Owners And Lessees Within 500 Feet Of The Subject Property
4. Final Environmental Assessment



# **1. Special Management Area Assessment Application Form**



# SMA ASSESSMENT APPLICATION CHECKLIST

## Instructions:

- Any misrepresentation regarding this application may result in a permit denial, permit revocation, and other possible violations and/or fines.
- The following checklist items shall be completed and submitted at the time of application submittal. Incomplete applications will delay their processing and may be returned.
- Please number all documents and arrange them in the order they are listed below.

- 1  A **non-refundable** filing fee, payable to County of Maui, Director of Finance.  
See [Fee Schedule, Table B](#) Special Management Area Assessments (No Public Hearing Required). The current fee schedule is available at the Department of Planning or at the Department of Planning section of the County of Maui website under "Development Permits, Applications & Reviews". [www.mauicounty.gov](http://www.mauicounty.gov).
- 2  YES  NO Has any work already been started or completed for this project?
  - If yes, please describe on a separate sheet of paper and be advised that additional fees may apply.
- 3  Completed SMA Assessment Checklist of Required Submittals (THIS CHECKLIST) (pg 3-4)
- 4  Completed SMA Assessment Application (pg 5)
- 5  Complete the applicant portion of the Zoning & Flood Confirmation Form. (pg 6)
- 6  Completed Chapter 343, HRS Checklist (pg 7). If the proposed action triggers Chapter 343, HRS, related to Environmental Impact Statements, submit a completed Environmental Assessment (EA), Environmental Impact Statement (EIS), or a letter of exemption from Chapter 343, HRS, from the proper authority.
- 7  Completed Chapter 205A-2, HRS, Assessment Information (pg 8)
- 8  Evidence that the applicant is the owner or lessee of record of the real property. – OR – If the applicant is not the owner, a notarized letter from the owner authorizing the applicant to act on the owners behalf, AND evidence that the authorization is from the legal owner.
- 9  **Plot Plans\* of the Subject Property** prepared to scale and based upon an accurate instrument survey. The plan shall define and show the design of the proposed activity or development and the existing physical conditions of the land, including but not limited to, property boundaries, topography, all structures, natural and man-made features, trees, structures, shoreline, and shoreline setback line. Said plans shall be signed, dated, drawn to scale, and measured in feet.  
*\*Submit two (2) sets, including one (1) original*
- 10  **Plans\* of the Proposed Activity or Development** designating the location and dimensions of the proposed activity or development on the land. If structures are included, the plan of the activity or development should include a dimensioned floor plan, sections, elevations, and other physical features. Provide existing and proposed finished (interior) square footage and existing and proposed covered lanai square footage. Said plans shall be signed, dated, drawn to scale, and measured in feet.  
*\*Submit two (2) sets, including one (1) original*
- 11  **Photographs** identifying the area where the proposed activity or development is to occur. The photographs should include the (1) site, (2) surrounding properties, and (3) the relationship of the site to the nearest public roadway.

For shoreline properties, also include photographs (1) to, (2) from, and (3) along the shoreline.

(All photographs should be printed on standard sized paper, 8½ by 11.)

Continued on next page...

## SMA ASSESSMENT APPLICATION CHECKLIST (CONTINUED)

- 12  YES  NO Are there any known taro patches, burial sites, cemeteries, fish ponds, or other historical features (over 50 years old) on this lot or in the immediate vicinity of the proposed project?
- **If YES**, include a scaled map identifying those sites and description of what you may know about them.
- 13  YES  NO Will there be any ground alteration, excavation, or digging associated with the proposed project?
- **If YES**, include a scaled map identifying the area of land affected, as well as the width, length, and the depth of the activity.
- 14  YES  NO Are there any rare, threatened, or endangered species of animal or plant, or its habitat within the lot of the proposed project or nearby properties?
- **If YES**, include a brief description of the species, animal, and/or the affected habitat, as well as a description of what is being done or proposed to be done to minimize the affect.
- 15  YES  NO Are any of the following areas located on this lot or on the properties immediately adjoining the proposed project? These areas include a flood plain, shoreline, tsunami zone, erosion-prone area, geologically hazardous land, estuary, fresh waters, or coastal waters?
- **If YES**, include a scaled map identifying the area(s), in relation to the proposed project.
- 16  YES  NO Is the subject property abutting the shoreline?
- **If YES**, answer question **16(A)** and submit the required information.
  - **If NO**, answer questions **16(B) & 16(C)** and submit any required information.

**16(A).** Is the shoreline fixed by either (a) a natural stabilized geographic features such as cliffs and rock formations, or (b) by a manmade structure which has been approved by appropriate government agencies and for which engineering drawings exist to locate the interface between the shoreline and the structure?

- YES Submit evidence of these conditions and your most recent State Certified Shoreline Survey, or if one does not exist for the subject property, submit the most recent shoreline survey prepared by a land surveyor who is licensed in the State of Hawaii. The survey shall include the date of the field survey and the surveyor's signature.
- NO Submit two (2) sets (one original) of a State Certified Shoreline Survey. The survey shall be the actual field location of the shoreline as prepared by a land surveyor licensed in the State of Hawaii. The survey maps shall bear the surveyor's signature, date of field survey, and the certifying signature and date of the Chairman of the Board of Land and Natural Resources (BLNR). The date of State Certified Shoreline Survey shall not be older than one year.

**16(B).**  YES  NO For any lot not abutting the shoreline, is any part of the proposed action to occur WITHIN 150 feet of the shoreline?

- **If YES**, Submit two (2) sets (one original) of a State Certified Shoreline Survey. The survey shall be the actual field location of the shoreline as prepared by a land surveyor licensed in the State of Hawaii. The survey maps shall bear the surveyor's signature, date of field survey, and the certifying signature and date of the Chairman of the Board of Land and Natural Resources (BLNR). The date of State Certified Shoreline Survey shall not be older than one year.

**16(C).**  YES  NO Is any part of the subject property lot line, located WITHIN 150 feet of the shoreline?

- **If YES**, be advised that your SMA Assessment Application will be reviewed to determine if a State Certified Shoreline Survey is required.

17  Any other information and documentation required by the Planning Department to properly process the application, and/or items you feel will aid the Department in its review of your project.

List all other submitted documents below.

- A) \_\_\_\_\_ C) \_\_\_\_\_
- B) \_\_\_\_\_ D) \_\_\_\_\_

# Special Management Area (SMA)

# ASSESSMENT APPLICATION

Please print legibly or type the following.

## PROPERTY ADDRESS / PROJECT INFORMATION

**Name of Project:** *(If project name is not provided, applicants name will be used)* \_\_\_\_\_  
**Tax Map Key No:** \_\_\_\_\_ **Total Lot Area:** \_\_\_\_\_  
**Physical Address / Location of Project:** \_\_\_\_\_  
**Additional Location Information:** \_\_\_\_\_

## DESCRIPTION OF PROPOSED ACTIVITY OR DEVELOPMENT

*Written description of the proposed action shall include, but not be limited to: use, length, width, height, depth, building material(s), and statement of objectives of the proposed action. **Attach additional sheets, if needed:***

**Describe the Existing Use:** \_\_\_\_\_

**Describe the Proposed Use:**

*Include a description of all proposed ground altering activities (e.g., area of disturbance, quantity of fill, depth of excavation, etc.).*

**Valuation\*:** \_\_\_\_\_ **Building Permit Application No:** *(if applicable)* \_\_\_\_\_

*\*Total cost or fair market value as estimated by an architect, engineer, or contractor licensed by the Department of Commerce and Consumer Affairs, State of Hawaii; or, by the administrator of Department of Public Works, Development Services Administration.*

## CONTACT INFORMATION

### APPLICANT INFORMATION

**Applicant's Name(s):** \_\_\_\_\_ **Email:** \_\_\_\_\_  
**Mailing Address:** \_\_\_\_\_  
**Phone Number(s):** bus \_\_\_\_\_ hm \_\_\_\_\_ cel \_\_\_\_\_ fax \_\_\_\_\_  
**Signature(s):** \_\_\_\_\_ **Date:** \_\_\_\_\_

### CONSULTANT INFORMATION

**Contact Name(s):** \_\_\_\_\_ **Email:** \_\_\_\_\_  
**Mailing Address:** \_\_\_\_\_  
**Phone Number(s):** bus \_\_\_\_\_ hm \_\_\_\_\_ cel \_\_\_\_\_ fax \_\_\_\_\_  
**Signature(s):** \_\_\_\_\_ **Date:** \_\_\_\_\_

### OWNER INFORMATION

**Owner's Name(s):** \_\_\_\_\_ **Email:** \_\_\_\_\_  
**Mailing Address:** \_\_\_\_\_  
**Phone Number(s):** bus \_\_\_\_\_ hm \_\_\_\_\_ cel \_\_\_\_\_ fax \_\_\_\_\_  
**Signature(s):** \_\_\_\_\_ **Date:** \_\_\_\_\_

## CHAPTER 343, HRS, COMPLIANCE CHECKLIST

Complete the following worksheet to determine whether the proposed action triggers Chapter 343, HRS, relating to Environmental Impact Statements.

A  YES  NO Do any of the proposed actions listed below apply to your project? The proposed actions listed below trigger Chapter 343, HRS.

If YES, check any that apply and continue with question B below.

If NO, stop here, an Environmental Impact Statement may not be required.

- |   |                          |                                       |   |                          |   |
|---|--------------------------|---------------------------------------|---|--------------------------|---|
| 1 | <input type="checkbox"/> | Use of state or county lands or funds | 6 | <input type="checkbox"/> | Reclassification of conservation lands  |
| 2 | <input type="checkbox"/> | Use of conservation district lands    | 7 | <input type="checkbox"/> | Construction/modification of helicopter facilities  |
| 3 | <input type="checkbox"/> | Use of shoreline area                 | 8 | <input type="checkbox"/> | Propose any: (a) wastewater facility, except an individual wastewater system or a wastewater facility serving fewer than fifty (50) single-family dwellings or the equivalent; (b) Waste-to-energy facility; (c) Landfill; (d) Oil refinery; or (e) Power-generating facilities |
| 4 | <input type="checkbox"/> | Use of historic site or district      |   |                          |   |
| 5 | <input type="checkbox"/> | Amendment to county general plan      |   |                          |   |

B Does the proposed action qualify for one or more of the following exemption classes?

- 1  Operations, repairs, or maintenance of existing structures, facilities, equipment, or topographical features, involving negligible or no expansion or change of use beyond that previously existing;
- 2  Replacement or reconstruction of existing structures and facilities where the new structure will be located generally on the same site and will have substantially the same purpose, capacity, density, height, and dimensions as the structure replaced;
- 3  Construction and location of single, new, small facilities or structures and the alteration and modification of the same and installation of new, small, equipment and facilities and the alteration and modification of same, including, but not limited to:
  - a. Single-family residences less than 3,500 square feet not in conjunction with the building of two or more such units;
  - b. Multi-unit structures designed for not more than four dwelling units if not in conjunction with the building of two or more such structures;
  - c. Stores, offices, and restaurants designed for total occupant load of twenty persons or less per structure, if not in conjunction with the building of two or more such structures; and
  - d. Water, sewage, electrical, gas, telephone, and other essential public utility services extensions to serve such structures or facilities; accessory or appurtenant structures including garages, carports, patios, swimming pools, and fences; and, acquisition of utility easements;
- 4  Minor alterations in the conditions of land, water, or vegetation;
- 5  Basic data collection, research, experimental management, and resource evaluation activities which do not result in a serious or major disturbance to an environmental resource;
- 6  Construction or placement of minor structures accessory to existing facilities;
- 7  Interior alterations involving things such as partitions, plumbing, and electrical conveyances;
- 8  Demolition of structures, except those structures located on any historic site as designated in the national register or Hawaii register as provided for in the National Historic Preservation Act of 1966, Public Law 89-665, 16 U.S.C. §§470, as amended, or chapter 6E, HRS;
- 9  Zoning variances except shoreline set-back variances; and
- 10  Continuing administrative activities including, but not limited to purchase of supplies and personnel-related actions.

***If any boxes are checked, submit any letter of exemption you may have received from the proper authority.***

***If no boxes are checked, then an Environmental Assessment (EA) or Environmental Impact Statement (EIS) is required. Submit the completed EA or EIS document with the application.***

## CHAPTER 205A-2, HRS, ASSESSMENT INFORMATION

Before answering any of the questions on this page, please first read the attached objectives and policies of Chapter 205A-2, Coastal zone management program (pg 9-10).

**I have read the attached (pg 9-10) coastal zone management objectives and policies of Chapter 205A-2, HRS and state that the proposed project is not contrary to the objectives and policies of Chapter 205A-2, HRS.**

**Printed Name:** \_\_\_\_\_ **Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

Type or legibly print answers to the following and attach additional sheets, as needed.

Be advised that the absence or lack of sufficient information on any of the following items may delay processing.

The environmental setting of the property (description of property): \_\_\_\_\_

*Provide a description of any anticipated impacts, as follows:*

(A) Affects natural or cultural resources (i.e., historic site, excavation on vacant land): \_\_\_\_\_

\_\_\_\_\_

(B) Curtails the range of beneficial uses of the environment: \_\_\_\_\_

\_\_\_\_\_

(C) Conflicts with the county's or the state's long-term environmental policies or goals (i.e. State Plan, County General Plan, and Community Plan): \_\_\_\_\_

\_\_\_\_\_

(D) Affects the economic or social welfare and activities of the community, county, or state: (what are the economic impacts of this project): \_\_\_\_\_

\_\_\_\_\_

(E) Involves secondary impacts, such as population changes (i.e. increase/decrease) and increased effects on public facilities, streets, drainage, sewage, and water systems, and pedestrian walkways (i.e. increased demands and deficiencies): \_\_\_\_\_

\_\_\_\_\_

(F) By itself has no significant adverse effects but cumulatively has considerable effect upon the environment (i.e. increased traffic and deficiencies in services) or involves a commitment for larger actions (i.e. more public infrastructure, such as, roads, waterlines, sewers, etc.): \_\_\_\_\_

\_\_\_\_\_

(G) Affects a rare, threatened, or endangered species of animal or plant, or its habitat (i.e. wetlands, natural area reserve, refuge): \_\_\_\_\_

\_\_\_\_\_

(H) Is contrary to the state plan, county's general plan, appropriate community plans, zoning and subdivision ordinances: \_\_\_\_\_

\_\_\_\_\_

(I) Affects air or water quality or ambient noise levels (i.e. construction impacts): How might any affects be mitigated? \_\_\_\_\_

\_\_\_\_\_

(J) Located in and does it affect an environmentally sensitive area, such as flood plain, shoreline, dunes, tsunami zone, erosion-prone area, geologically hazardous land, estuary, fresh waters, or coastal waters: \_\_\_\_\_

\_\_\_\_\_

(K) Alters natural land forms (i.e. cut and fill, retaining walls) and existing public views to and along the shoreline: \_\_\_\_\_

\_\_\_\_\_



## **2. Land Ownership Documentation**





# COUNTY OF MAUI Hawaii

## REAL PROPERTY TAX DIVISION

<a href="#">Recent Sales in Neighborhood</a> <a href="#">Recent Sales in Area</a>	<a href="#">Previous Parcel</a>	<a href="#">Next Parcel</a>	<a href="#">Return to Main Search Page</a>	<a href="#">Maui Home</a>
--	---------------------------------	-----------------------------	--	---------------------------

Owner and Parcel Information			
Owner Name	FEDELE, JOSEPH FRANCIS	Today's Date	January 14, 2011
Mailing Address	455 FRONT ST LAHAINA HI 96761	Parcel Number	460020060000
Location Address	455 FRONT ST		
Property Type	HOMEOWNER	Parcel Map	<a href="#">Show Parcel Map</a>
Neighborhood Code	4631-1	Land Area	23840 Square Feet
Legal Information			

Assessment Information <a href="#">Show Historical Assessments</a>								
Year	Tax Class	Market Land Value	Agricultural Land Value	Assessed Land Value	Building Value	Total Assessed Value	Total Exemption Value	Total Net Taxable Value
2010	HOMEOWNER	\$ 4,417,800	\$ 0	\$ 4,417,800	\$ 522,300	\$ 4,940,100	\$ 300,000	\$ 4,640,100

Appeal Information <a href="#">Show Historical Appeals</a>								
Year	Appeal Type Value	Scheduled Hearing Date <i>subject to change</i>	Status	Tax Payer Opinion of Value	Tax Payer Opinion of Exemptions	Tax Payer Opinion of Property Class	Date Settled	
2010	BOARD OF REVIEW (RA)	NA	Active	\$ 2,500,000	\$ 0	9		

Current Tax Bill Information <a href="#">Show Historical Taxes</a>									
Tax Period	Description	Original Due Date	Taxes Assessment	Tax Credits	Net Tax	Penalty	Interest	Other	Amount Due
2010-2	Real Property Tax	02/22/2011	\$ 597.41	\$ 0.00	\$ 597.41	\$ 0.00	\$ 0.00	\$ 0.00	\$ 597.41
Tax bill is computed to 01/31/2011									

Improvement Information					
Class	Style	Year Built	Eff Year Built	Living Area	Construction Type
HOMEOWNER	Contemporary	1965	1977	2,587	Masonry
Heating/Cooling	Exterior Wall	Bedrooms/Full Bath/Half Bath	Roof Material	Fireplace	Sketch
NONE	8" H.T	1/1/1	SHAKES		<a href="#">Sketch Building 1</a>
Class	Style	Year Built	Eff Year Built	Living Area	Construction Type
HOMEOWNER	Accessory dwelling	1966		672	Frame
Heating/Cooling	Exterior Wall	Bedrooms/Full Bath/Half Bath	Roof Material	Fireplace	Sketch
NONE	REDWOOD/CEDAR	1/2/0	SHAKES		<a href="#">Sketch Building 2</a>

Accessory Information			
Description	Year Built	Dimensions/Units	Value
	1994	16x20 320	\$ 10,240

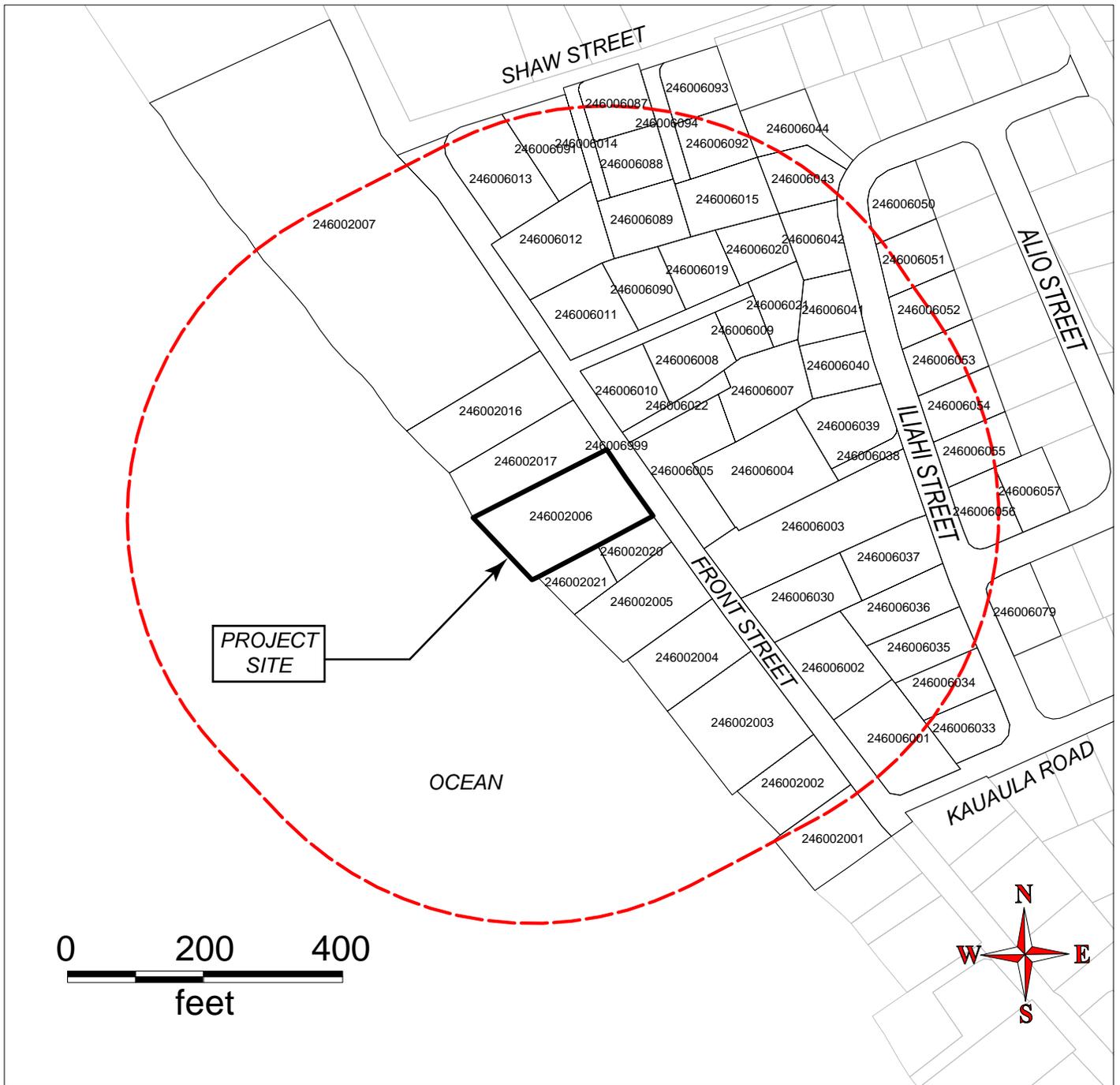
Sales Information						
Sale Date	Price	Instrument #	Instrument Type	Document Type	Grantor	Grantee
06/30/1989	\$ 0	0000000000	Fee conveyance			

Permit Information			
Date	Permit Number	Reason	Permit Amount
04/02/1998	980543		\$ 8,000
02/03/1998	980155		\$ 30,000



### **3. Owners and Lessees Within 500 Feet of the Subject Property**





PARCELS WITHIN 500 FEET  
OF THE PROJECT



TMK	CPR	Name	Owner Type	Address 1	Address 2	Address 3	Country
24600693	0	R HS ENTERPRISES LTD	Fee Owner		P O BOX 68	LAHAINA HI 96761	
24600692	0	R HS ENTERPRISES LTD	Fee Owner		P O BOX 68	LAHAINA HI 96761	
24600691	0	AZIZ SOLIMAN FARAZ	Fee Owner		320 BRANTON CT	PLEASANT HILL CA 94523	
24600690	0	MASUDA SIACY CHYO KAULANI	Fee Owner		162 HIMAUNA ST	MAKAWAO HI 96768	
24600689	0	LUCKEY DAVID JAMES	Fee Owner		134-B SHAW ST	LAHAINA HI 96761	
24600688	0	DAVIS ANITA LELLA TRUST	Fee Owner		138 E SHAW ST	LAHAINA HI 96761	
24600687	0	DAVIS ANITA LELLA TRUST	Fee Owner		1648 OWAWA ST APT A	HONOLULU HI 96819	
24600679	0	CONNELL FAMILY TR	Fee Owner		CONNELL LEWIS	PENN VALLEY CA 95946	
24600657	0	KAM CAROLYN W K	Fee Owner		407 ALIO ST	LAHAINA HI 96761	
24600656	0	ROSS CAROL ANN	Fee Owner		442 ILIKAHIST	LAHAINA HI 96761	
24600655	0	CHRISTENSON DONOR O TRUSTEE	Address		450 ILIKAHIST	LAHAINA HI 96761	
24600654	0	DOAN TU THI	Fee Owner		P O BOX 955	LAHAINA HI 96761	
24600653	0	KANEMITSU LENA N REVOC LIVING TRUST	Fee Owner		DUNCAN CHRISTIAN E/FATIMA	LAHAINA HI 96761	
24600652	0	DUNCAN CHRISTIAN EDWARD	Fee Owner		BONSELL KEVIN R/KELLY M K	LAHAINA HI 96761	
24600651	0	BONSELL KEVIN RICHARD P	Address		486 ILIKAHIST	LAHAINA HI 96761 1149	
24600650	0	SADANG JEMENIA P	Fee Owner		P O BOX 10366	LAHAINA HI 96761	
24600644	0	MILLER JEFFREY L/MELINDA S	Fee Owner		485 ILIKAHIST	LAHAINA HI 96761	
24600643	0	HAYWOOD WILLIAM J	Fee Owner		477 ILIKAHIST	LAHAINA HI 96761	
24600642	0	NAGASAKO RICHARD BARBARA TRS	Fee Owner		469 ILIKAHIST	LAHAINA HI 96761	
24600641	0	DOLAN PHYLLIS LORENA REV LVG TRUST	Fee Owner			LAHAINA HI 96761	
24600640	0	NISHINO TADASHI/ANICETA TR	Fee Owner		459 ILIKAHIST	LAHAINA HI 96761	
24600639	0	MCCASLAND TROY	Fee Owner		2355 ARDATH RD	LA JOLLA CA 92037	
24600638	0	SUZUKI MAMARU M LIVING TRUST	Fee Owner		P O BOX 1267	LAHAINA HI 96761	
24600637	0	OYA OYA LLC	Fee Owner			LAHAINA HI 96761	
24600636	0	SHUE CHARLES DOUGLAS TRUST	Fee Owner		1654 AINAKEA ROAD	LAHAINA HI 96761	
24600635	0	WILLIAMS BRADY ARTHUR	Fee Owner		425 ILIKAHIST	LAHAINA HI 96761	
24600634	0	MILLER BARBARA K	Fee Owner		425 ILIKAHIST	LAHAINA HI 96761	
24600633	0	BARBER JOHN C	Fee Owner		217 KEALA PL	KIHEI HI 96753	
24600632	0	OYA OYA LLC	Fee Owner		C/O SHERRY BOONSTRA-BARBBER	LAHAINA HI 96761	
24600631	0	HALE UKA LLC	Fee Owner		C/O BRANTON THOMAS	LAHAINA HI 96761	
24600630	0	WARRENDAY CARL	Fee Owner		1654 AINAKEA ROAD	LAHAINA HI 96761	
24600629	0	CONRIST FAMILY TR EST	Fee Owner		450 FRONT ST	LAHAINA HI 96761	
24600619	0	BRISLAND FERRIS LTD	Fee Owner		450 FRONT ST	LAHAINA HI 96761	
24600618	0	BROWN LUGRAN K	Fee Owner		1106 KANGA VIEW RD	LAHAINA HI 96761	
24600617	0	HOOBLET HELEN K	Fee Owner		P O BOX 68	LAHAINA HI 96761	
24600616	0	SPREITZ JANIS L LIV TR	Fee Owner			LAHAINA HI 96761	
24600615	0	COBURN JAMES	Fee Owner		478 FRONT ST	LAHAINA HI 96761	
24600614	0	ROVANO JERUSA L ETAL	Address		P O BOX 3214	WAILUKU HI 96793 8214	
24600613	0	LIHARA MAY	Lease		455 FRONT ST	LAHAINA HI 96761	
24600612	0	DEH FREDERICKAH	Fee Owner			LAHAINA HI 96761	
24600611	0	POTTS HELE MARIE	Fee Owner		SANTA TERESA NM 88008 0066	LAHAINA HI 96761	
24600610	0	HALE UKA LLC	Fee Owner		450 FRONT ST	LAHAINA HI 96761	
24600609	0	BRANTON THOMAS R	Fee Owner		450 FRONT ST	LAHAINA HI 96761	
24600608	0	SUZUKI MAMARU M LIVING TRUST	Fee Owner		P O BOX 1267	LAHAINA HI 96761	
24600607	0	MEININGER ANNE TRS	Fee Owner		3627 GRAND VIEW BLVD	LAHAINA HI 96761	
24600606	0	HICKS JOHN D TRUSTEE	Lease		C/O 408 FRONT STREET LLC TRILBY AKI	LAHAINA HI 96761	
24600605	0	MATT BERN 2003 REVOC TRUST	Fee Owner		C/O JOSEPH & JULIE GOLDEN	LAHAINA HI 96761	
24600604	0	GOLDEN TRUST 1999	Fee Owner		C/O JOSEPH & JULIE GOLDEN	LAHAINA HI 96761	
24600603	0	MARSZAL FAMILY 1995 TRUST	Fee Owner		EDWARD R/SUSAN L MARSZAL	LAHAINA HI 96761	
24600602	28	PEREIRA LUIS ALBERTO	Fee Owner		109 SE HARNNEY #14	LAHAINA HI 96761	
24600601	6	CORNELL JANA L TRUST	Fee Owner		1021 MALOTT DR	LAHAINA HI 96761	
24600600	185	DUNN GRACE ADA TR EST	Fee Owner		10360 GOLDEN BEAR WAY	LAHAINA HI 96761	
24600599	45	GOODALL LORI KAY	Lease		10860 GOLDEN BEAR WAY	LAHAINA HI 96761	
24600598	7	MORGAN RICHARD PHILLIP	Fee Owner		106 DECATUR ST	LAHAINA HI 96761	
24600597	31	WRELAN D GEORGE HARRISON III	Fee Owner		105 E KIMBERLEY LN	LAHAINA HI 96761	
24600596	150	GILL JAMES BURTON	Fee Owner		113 PENN BEACH DR	LAHAINA HI 96761	
24600595	126	HEAFY LINDA ANN	Fee Owner		1226 CLOSTER CT	LAHAINA HI 96761	
24600594	153	GRAYBILL JAMES L	Fee Owner		1321 HARVARD ST	LAHAINA HI 96761	
24600593	38	YOUNG FAMILY TRUST	Fee Owner		138 FOR LA MAR CIR	LAHAINA HI 96761	
24600592	174	RICHIE DOUGLASH JR/CATHLEEN B REVOC TR	Fee Owner		1456 OAK CANYON CT	LAHAINA HI 96761	
24600591	16	KEL ADA YOUSSRY JOE	Fee Owner		1460 LA PERLA AVE	LAHAINA HI 96761	
24600590	197	BROWN DAVID RANDALL	Fee Owner		153 NORTH SUNRISE AVE #71	LAHAINA HI 96761	
24600589	171	LASTELIC JOHN EDWARD	Fee Owner		1607 W 2ND ST	LAHAINA HI 96761	
24600588	53	TEICHMAN FAMILY TRUST	Fee Owner		170 CAMILLIE CT	LAHAINA HI 96761	
24600587	143	LEWIS BETHE LOUISE	Fee Owner		1915 BL ACKBRIAR ST	LAHAINA HI 96761	
24600586	140	PENNIMAN RAYMOND L/BONNIE J FAMILY TR	Fee Owner		1930 VILLAGE CENTER CIR APT 5-911	LAHAINA HI 96761	
24600585	159	PENNIMAN RAYMOND L/BONNIE J FAMILY TR	Fee Owner		1949 W KETLEMAN	LAHAINA HI 96761	
24600584	168	BAUER GLENN ALLEN	Fee Owner		2085 ALA WAI BLVD APT 10-4	LAHAINA HI 96761	
24600583	141	HGAN JAMES E TRUST	Fee Owner			HONOLULU HI 96815 2110	

246002007	180	EGAN,JAMES F TRUST	Fee Owner	2085 ALA WAI BLVD APT 10-4	HONOLULU HI 96815
246002007	173	HARRIS,DENNIS EARL	Fee Owner	2100 BUCKEYE TRAIL	HEALSBURG CA 95848
246002007	93	CULLEN,LIVINGS TON JAMES, III	Fee Owner	227 QUIEN ANNE CLUR DR	STEVENSVILLE MD 21666
246002007	90	RECTOR, HOMESTEAD LLC	Fee Owner	23109 PARK CONFESSA	CALABASAS CA 91302 1710
246002007	111	YOUNG, ALFRED JAMES	Fee Owner	24308 116TH AVE W	WOODWAY WA 98020
246002007	129	ALHINO, ANTHONY F & JOANA TR	Fee Owner	2740 RANDALL WAY	HAYWARD CA 94541
246002007	178	NOVOA, JESUS A/ ISABEL TRUST	Fee Owner	2835 ROSEMARY DR	WEST COVINA CA 91791
246002007	156	RICHIE, FAMILY REVOC TRUST	Fee Owner	2855 CARSHAD BLVD 5327	CARLSBAD CA 92008
246002007	157	RICHIE, FAMILY REV TRUST	Fee Owner	2855 CARSHAD BLVD 5327	CARLSBAD CA 92008
246002007	3	STRATTON, CHARLES ELLIWOOD	Fee Owner	2900 HILLCREST DR	CARLSBAD CA 92008
246002007	106	SCHOEN, ROBERT	Fee Owner	3145 TURK ST APT 103	NAPA CA 94558
246002007	70	DAKAMI, RICHARD LLOYD	Fee Owner	3328 JULIAN AVE	SAN FRANCISCO CA 94118
246002007	95	WHALE, CARROLL	Fee Owner	33 RIINA	LONG BEACH CA 90808 4449
246002007	130	WHALE, CARROLL	Fee Owner	332 BLUF CREEK RD	DANA POINT CA 92629
246002007	67	FANSTMAN, ROCKY JAMES, SR	Fee Owner	344 HUNTS POINT RD	WALTA WALLA WA 99662
246002007	123	MCCOMB, MICHAEL THOMAS	Fee Owner	414 HUNTS POINT RD	HUNTS POINT WA 98084
246002007	45	FAEL, HOWARD EDNA FAMILY TRUST	Lease	456 GARDEN AVE	LOS ANGELES CA 90039
246002007	57	OHRE, MICHAEL MCCOY	Fee Owner	512 S EDMUNDS ST	SEATTLE WA 98118 1277
246002007	13	METES, THOMAS PATRICK	Fee Owner	516 MERCATO CT	PLEASANTON CA 94566
246002007	85	METES, THOMAS PATRICK	Fee Owner	529 BELMOUNTAIN RD	PLEASANTON CA 94566
246002007	91	ROMLEY, ALLEN JAVIER	Fee Owner	545 AZURE CIR	CORVALLIS OR 97333
246002007	16	MONER, FAMILY TRUST	Fee Owner	545 AZURE CIR	CORVALLIS OR 97333
246002007	14	HILGERT, MICHAEL	Fee Owner	545 QUINCY AVE APT 4	SULLY CT 06328 90232
246002007	179	VANGUARD VENTURES, RETIREMENT PLAN	Fee Owner	47 DUPRE NORTH TERRACE	IRVINGTON CA 94620
246002007	69	HILL, STEVEN MICHAEL	Fee Owner	475 HIGSON ST APT 408	LAHAINA HI 96761
246002007	8	HERTSKY, LARRY STEPHEN	Fee Owner	48 ASPEN HEIGHTS WAY	INNSBRUCK, ALBERTA
246002007	61	MOYER, MELINDA ANNE	Fee Owner	484 WAINWESS	LAHAINA HI 96761
246002007	80	SNYDER, R FAMILY TRUST	Fee Owner	5195 LA CANADA BLVD	LA CANADA CA 91011
246002007	167	GLIEF, GLENN 2007 TRUST	Fee Owner	558 HELL ST	SAN FRANCISCO CA 94102
246002007	143	MCLEAN, BRUCE MICHAEL	Fee Owner	558 SPIRIT LAKE HWY	CASTLE ROCK WA 98611 9881
246002007	103	PAB, FASCAS MIKE	Fee Owner	664 N MILWAUKEE AVE STE 200	PROSPECT HEIGHTS IL 60070
246002007	176	PAB, FASCAS MIKE	Fee Owner	664 N MILWAUKEE AVE STE 200	PROSPECT HEIGHTS IL 60070
246002007	80	MESERVE, DAVID JOHN TRUST	Fee Owner	7988 DUNN FARMS RD	MAPLE CITY MI 49664
246002007	44	JOHNSON, DOUGLAS ROSS	Fee Owner	806 PARK AVE	MUKITHO WA 98275
246002007	61	PORJEBEK, DAVID JOHN	Fee Owner	8305 ESSEX RD	CHANHASSEEN MN 55317
246002007	46	CURRY, JACK ROBERT	Fee Owner	8656 W PARADISE LN	PHOENIX AZ 85382
246002007	24	FOUR C'S INVESTMENTS	Fee Owner	91 -301 KAUHISI	KAPOLEI HI 96707
246002007	36	CHIU, ANTHONY S K/FLORENCE O	Fee Owner	ANTHONY & FLORENCE CHIU	RICHMOND BC V7E 2Y1
246002007	21	LEEMAN, CHERYL ANN	Fee Owner	AITIN, RICHARD KELLER	11490 BLACKFOOT ST NW
246002007	82	BLAINE, JOHN A & CAROL A LIVING TRUST	Fee Owner	BAUMGARTL, WILLIAM H	COON RAPIDS MN 55433
246002007	40	RUSSAN, RIVER LAND CO INC	Lease	BLAINE, JOHN A & CAROL A TRS	ANTIOCH CA 94509 5829
246002007	175	ASANO, HIDRO	Fee Owner	C/O ARCHER, FRANK	SEATTLE WA 98115 7443
246002007	135	DE LAY, C V TRUST	Fee Owner	C/O BAUMGARTL, WILLIAM	CHICO CA 95928 8845
246002007	102	FLOEG, FAMILY LIVING TRUST	Fee Owner	C/O DE LAY, CLOYD/VIRGINIA CO TRS	ANTIOCH CA 94509 5829
246002007	87	HAMACHER, FAM LIT PARTNERSHIP	Fee Owner	C/O FLOEG, RENE M	ISSAQUAH WA 98029 9232
246002007	196	LOYKO, TRUST	Fee Owner	C/O HAMACHER, FLORENCE	LINCOLN CA 95648 8359
246002007	132	OKAMOTO, ROY K REVOC TRUST	Fee Owner	C/O LOYKO, LEWIS LANE/PHYLLIS ATTERBURY	ANCHORAGE AK 99502
246002007	127	PRANITICH, CAROL LEE	Fee Owner	C/O OKAMOTO, ROY/LINDA K	CARMEL CA 99923
246002007	160	NOVOA, JESUS A/ ISABEL TRUST	Fee Owner	C/O PRANITICH ETAL, CAROL L	LANAI CITY HI 96763 0038
246002007	23	CAMP, DAVID ALAN	Fee Owner	C/O REMAX GOLD 558 REALTORS- C/O M/GLENN BAUER	COLUMBUS OH 43228 1359
246002007	200	PPA LAHAINA SHORES ASSOCIATES LLC	Fee Owner	C/O SPUTEK, JILL/SMITH, VAL	LODI CA 95242
246002007	114	DUZDEVICH, SURVIVORS TRUST	Fee Owner	PPA LAHAINA SHORES ASSOCIATES LLC C/O ALLIANCE TAX ADVISORS	COKATO MN 55321 3606
246002007	57	BAUER, GLENN 2007 TRUST	Fee Owner	GERDA D DUZDEVICH TRS	IRVING TX 75039
246002007	47	GREEN, DAN WILLIAM	Fee Owner	GLENN BAUER, TTEE	WILLITS CA 95190 8511
246002007	101	PAB, FASCAS, MIKE ETAL	Lease	GLENN BAUER, TTEE	SAN FRANCISCO CA 94102 5019
246002007	16	GUMB, ALBERT MELVIN	Fee Owner	800 W 1ST ST APT 3004	SAN FRANCISCO CA 94102
246002007	11	PAB, FASCAS, MIKE ETAL	Lease	339 EMERALD BAY	LOS ANGELES CA 90012 2444
246002007	11	HARRIS, JAMES A III/MARY ANN	Fee Owner	664 N MILWAUKEE AVE SITE 200	LAGUNA BEACH CA 92651 1255
246002007	11	HARRIS, FAMILY TRUST	Fee Owner	HARRIS, PETER L/SUZANNE CO-TRS	PROSPECT HEIGHTS IL 60070 2352
246002007	163	HILLS, STEPHEN NICHOLAS	Fee Owner	HILLS, STEPHEN/WICKY	MEDIA PA 19063
246002007	25	HOWARD, FAMILY TRUST	Fee Owner	HOWARD, GARRETT/MELANIE TRS	WATSONVILLE CA 95076
246002007	189	PEISCH, JUDY B TR	Fee Owner	KARP, FRED TRS	SACRAMENTO CA 95825 3612
246002007	75	LAKEMAN, RICHARD F FAMILY TRUST	Fee Owner	LAKEMAN, RICHARD F/JORY A TRS	SUNNY ISLES BEACH FL 33160 4540
246002007	68	LECHNER, JOHN EDWARD	Fee Owner	LASTHIC, JOEL BEN ANNE	HONOLULU HI 96821 1523
246002007	89	LECHNER, TRUST	Fee Owner	LAKEMAN, RICHARD F/JORY A TRS	PORTLAND OR 97202 6468
246002007	112	MANN, ROSEMARY TRUST	Fee Owner	LAKEMAN, RICHARD F/JORY A TRS	PORTLAND OR 97202 6468
246002007	121	MERKUS, SUSAN TRUST	Fee Owner	LAKEMAN, RICHARD F/JORY A TRS	PORTLAND OR 97202 6468
246002007	198	METES, THOMAS PATRICK	Fee Owner	LAKEMAN, RICHARD F/JORY A TRS	PORTLAND OR 97202 6468
246002007	120	PANG, THERESA WONG	Fee Owner	LAKEMAN, RICHARD F/JORY A TRS	PORTLAND OR 97202 6468
246002007	100	HARVEY, EDWINA MICHAEL	Fee Owner	LAKEMAN, RICHARD F/JORY A TRS	PORTLAND OR 97202 6468
246002007	9	HARVEY, EDWINA MICHAEL	Fee Owner	LAKEMAN, RICHARD F/JORY A TRS	PORTLAND OR 97202 6468
246002007	148	FOXON, EUGEN TRUST	Fee Owner	LAKEMAN, RICHARD F/JORY A TRS	PORTLAND OR 97202 6468
246002007	22	RICHIE, FAMILY TRUST	Fee Owner	LAKEMAN, RICHARD F/JORY A TRS	PORTLAND OR 97202 6468
246002007	72	RICHIE, FAMILY TRUST	Fee Owner	LAKEMAN, RICHARD F/JORY A TRS	PORTLAND OR 97202 6468

246002007	164	KELADA, YOUSRY JOE	Address	ROSEVILLE FAMILY HEALTHCARE	406 SUNRISE AVE #250	ROSEVILLE CA 95661 4106	CANADA
246002007	164	SILVA, THOMAS A TRUST ESTATE	Fee Owner	SILVA THOMAS A/ SOPHIE V TRS	1413 W KIVA AVE	MESA AZ 85202	CANADA
246002007	731	STAGER, ROBERT CHARLES	Fee Owner	STAGER, ROBERT C/ JOHANN E	5406 RICE LAKE RD	DULUTH MN 55803 9407	CANADA
246002007	391	STANSHIELD FAMILY REV INTERVIVOS TR	Fee Owner	STANSHIELD JR, DENNIS W/ LISA M TRS	9 OSFREY PL	PETALUMA CA 94954 5811	CANADA
246002007	81	STANSHIELD FAMILY REV INTERVIVOS TR	Fee Owner	STANSHIELD, DENNIS W JR/ LISA M TRS	9 OSFREY PL	PETALUMA CA 94954 5811	CANADA
246002007	191	TALLMAN FAMILY TRUST	Fee Owner	TALLMAN, CHARLENE A/ WILLIAM B TRS	1019 DORNADO WAY APT 124	SACRAMENTO CA 95825 7980	CANADA
246002007	145	TECHMAN FAMILY TRUST	Fee Owner	TECHMAN, SAM L/ LINDA I TRS	170 CAMELLE COURT	ALAMO CA 94507	CANADA
246002007	170	VANDER STOEP, RONALD DUANE	Address	VANDER STOEP, RONALD/ RITA	14298 CHANNEL DR	LA CONNER WA 98257 4729	CANADA
246002007	123	WIGERT, WILLIAM JR/ SUSAN H TR	Fee Owner	WIGERT, WILLIAM JR/ SUSAN H TRS	PO BOX 687	POINT REYES STATION CA 94956 0687	CANADA
246002007	5	DALLES INVESTMENTS LTD	Fee Owner		#508 - 1001 WEST BROADWAY	VANCOUVER, BC V6H 4B1	CANADA
246002007	90	DUNN, RICHARD CONRY	Fee Owner		1006 BELFORD DR	VANCOUVER, BC V6H 4B1	CANADA
246002007	76	MARK DELMAR	Fee Owner		101-1569 6TH AVENUE	SAN JOSE CA 95132 2901	CANADA
246002007	165	JACKI, VERNON JAMES	Fee Owner		1077 FAIRBROOK CT	PRINCE GEORGE, BC V2L 3N4	CANADA
246002007	195	JAYLOR, DONALD FRANK	Fee Owner		1080 CAROL LN STE 200	LAFAYETTE CA 94549 4762	CANADA
246002007	151	WERNIMONT TRUST	Fee Owner		112 SIMMONS DR	BRENTWOOD CA 94533 4601	CANADA
246002007	63	GILL, JAMES BURTON	Fee Owner		11522 MORNING SPRING CT	CUPPELL TX 75019 3303	CANADA
246002007	52	ANDREYEV, PETER	Fee Owner		1185 RUTH DR	SEATTLE WA 98125 5953	CANADA
246002007	188	ANDREYEV, PETER	Fee Owner		1185 RUTH DR	SEATTLE WA 98125 5953	CANADA
246002007	184	MOJZER, TIM/ SANDRA	Address		11940 LAKESIDE PL NE	SEATTLE WA 98178 3728	CANADA
246002007	184	WHEEL, KEITH WILLIAM	Fee Owner		1440 FRONT ST	LAHAINA HI 96761 4131	CANADA
246002007	193	WESLEY, DOUGLAS ROBERT, JR	Fee Owner		1488 S TERRA AVE	LONG BEACH CA 90803 4131	CANADA
246002007	97	SCHONEN, DOUGLAS RUSSELL	Fee Owner		1488 S TERRA AVE	LONG BEACH CA 90803 4131	CANADA
246002007	153	KAGOCAWA, ROBERT M TRUST	Fee Owner		1498 S 1ST NW	CALGARY AB T2M 0A2	CANADA
246002007	181	CAMP, DAVID ALAN	Fee Owner		1538 KOLAQ MAI DR	FRASER CITY HI 96782 1467	CANADA
246002007	117	HUKAW, AGORGE KAZLO	Fee Owner		1691 NIAGARA AVE NW	COQUITAN BC V3C 3K6	CANADA
246002007	150	SAMLA, WENCTI TRUST	Fee Owner		17555 RAH ROAD AVE	SONOMA CA 95476 3724	CANADA
246002007	49	HAYDEN, JOHN T	Fee Owner		1808 HOCHULU ST	SEABY CITY HI 96782 1815	CANADA
246002007	48	HAYDEN, JOHN TERRELL	Fee Owner		1849 CHDAR ST APT A	SEABY CITY HI 96782 1815	CANADA
246002007	155	RUBEN, BEATRIX MARIA	Address		2030 BELLEVUE AVE APT #2004	BERKELEY CA 94703 1141	CANADA
246002007	41	HARE, JAMES ALOYSIUS III	Fee Owner		21 W KNOWLTON RD	W VANCOUVER BC V7V 1R8	CANADA
246002007	194	BELLEVUE, KEITH CHARLES	Fee Owner		2140 ANTIQUA LN	MEHA PA 19063 5441	CANADA
246002007	55	SCHARFF, CHARLES JR/ LINDA	Fee Owner		2236 CLEARLAKE DR	HUNTINGTON BEACH CA 92646 7014	CANADA
246002007	147	CLARKSON, PETER LUCIAN	Address		2278 WESTWOOD DR	SANTA MARIA CA 93455 5747	CANADA
246002007	169	BRONIMUS, KENNETH ALBERT	Lease		2401 BLESS CIRCLE	CAMARILLO CA 93010 2139	CANADA
246002007	63	HESSE, JR, WENDY MAUREEN	Fee Owner		25325 LONE PEAK TRL	OCEANSIDE CA 92036 3596	CANADA
246002007	29	JOHNSON, CAROLE ANN	Fee Owner		26230 26TH AVE NW	EVERGREEN CO 80439 5503	CANADA
246002007	146	EVANS, KATHLEEN SANDERS	Fee Owner		29 WARE ST FORSTER	STANWOOD WA 98292	CANADA
246002007	104	DE, CHRISTINE	Fee Owner		294 ST ANDREWS DR	N-SW, AUSTRALIA 2428	CANADA
246002007	119	WALSH, ROBERT M FAMILY TR	Fee Owner		304 YALE AVE	NAPA CA 94558 1548	CANADA
246002007	135	MEHR, ROGER JOSEPH	Fee Owner		3044 61ST AVE SW	CLAREMONT CA 91711 4727	CANADA
246002007	58	MEHR, ROGER JOSEPH	Fee Owner		3117 HUMBOLDT AVE S	SEATTLE WA 98116 2811	CANADA
246002007	74	RYANGREGORY, MICHAEL	Fee Owner		3117 HUMBOLDT AVE S	MINNEAPOLIS MN 55408 2559	CANADA
246002007	124	FUJIDONALD T	Fee Owner		3131 WEST 27TH AVE	MINNEAPOLIS MN 55408 2559	CANADA
246002007	136	WEHR, WILLIAM J & NANCY J TR	Fee Owner		326 ALANI PL	VANCOUVER, BC V6L 1W6	CANADA
246002007	96	LANDRETH, DONALD L/ LAURA B TR	Fee Owner		3279 WASHINGTON ST	WAILUKU HI 96793 1101	CANADA
246002007	109	LANDRETH, DONALD L/ LAURA B TR	Fee Owner		3280 ADAMS ST	ALAMEDA CA 94501 5567	CANADA
246002007	98	HALL, MARGORIE E	Address		3280 ADAMS ST	ALAMEDA CA 94501 5556	CANADA
246002007	83	AUGREGORY, YUN LAI	Fee Owner		37 DOBSON DR	ALAMEDA CA 94501 5556	CANADA
246002007	65	LOVE-WORKMAN, ADRIENNE MARIE	Fee Owner		3764 W 244TH ST	TORRANCE CA 90505 6547	CANADA
246002007	51	LUFF, PETER FURNESS	Fee Owner		3871 TWIN ELAM RD	LAHAINA HI 96761 8974	CANADA
246002007	177	BLUMENTHAL, VALUHN PAUL	Fee Owner		3951 LONGBRIDGE AVE	RICHMOND ON K0A 2Z0	CANADA
246002007	32	GRANT, CONSTANCE FLOUISE	Fee Owner		41 LA JOLLA CT	SHERMAN OAKS CA 91423	CANADA
246002007	56	BELLEVUE, MARVIN LEE	Fee Owner		4113 SCOTT ST	BELLEVUE WA 98004	CANADA
246002007	191	SPJANI, FRANK FREDMAN JR	Address		435 KAI HOLE KUI ST	DANVILLE CA 94526 1539	CANADA
246002007	92	CAWLEY, RICHARD THOMAS TR	Address		4409 EDMONDSON AVE	TORRANCE CA 90503 5449	CANADA
246002007	35	BRITCHICK, JOHN M/ DAISEY M	Address		46-259 KAPEA ST	LAHAINA HI 96761 5705	CANADA
246002007	17	DRISCOLL, ALLEN	Address		46-335 KIRIKI ST	DALLAS TX 75205 2603	CANADA
246002007	20	FRELAND, GEORGE A ET AL	Address		475 FRONT ST #222	KANE OHE HI 96744 3615	CANADA
246002007	15	ROTHMANN, LAWRENCE TRUST	Address		475 FRONT ST #202	LAHAINA HI 96761 1114	CANADA
246002007	34	SNEED, PHILIP RAUPH	Address		49 LEALEA PL	LAHAINA HI 96761	CANADA
246002007	18	MULLER, GERALD ALBERT	Address		49 LEALEA PL	LAHAINA HI 96761	CANADA
246002007	158	FORBES, LARRY LIVING TRUST	Fee Owner		4955 S MAIN ST SITE 114	LAHAINA HI 96761 8333	CANADA
246002007	88	HOWLAND, MARY RUTH	Fee Owner		508 CHD PLACE	LAHAINA HI 96761 8333	CANADA
246002007	161	CARPENTER, MARIAN EL	Fee Owner		515 WALLER ST	SAN FRANCISCO CA 94117 3331	CANADA
246002007	71	BAUER, GLENN 2007 TRUST	Fee Owner		523-4055 CLOSE	WINSTON, ALBERTA T4G 1G5	CANADA
246002007	149	BAUER, GLENN 2007 TRUST	Fee Owner		529 HAYES BLUFF LN	VANCOUVER WA 98275 0689	CANADA
246002007	50	MORROWITZ, LUCILLE S 2004 TRUST	Fee Owner		547 BRUCE AVE	ALAMO CA 94506 2492	CANADA





246002007	107	JENSEN,LOLITA TABANGCURA	Fee Owner						
246002007	108	BIENENFELD,M & F L TRS	Fee Owner						
246002007	111	YOUNG,DIXIE CORALIN	Fee Owner						
246002007	113	BEAULIEU,TERRI LISA	Fee Owner						
246002007	114	DUZEVICH,HYPASS TRUST	Fee Owner						
246002007	115	SPANN,SUSAN KAY	Fee Owner						
246002007	116	FOX,SANDRA R TRUST	Fee Owner						
246002007	118	LASTELIC,JOLEEN ANNE	Fee Owner						
246002007	120	LANG,CYNTHIA ROBERTA	Fee Owner						
246002007	121	MERAB,JIYA J TRUST	Fee Owner						
246002007	123	MCCOMBS,WILMA ELVIRA	Fee Owner						
246002007	124	FUJII,CAROLINE M	Fee Owner						
246002007	125	ENGELHARDT,NANCY S	Lease						
246002007	125	ENGELHARDT,NANCY S TRUST	Fee Owner						
246002007	126	FREDBERG,SHANNON LOUISE	Fee Owner						
246002007	126	HERCKEL,MAUREEN LYNN	Fee Owner						
246002007	128	HEAFY,DAVID	Fee Owner						
246002007	127	MARTIN,JANE LOUISE	Fee Owner						
246002007	131	LORENZ,FAMILY TRUST	Fee Owner						
246002007	131	LORENZ,RAYMOND J	Lease						
246002007	131	LORENZ,TIMOTHY C	Lease						
246002007	132	ADAMS,ANNA LEE	Fee Owner						
246002007	133	DE LA VIGORNA,PAUL	Fee Owner						
246002007	133	DE LA VIGORNA,S	Lease						
246002007	134	SILVA,SORHEE V TRUST ESTATE	Fee Owner						
246002007	135	MEHR,CAROLYN POORE	Fee Owner						
246002007	140	HEIT,KIMBERLY MARGARET BLINCE	Fee Owner						
246002007	147	CLARKSON,KATHA GROSSLUCK	Fee Owner						
246002007	147	CLARKSON,MICHAEL REEVE	Lease						
246002007	147	CLARKSON,NILDA	Lease						
246002007	147	MEDUSKY & CO, INC. PROFIT SHARING PLAN	Lease						
246002007	153	GRAYBILL,JANNE C	Fee Owner						
246002007	157	RICHIE,FAMILY REV TRUST	Fee Owner						
246002007	158	LAKEMAN,JORY A FAMILY TRUST	Fee Owner						
246002007	160	MEDUSKY & CO INC PROFIT SHA	Fee Owner						
246002007	162	HILLS,VICKY LYNN	Fee Owner						
246002007	163	JACKL,RONNI	Fee Owner						
246002007	166	GUMB,ALBERT MARIORIE TRUST	Fee Owner						
246002007	166	GUMB,MARIORIE LOUISE	Lease						
246002007	168	BAUER,WILMA MAGDALENA CAROLINA	Fee Owner						
246002007	169	IRONMILLS,JUDY ROBINSON	Fee Owner						
246002007	170	V ANDER STOEP,RIITA JOYCE	Fee Owner						
246002007	170	V ANDER STOEP,RONALD DUANE	Fee Owner						
246002007	171	LASTELIC,JOLEEN ANNE	Fee Owner						
246002007	172	SC HARRF,C WM TRUST	Fee Owner						
246002007	172	SC HARRF,DORIS E TRUST	Fee Owner						
246002007	172	SC HARRF,LINDA ANN	Fee Owner						
246002007	173	HARRIS,BONNIE LEIGH	Fee Owner						
246002007	176	PABLECAS,GAIL	Fee Owner						
246002007	176	PABLECAS,MARINA	Fee Owner						
246002007	177	BLUMENTHAL,CATHERINE MAE	Fee Owner						
246002007	177	BLUMENTHAL,CATHIE LEE	Fee Owner						
246002007	177	BLUMENTHAL,RICHARD WILLIAM	Fee Owner						
246002007	178	MEDUSKY & CO INC PROFIT SHA	Fee Owner						
246002007	181	CAMP,CATHERINE ANNE	Fee Owner						
246002007	183	MEDUSKY & CO INC PROFIT SHA	Fee Owner						
246002007	184	WEIGEL,PENNY JEAN	Fee Owner						
246002007	185	DUNN,BRENNA MARIA	Fee Owner						
246002007	185	DUNN,CORBIN ROBERT	Fee Owner						
246002007	185	DUNN,STANLEY TRUST	Fee Owner						
246002007	186	STEWART,BURTON,CAROL C	Fee Owner						
246002007	186	STEWART,BURTON,NOEL C	Fee Owner						
246002007	187	MOYZER,SANDRA ADAMS	Fee Owner						
246002007	187	MOYZER,TIM	Fee Owner						
246002007	188	SILLOCK,TRACY E	Fee Owner						
246002007	191	SPANN,SUSAN KAY	Fee Owner						
246002007	192	JACKSON,NANCY TORRAINE	Fee Owner						
246002007	194	BELLET,LAURA LEE	Fee Owner						
246002007	195	LYNCH,DOROTHY KATHERINE	Fee Owner						
246002007	196	MCNEIL,VALENTINE BERKI	Fee Owner						
246002007	198	MCNEIL,CATHERINE	Fee Owner						
246002007	198	COOK,ILZABETH	Fee Owner						
246002007	198	HINTON,FRANZIS	Fee Owner						
246002001	0	LAHAINA RESTORATION FOUNDIN	Fee Owner						



## **4. Final Environmental Assessment**



# FINAL ENVIRONMENTAL ASSESSMENT

FOR

# FEDELE RESIDENCE IMPROVEMENTS

*Prepared for:*

Mr. Joseph Fedele  
455 Front Street  
Lahaina, Hawaii

*Prepared by:*

Chris Hart & Partners, Inc.  
1955 Main Street, Suite 200  
Wailuku, Hawaii  
808.242.1955



February 2012



## EXECUTIVE SUMMARY

<i>Project Name:</i>	Fedele Residence Improvements
<i>Type of Document:</i>	Final Environmental Assessment
<i>Applicable Chapter 343 Review "Trigger":</i>	Use of a historic site or district
<i>Approving Agency:</i>	Maui County Planning Department
<i>Agency Determination:</i>	Anticipated FONSI
<i>Applicant:</i>	Mr. Joseph Fedele (808.667.6767)
<i>Consultant:</i>	Chris Hart & Partners, Inc. Contact: Mr. Jordan E. Hart (808.242.1955)
<i>Property:</i>	455 Front Street, Lahaina, Maui TMK (2) 4-6-002:006
<i>Project Summary:</i>	<p>The Applicant proposes additions to the existing residence located at 455 Front Street. The project involves an approximately 3,000 square foot addition to the house as well as accessory structures such as a swimming pool and pool deck.</p> <p>The project site is located within the Lahaina National Historic Landmark District, although the house itself is not an historic structure. In addition, the project site is located within the County of Maui's Special Management Area (SMA) so that SMA review and approval by the Maui Planning Department will be required. No work is proposed within the Shoreline Setback.</p>
<i>Anticipated Impacts:</i>	There are no long-term impacts associated with the proposed project. Short-term impacts are associated with construction-related activities, and include noise and air impacts from construction vehicles.

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**APPENDICES**

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Appendix B	Monitoring Plan Approval Letter
Appendix C	Cultural Impact Assessment Report
Appendix D	Preliminary Engineering Report
Appendix E	Early Consultation
Appendix F	Agency Comment Letters
Appendix G	Replies to Agency Comment Letters

# **I. PROJECT OVERVIEW**

## **A. Property Location**

The subject property is located at 455 Front Street, Lahaina Maui. See: Figure 1, “Regional Location Map”. The property is further identified by Tax Map Key (2) 4-6-002:006. See: Figure 2, “Tax Map”. The parcel is located on the *makai* (west) side of Front Street, between Shaw Street and Kauaula Street, and is surrounded by other developed residential properties.

The subject property is situated within an urbanized residential district south of the Lahaina commercial district.

## **B. Existing Land Use**

The property is in single-family residential use. The property is improved with a 2,587 square foot main residence, along with a detached garage and 672 square foot accessory dwelling. See: Figure 3, “Aerial Photograph” and Figures 4a-c, “Site Photographs”. The main residence was originally constructed in 1965, but was effectively rebuilt in 1977. All structures are located outside of the shoreline setback. See: “Shoreline Survey”.

## **C. Land Ownership and Project Applicant**

The subject property is owned by Mr. Joseph Fedele, in fee simple. The land owner is the applicant for the project.

## **D. Proposed Action**

The applicant proposes removing the northern portion of the main residence and creating an approximately 3,000 square foot addition, as well as accessory structures such as a swimming pool and a pool deck. See: Appendix A, “Project Plans”. All additions will be located outside of the shoreline setback.

In reply to comments by the County of Maui Department of Public Works dated September 26, 2011 (See: Appendix F & G, "Agency Comment Letters" & "Replies to Agency Comments"):

- Following the completion and acceptance of a Final Environmental Assessment (FEA) Finding of No Significant Impact (FONSI) and Special Management Area Exemption (SMX) for the above referenced applications, and the issuance of Building Permits for T2010/0520 & T2010/0521; during and following the completion of the construction process, the Applicant's representative will contact the Building Inspector's Office to complete all required inspections.
- The Applicant will cooperate with the Department of Planning and the Department of Public Works if additional actions are required for the trellis next to the main dwelling prior to its demolition.
- The Applicant will take action to resolve any outstanding issues relating to the accessory dwelling's trellis at the direction of the Department of Planning and the Department of Public Works. Potential options for resolution include, providing records of proper Permits, obtaining an After-The-Fact Permit as part of the proposed renovation scope, or removal of the structure completely.
- The approximately 82 Square Foot BBQ would not normally require a building permit to install. Because a BBQ is customary and appurtenant to the principal residential use, it is the encroachment into the side yard setback can be acceptable, pursuant to a MEMO to the Department of Planning, dated May 19, 2006 relating to Structures in the Building Setback Area.



**Project Site**

Honoapiilani Highway  
Waimee Street

Kamunui Road

Front Street

Malu Ulu O  
Lele Park

Kamehameha  
Ike Park

Lahaina  
Shores



**Figure 1**  
Regional Location  
**Fedele Residence**  
**Improvements**







**Figure 3**  
Aerial Photograph  
**Fedele Residence  
Improvements**

Pacific  
Ocean

Area of Main Dwelling Addition



**Figure 4b**

Site Photograph

**Fedele Residence  
Improvements**



Approx. 6 ft

Front Street



**Figure 4a**  
Site Photograph



**Fedele Residence  
Improvements**

Area of Main Dwelling Addition

Area of New Swimming Pool



**Figure 4c**

Site Photograph

**Fedele Residence  
Improvements**



## **E. Alternatives**

### **1. No Action**

The “No Action” alternative would leave the main residence at its current size and without the swimming pool and deck. As the addition is a reasonable, permissible, and desirable use of the applicant’s property without substantial environmental impacts, this is not a preferred alternative.

### **2. Deferred Action**

The “Deferred Action” alternative would have similar results to the “No Action” alternative. There are no potential impacts from the proposed action which would be mitigated or materially altered by deferring the action. Therefore, this alternative is similarly undesirable.

### **3. Alternate Action**

The “Alternate Action” option would involve alternate plans, such as greater or lesser expansion of the main residence or alternate siting of the expansion. Since the proposed action has no substantive environmental impacts and has been deemed both the most aesthetically pleasing and most practicable, no alternate actions are preferred.

## **F. Entitlements and Approvals**

### **1. Environmental Assessment**

The proposed project is required to undergo review pursuant to Chapter 343, Hawaii Revised Statutes (HRS), as the project site is located within the Lahaina National Historic Landmark District, a property on the National Register of Historic Places. It is important to clarify that the subject property itself is not an historic site and the project does not involve buildings or structures known to be over 50 years old.

2. **Special Management Area**

The subject property is located within the County of Maui's Special Management Area (SMA) and is subject to review and approval pursuant to Chapter 205A, Hawaii Revised Statutes, "Coastal Zone Management". This means that project implementation will require completion of the SMA Assessment process, with an anticipated determination that the Project is "Exempt" from SMA permit requirement.

3. **Building Permits**

The proposed project will require building permits from the County of Maui, Development Services Administration.

## II. AFFECTED ENVIRONMENT, POTENTIAL IMPACTS AND MITIGATION MEASURES

### A. Physical Environment

#### 1. Surrounding Land Uses

*Existing Conditions.* Front Street, in the area of the project site, has been in residential use even prior to Annexation. The property lies within historic Lahaina Town, an urbanized community containing regional commercial services; major civic facilities and spaces; tourist-oriented hotels, attractions, and services; and both multi- and single-family residential neighborhoods. Lahaina Town's significant features, such as historic character, compact small-town scale, and vitality, are embodied in the Front Street environs.

County Zoning designations in the vicinity of the project site are R-2 and R-3 Residential. The West Maui Community Plan designation is Single-Family Residential. State Land Use designation is Urban.

The property is further located within the confines of the Lahaina National Historic Landmark district, though none of the structures to be impacted are considered historic.

*Potential Impacts and Mitigation Measures.* The proposed improvements are not anticipated to impact the character of the surrounding land uses.

#### 2. Topography and Soils

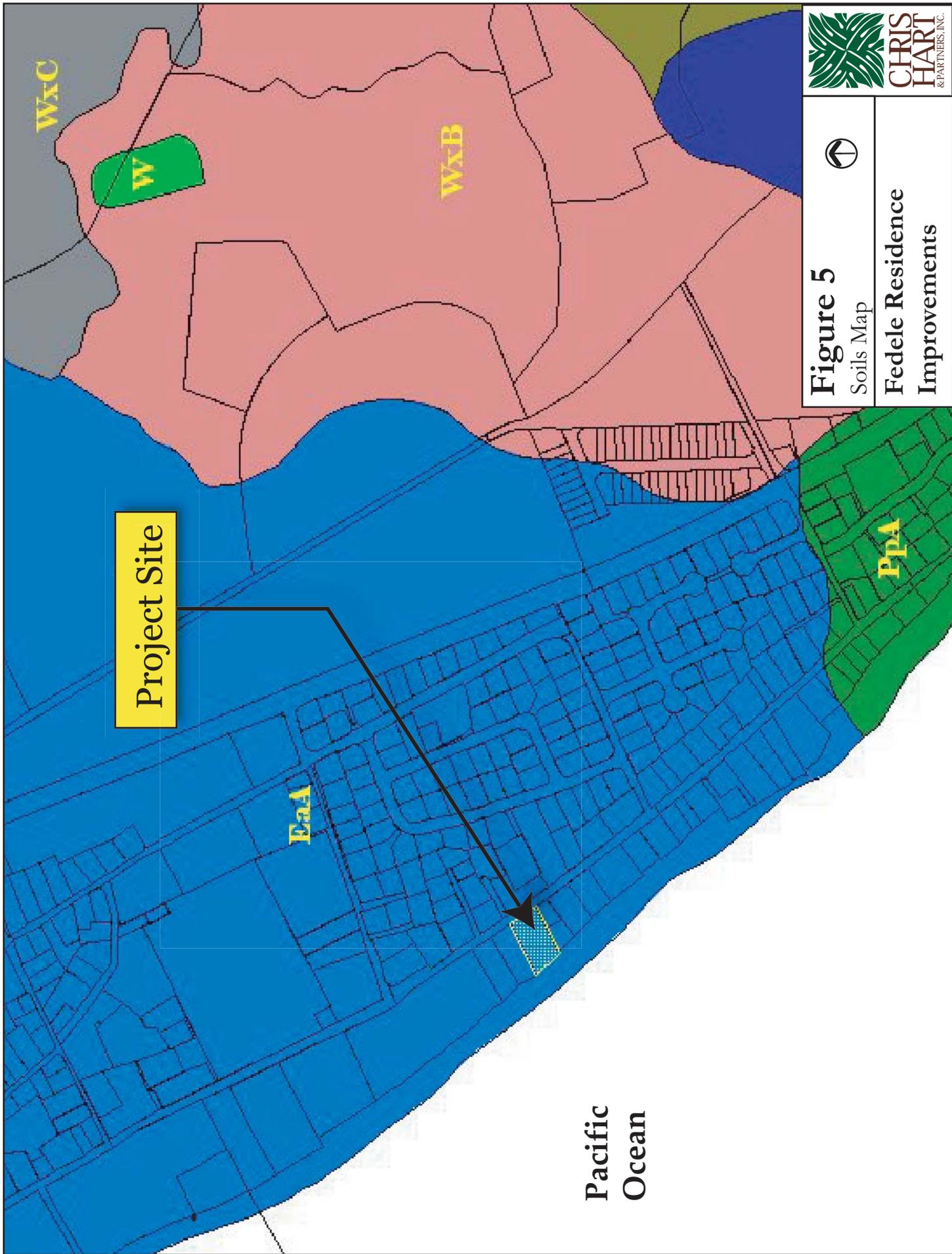
*Existing Conditions.* The project site is generally level, lying near to the shoreline and having been previously graded for the construction of the existing structures. Soils lying within the project site are classified as Ewa silty clay loam (EaA). See: Figure 5, Soils Map. EaA soils are found in zero (0) to three (3) percent slopes, with moderate permeability, and very slow runoff.



**Figure 5**

Soils Map

**Fedele Residence  
Improvements**



*Potential Impacts and Mitigation Measures.* The project site is suitable for the proposed action, having been previously developed for residential purposes.

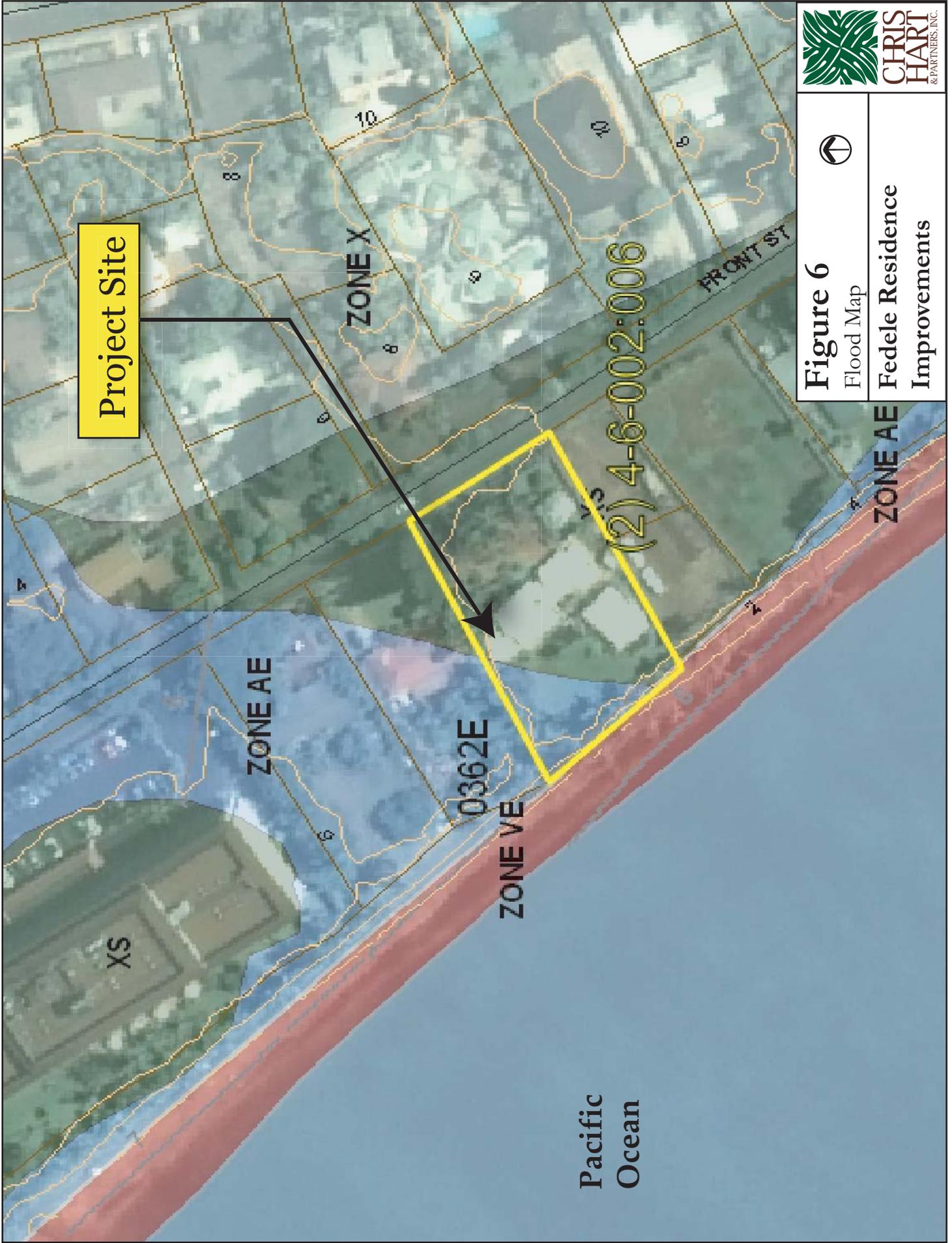
### 3. **Flood and Tsunami Zones**

*Existing Conditions.* The subject property is located within various Flood Zones as defined by FEMA Flood Maps. See: Figure 6, "Flood Map". The majority of the site is situated in Flood Zone XS, an area within the 0.2% annual chance flood or of 1% annual chance flood with depths less than 1 foot, with no base flood elevations are determined. The addition to the residence is located within this Flood Zone.

The northerly, *makai* portion of the property is located within Flood Zone AE, an area of Special Flood Hazard Area that is subject to flooding by the 1% (100 year) annual chance flood with a base flood elevation of 7 feet. A small portion of the property lies within Flood Zone VE, an area of coastal flooding with velocity hazard (wave action) and a base flood elevation of 8 feet.

The site is also located within a Tsunami Evacuation area. See: See Figure 7, "Tsunami Evacuation Areas".

*Potential Impacts and Mitigation Measures.* All work will comply with applicable flood zone standards, such as set forth in Chapter 19.62, "Flood Hazard Areas", Maui County Code. The proposed improvements are not anticipated to impact the neighboring properties with regard to flood hazard potential. The portion of the addition within Flood Zone AE will be raised to a finish floor elevation of 8.15 feet above mean sea level. The proposed finish floor elevation of a minimum of a foot above the base flood elevation meets the County's flood requirements.



**Figure 6**  
 Flood Map  
 Fedele Residence  
 Improvements

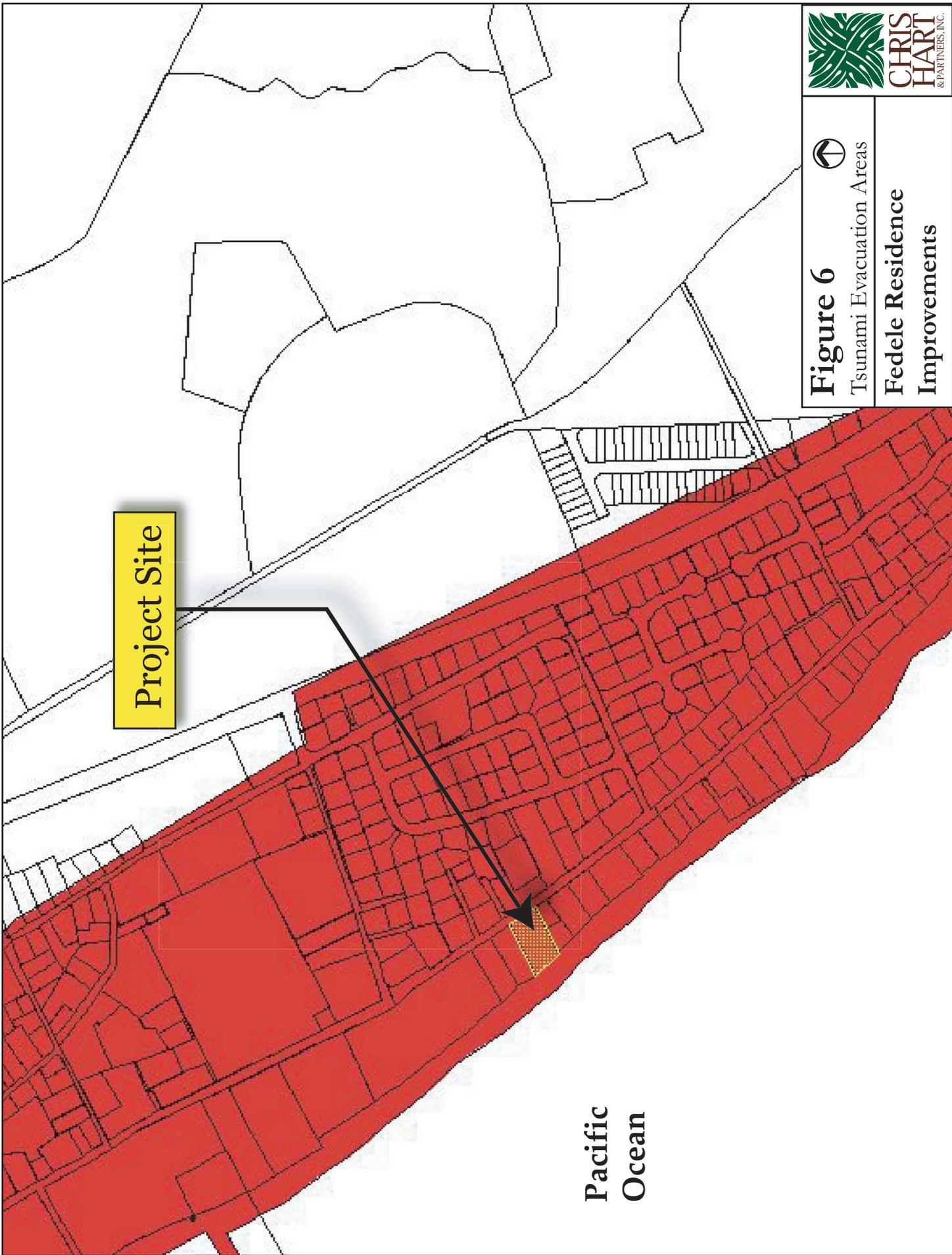


**Figure 6**  
Tsunami Evacuation Areas

**Fedele Residence  
Improvements**

**Project Site**

**Pacific  
Ocean**



#### 4. **Flora and Fauna**

*Existing Conditions.* The project site is an extensively disturbed area of long-term residential use. Onsite flora consists of minimal landscaping. Onsite fauna include rats, mice, mongoose, francolins, and mynah.

*Potential Impacts and Mitigation Measures.* There are no known habitats of rare, endangered, or threatened species of flora or fauna located on the subject property. Project implementation is not expected to result in any adverse impacts to flora or fauna.

#### 5. **Air and Noise Quality**

*Existing Conditions.* Air quality in the West Maui is considered relatively good. There are no point sources of air-borne emissions within proximity to the subject property. Non-point source emissions, such as automotive traffic from nearby roadways, are not significant enough to generate high concentrations of pollutants. The region's exposure to winds, which disperse pollutants, also helps maintain air quality.

Noise quality is affected primarily by traffic from the adjacent Front Street, with other area roadways also contributing ambient noise. The project site is situated in an area of single-family residential use, with retail uses in the immediate vicinity. Noise quality is relatively good.

*Potential Impacts and Mitigation Measures.* Demolition-related activities will result in short-term impacts to air and noise quality. Best Management Practices (BMPs) will help to mitigate such impacts. Adequate dust control measures, in compliance with Section 11-60-1-33, "Fugitive Dust", of the Hawaii Administrative Rules will be implemented during all phases of construction. Demolition-activities will be limited to normal daylight hours in order to limit noise impacts and adhere to the Department of Health's noise regulations for construction equipment.

Project implementation is not anticipated to result in substantive impacts to air or noise quality in the long-term.

In reply to comments by the State of Hawaii Department of Health dated September 26, 2011 (See: Appendix F & G, "Agency Comment Letters" & "Replies to Agency Comments"):

- The Applicant will contact the Clean Water Branch during the building plan review and approval process to determine if an NPDES permit is required for the work proposed in the above referenced Applications.
- If required, a noise permit will be obtained prior to the commencement of work.

## 6. **Historical and Archaeological Resources**

*Existing Conditions.* The property is located in an area know to be comparatively rich with archaeological resources and human burials. The Lahaina National Landmark Historic District is an area which was prized by the Hawaiian monarchy and also developed by Westerners post-contact.

*Potential Impacts and Mitigation Measures.* The project archaeological consultants coordinated with the State Historic Preservation Division (SHPD) regarding the proposed project. SHPD recommended that an inventory survey was not required, but archaeological monitoring during construction activities would be required. A monitoring plan was therefore prepared and submitted to SHPD for review and approval. See: Appendix B, "Monitoring Plan Approval". Work will be performed as specified in that plan.

## 7. **Cultural Impact Assessment**

*Existing Conditions.* A Cultural Impact Assessment (CIA) Report was prepared for the project. See: Appendix C, "Cultural Impact

Assessment Report". This report notes the rich cultural legacy of Lahaina, including *heiau*, fishing *ko'a* (shrines), and the portions of the ancient *Alanui* ("King's Trail") built by Kihapi'ilani.

Individuals contacted for the CIA were unaware of any traditional or cultural resources located within the subject property.

***Potential Impacts and Mitigation Measures.*** Based on the lack of any identified cultural or traditional practices or resources on the property, no cultural impacts are anticipated to result from the proposed improvements.

## 8. **Visual Resources**

***Existing Conditions.*** The subject property is located along the *makai* (western) portion of Front Street within a residential area of Lahaina Town. Notable visual resources in Lahaina include the Pacific Ocean to the west and the West Maui Mountains to the east. Numerous resources are identified and detailed in the *Maui Scenic Coastal Resources Study* (August 1990). The *Maui Scenic Coastal Resources Study* does not identify any unique scenic resources along Front Street in the project vicinity.

Public views of these resources exist in various locations from Honoapiilani Highway and Front Street. *Mauka* and *makai* views along Front Street are limited in the vicinity of the property due to development and vegetation on neighboring properties.

***Potential Impacts and Mitigation Measures.*** The property is fronted by an approximately 6 foot high, stone wall all along Front Street, which effectively eliminates any scenic view corridors from that roadway. Refer: Figure 4a, "Site Photograph". The addition to the main residence is planned for an area already occupied by the northern wing of the house as far as views to and from the shoreline are concerned. Refer: Figure 4b, "Site Photograph". Finally, the swimming pool and deck are located outside of the shoreline

setback and do not impede lateral views along the shoreline. Refer: Figure 4c, "Site Photograph".

The proposed improvements will not adversely impact public views to or along the shoreline or otherwise affect scenic resources.

## 9. **Agricultural Resources**

*Existing Conditions.* In 1977, the State Department of Agriculture developed a classification system to identify Agricultural Lands of Importance to the State of Hawaii (ALISH). The classification system is based primarily, though not exclusively, upon the soil characteristics of the lands. The three (3) classes of ALISH lands are: "Prime", "Unique", and "Other", with all remaining lands termed "Unclassified". When utilized with modern farming methods, "Prime" agricultural lands have a soil quality, growing season, and moisture supply necessary to produce sustained crop yields economically. "Unique" agricultural lands possess a combination of soil quality, growing season, and moisture supply to produce sustained high yields of a specific crop. "Other" agricultural lands include those that have not been rated as "Prime" or "Unique".

The University of Hawaii, Land Study Bureau (LSB), developed the Overall Productivity Rating, which classifies soils according to five (5) levels, ranging from "A", representing the class of highest productivity soils, to "E", representing the lowest.

The subject property is comprised of lands that have not been classified by either the ALISH or LSB schemes. The subject property and Lahaina Town in general have been in long-term urban use.

*Potential Impacts and Mitigation Measures.* There are no impacts to agricultural resources from the proposed project.

## **B. Socio-Economic Environment**

*Existing Conditions.* Maui County experienced strong population growth during the past three (3) decades. The resident population virtually doubled from 74,000 in 1981 to 143,691 in 2008. Population growth is expected to continue with the year 2020 resident population projected at 229,700.

Tourism and agriculture are the predominate components of Maui County's economy. Maui County hosted 2,207,826 visitors in the year 2004 and hotels experienced a 78.69 percent occupancy rate. In Central Maui, economic activity centers on sales and service industries, including air and water transportation, as well as the various branches of state and county government. Large-scale mono-crop agriculture, including sugar, pineapple, and cattle ranching, have been the County's dominant agricultural land use and generate the majority of agricultural revenues.

*Potential Impacts and Mitigation Measures.* The proposed improvements are not a population generator and have no impacts to the population. There are no anticipated impacts to the economy of Maui in general or Lahaina in particular from the proposed improvements.

## **C. Public Services**

### **1. Recreational Facilities.**

*Existing Conditions.* Public recreation in West Maui is available in the ocean, reached through beach areas such as Ka'anapali and State and County beach parks. Also, Maui County provides recreational facilities at the Lahaina Civic Center (gymnasium, tennis courts) and sports fields in Lahaina. The County operates some 130 parks and recreational facilities on Maui, Molokai and Lanai.

*Potential Impacts and Mitigation Measures.* The proposed demolition is not anticipated to impact demand upon recreational facilities.

## **2. Medical Facilities**

*Existing Conditions.* Maui Memorial Medical Center, located in Wailuku, is the island's only acute care hospital. It is an approximately 231 bed hospital. Various private medical offices and facilities are also located in the Lahaina area.

*Potential Impacts and Mitigation Measures.* The proposed demolition is not anticipated to impact demand upon recreational facilities.

## **3. Police and Fire Protection Services**

*Existing Conditions.* The Maui Police Department has a station at the Lahaina Civic Center, about a mile from the project site. Approximately 40 officers are assigned to cover the entire West Maui area.

The Department of Fire Control, County of Maui maintains a station at the Lahaina Civic Center, about a mile from the project site. The Lahaina Station and Napili Station together serve the entire West Maui area, with two engines and a ladder truck.

*Potential Impacts and Mitigation Measures.* The proposed demolition is not anticipated to impact demand upon emergency services nor increase service areas.

## **4. Schools**

*Existing Conditions.* Schooling on Maui is provided by the Hawaii State Department of Education and private schools. In the Lahaina District, public schools are located in Lahaina: King Kamehameha

III and Princess Nahienaena Elementary Schools (through grade five), Lahaina Intermediate (grades six through eight) and Lahainaluna School (grades nine through twelve). Lahainaluna is the only public high school that can take boarders. These DOE schools are, according to current School Status and Improvement Reports, achieving satisfactory results, with enrollment slightly lessened from that of previous years. In sum, while facilities improvements are probably desirable, they are not critical for the core work of instruction at these schools.

Private schools in the district consist of Sacred Hearts School in Lahaina (grades K through twelve) and preschools. The Kamehameha Schools' Maui Campus is located outside the district, in Upcountry Maui, but draws students from all parts of Maui. The Maui Preparatory Academy has recently opened to serve grades 6 through 8, with plans to expand into elementary and high school classes in the coming years. School sites have been included in the plans for large proposed housing areas, and these schools would likely be built in response to new demand as the number of residents increases.

***Potential Impacts and Mitigation Measures.*** The proposed demolition will not increase demand upon or otherwise impact educational facilities.

In reply to comments by the State of Hawaii Department of Health dated September 13, 2011 (See: Appendix F & G, "Agency Comment Letters" & "Replies to Agency Comments"):

- If construction is to require the temporary closing of roads, the applicant will notify the principal of King Kamehameha III Elementary School.

## 5. Solid Waste

*Existing Conditions.* Weekly, residential, solid-waste collection in the area is provided by the County of Maui, Department of Public Works and Environmental Management. The Department's Residential Collection program collects and disposes of residential waste in 3 major districts: Wailuku (including Kahului and South Maui), Makawao (including Kula, Pukalani, Paia, and Haiku) and Lahaina (West Maui).

*Potential Impacts and Mitigation Measures.* The proposed demolition will not impact County solid-waste services. The scale of the demolition is quite limited in scope, being limited to three (3) houses, one (1) shed, one (1) rock wall, and pavement. A demolition management plan will be submitted to the Department of Public Works and Environmental Management during the demolition permit processing phase of the project.

## D. Infrastructure

### 1. Roadways

*Existing Conditions.* Front Street is the main north-south roadway in Lahaina Town. The subject property is located on Front Street, between its intersections with Shaw Street to the north and Kauaula Road to the south. Both of those roadways provide access to Honoapiilani Highway, the primary link between Lahaina and the rest of the island.

*Potential Impacts and Mitigation Measures.* There are no long-term traffic impacts associated with the proposed improvements. Construction-vehicles are anticipated to have minor impacts to traffic as the schedule of the proposed project is quite short, being estimated at approximately four (4) to six (6) weeks. There is adequate parking on-site for construction vehicles during work.

In reply to comments by the State of Hawaii Department of Health dated September 13, 2011 (See: Appendix F & G, "Agency Comment Letters" & "Replies to Agency Comments"):

- If construction is to require the temporary closing of roads, the applicant will notify the principal of King Kamehameha III Elementary School.

## 2. Utilities

*Existing Conditions.* The property's domestic water demand is served by a 12-inch waterline. The property is provided wastewater service through the County's sewer system, electrical service through Maui Electric Company's transmission lines, and telephone service through Hawaiian TelCom's transmission lines.

*Potential Impacts and Mitigation Measures.* The proposed project does not increase demand for or impact existing utility services.

In reply to comments by the County of Maui Department of Environmental Management dated August 30, 2011 (See: Appendix F & G, "Agency Comment Letters" & "Replies to Agency Comments"):

- The Applicant acknowledges that wastewater capacity cannot be ensured until the issuance of building permits.
- Developer is not required to pay wastewater assessment fees for this area at the current time.
- Building permit plans will show an existing or proposed sewer service cleanout near the property line.
- The Project will not discharge non-contact cooling water and condensate into the County's wastewater system.

- The Project will not discharge swimming pool water into the County's wastewater system.

In reply to comments by the County of Maui Department of Water Supply dated October 5, 2011 (See: Appendix F & G, "Agency Comment Letters" & "Replies to Agency Comments"):

- The applicant acknowledges that a water meter upgrade may not be approved.
- Domestic and irrigation calculations will be provided as required during the Building Permit review & approval process.
- The Applicant is open to conservation measures and will cooperate with all requirements of the County of Maui's SMA and Building & Grading Permit review process. Conservation measures are noted in the Project's Final Environmental Assessment (FEA) by inclusion of the Department of Water Supply's October 5, 2011 Comment Letter, and the Applicant's Comment Reply Letter.
- The Applicant is open to Best Management Practices (BMPs) and will cooperate with all requirements of the County of Maui's SMA and Building & Grading Permit review process. BMPs are noted in this Final Environmental Assessment (FEA) by inclusion of the Department of Water Supply's October 5, 2011 Comment Letter, and the Applicant's Comment Reply Letter.

### 3. **Drainage**

*Existing Conditions.* A Preliminary Engineering report was prepared for the project. See: Appendix D, "Preliminary Engineering Report". The property is currently developed with an existing residence, cottage, garage, concrete driveway, and concrete walkways. The elevation on the site ranges from approximately 5.5 feet above mean sea level (amsl) at Front Street, to a the high point at the existing residence at an elevation of 6.9 feet amsl, descending slightly to approximately 6.2 feet amsl at the northwestern, shoreward corner of the site. There is an existing seawall that retains approximately 3 feet along the seaward boundary.

There are no existing drainage facilities in the vicinity of the project site. Onsite runoff sheet flows in two (2) directions. The first is from the existing residence to the east toward Front Street and the second is from the residence to the west toward the ocean. Runoff sheet flowing toward Front Street ultimately ponds along the shoulder area and the runoff sheet flowing toward the west ponds in the low landscaped area on the lot.

It is estimated that the existing 50-year storm runoff from the partially developed project site is 1.25 cfs. The corresponding surface runoff volume generated from the site is 828 cubic feet.

*Potential Impacts and Mitigation Measures.* The proposed drainage improvements will be designed in accordance with Chapter 4, "Rules for the Design of Storm Drainage Facilities in the County of Maui". The proposed improvements are estimated to result in a 50-year, 1-hour storm runoff will be 1.70 cfs, with a corresponding surface runoff volume of 917 cubic feet. This is an increase of 0.45 cfs in

surface runoff and 89 cubic feet of surface runoff volume. The drainage design criteria will be to minimize any alterations to the natural pattern of the existing onsite surface runoff. Onsite runoff will be collected by grated catch basins located within the landscaped areas and swales and conveyed to onsite retention basins. The drainage system will be sized to accommodate, at a minimum, the increase in runoff volume from the project site for the 50-year, 1-hour storm event.

## **E. Cumulative and Secondary Impacts**

Cumulative impacts are defined as the impact on the environment, which results from the incremental impact of an action when added to other past, present, and reasonably foreseeable future actions, regardless of what agency or person undertakes such other actions.

The proposed project is not part of a larger or future action. The addition essentially replaces part of an existing structure.

Secondary impacts are those that have the potential to occur later in time or farther in distance, but which are reasonably foreseeable. They can be viewed as actions of others that are taken because of the presence of the project. Secondary impacts from highway projects, for example, can occur because they can induce development by removing transportation impediments to growth.

There are no foreseeable secondary impacts associated with the proposed project. It will not contribute to population growth, nor will it place additional burden upon infrastructure or the environment.

## **F. Summary of Unavoidable Impacts on the Environment and Resources**

Construction-related activities will generate moderate, unavoidable, short-term impacts. Once the work is completed, the project is not anticipated to have substantial adverse impacts upon the environment or residents of the area.

The duration of demolition and construction is anticipated to be brief, however the following mitigation measures could reduce impacts to air and water quality, and reduce noise, and vector impacts.

- Provide vector control before construction activities in accordance with the rules and regulations of the Department of Health
- Provide Best-Management-Practices (BMPs) to contain dust and runoff from the project area. Such measures could include dust and silt screens, construction watering, covering disturbed and loose soils, and covering vehicular loads of materials leaving and entering the project site.
- Provide environmental noise control by limiting construction activities to daylight hours, requiring engine-driven machinery to have the appropriate mufflers, and obtaining a construction noise permit, if required, from the Department of Health
- Properly disposing of demolition wastes in a designated landfill and/or recycling construction materials

The project will require the irretrievable commitment of time, energy, and land.

### III. RELATIONSHIP TO GOVERNMENTAL PLANS, POLICIES, AND CONTROLS

#### A. State Land Use District

Chapter 205, Hawaii Revised Statutes, relating to the Land Use Commission, establishes four (4) major land use districts in which all lands in the state are placed. These districts are designated as *Urban*, *Rural*, *Agricultural*, and *Conservation*. The subject property is located within the *Urban* district. See: Figure 8, “State Land Use Designation”.

The existing use of the property is compatible with the State designation, as is the proposed action.

#### B. Maui County General Plan

The *Countywide Policy Plan* sets forth broad goals, objectives, policies, and actions that reflect the desired direction of future growth in the County. As part of the decennial update of the General Plan, the *Countywide Policy Plan for the 2030 General Plan* was adopted by the County of Maui on March 19, 2010. The *Countywide Policy Plan* is the keystone for the General Plan update and establishes an over-arching statement of values while providing policy support for the Maui Island Plan and the regional community plans.

Key components of the *Countywide Policy Plan* include:

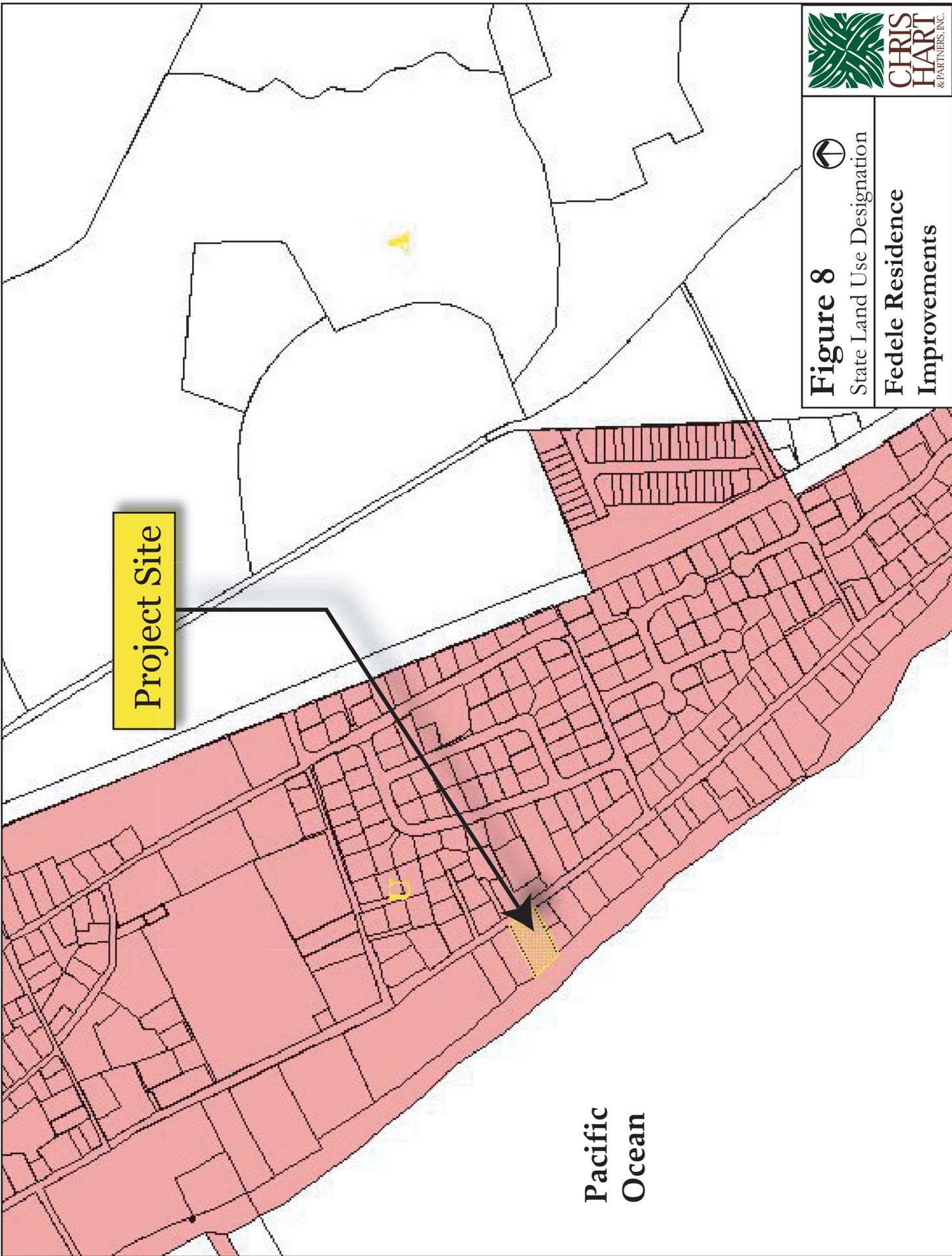
1. A vision statement and core values for the County to the year 2030.
2. An explanation of the plan-making process.
3. A description and background information of Maui County today.
4. Identification of guiding principles.
5. A list of Countywide goals, objectives, policies, and implementing actions relating to various core themes.



**Figure 8**  
State Land Use Designation

**Fedele Residence  
Improvements**

**Project Site**



**Pacific  
Ocean**

In addition, the following core principles are contained in the *Countywide Policy Plan*:

1. Excellence in the stewardship of the natural environment and cultural resources.
2. Compassion for and understanding of others.
3. Respect for diversity.
4. Engagement and empowerment of Maui County residents.
5. Honor for all cultural traditions and histories.
6. Consideration of the contributions of past generations as well as the needs of future generations.
7. Commitment to self-sufficiency.
8. Wisdom and balance in decision making.
9. Thoughtful, island-appropriate innovation.
10. Nurturance of the health and well-being of our families and our communities.

In terms of context, those goals, objectives, and policies that relate to the proposed action are listed below:

**Goal:           A. Protect the Natural Environment**

Objective:    3. Improve the stewardship of the natural environment.

Policy:3c. Evaluate development to assess potential short-term and long-term impacts on land, air, aquatic, and marine environments.

*Analysis:* Potential short and long-term impacts to the natural environment have been evaluated in the EA.

**Goal:           B. Preserve Local Cultures and Traditions**

Objective:    4. Preserve and restore significant historic architecture, structures, cultural sites, cultural districts, and cultural landscapes.

Policy:4f. Perpetuate the authentic character and historic integrity of rural communities and small towns.

*Analysis:* Although the subject parcel is not located in Lahaina Historic District 1 or 2, the proposed project is designed to be consistent with the historic district standards for Lahaina including the Architectural Style Book for Lahaina (1969) and the Lahaina Design Guidelines (2003). The authentic character and historic integrity of Lahaina will be preserved and perpetuated by the building's architecture and theme.

**Goal: I. Improve Physical Infrastructure**

Objective: 4. Direct growth in a way that makes efficient use of existing infrastructure and to areas where there is available infrastructure capacity.

Policies: 4a. Capitalize on existing infrastructure capacity as a priority over infrastructure expansion.

4d. Promote land use patterns that can be provided with infrastructure and public facilities in a cost-effective manner.

*Analysis:* The subject parcel is located within an area of existing urban development and contains the infrastructure and public services to support new and existing development.

**Goal: J. Promote Sustainable Land Use and Growth Management**

Objective: 3. Design all developments to be in harmony with the environment and to protect each community's sense of place.

Policies: 3c. Protect and enhance the unique architectural and landscape characteristics of each community plan area, small town, and neighborhood.

3j. Protect rural communities and traditional small towns by regulating the footprint, locations, site planning, and design of structures.

3k. Support small town revitalization and preservation.

*Analysis:* As previously noted, the proposed project is designed to be consistent with the historic district standards for Lahaina including the *Architectural Style Book for Lahaina (1969)* and the *Lahaina Design Guidelines (2003)*. In doing so, the original character, historic integrity, and architectural style which make Lahaina unique and contribute to its charm and sense of place will be maintained and preserved for the public's benefit and enjoyment.

## C. West Maui Community Plan

Within Maui County, there are nine (9) community plan regions. From a General Plan implementation standpoint, each region is governed by a Community Plan which sets forth desired land use patterns, as well as goals, objectives, policies, and implementing actions for a number of functional areas including infrastructure-related parameters.

The subject property is located within the West Maui Plan region. The *West Maui Community Plan* was adopted in 1982 and amended in 1996.

The subject property is designated for *Single-Family Residential* uses in the Community Plan. See: Figure 9, "Community Plan Designation". The existing use is compatible with this designation, as is the proposed project.

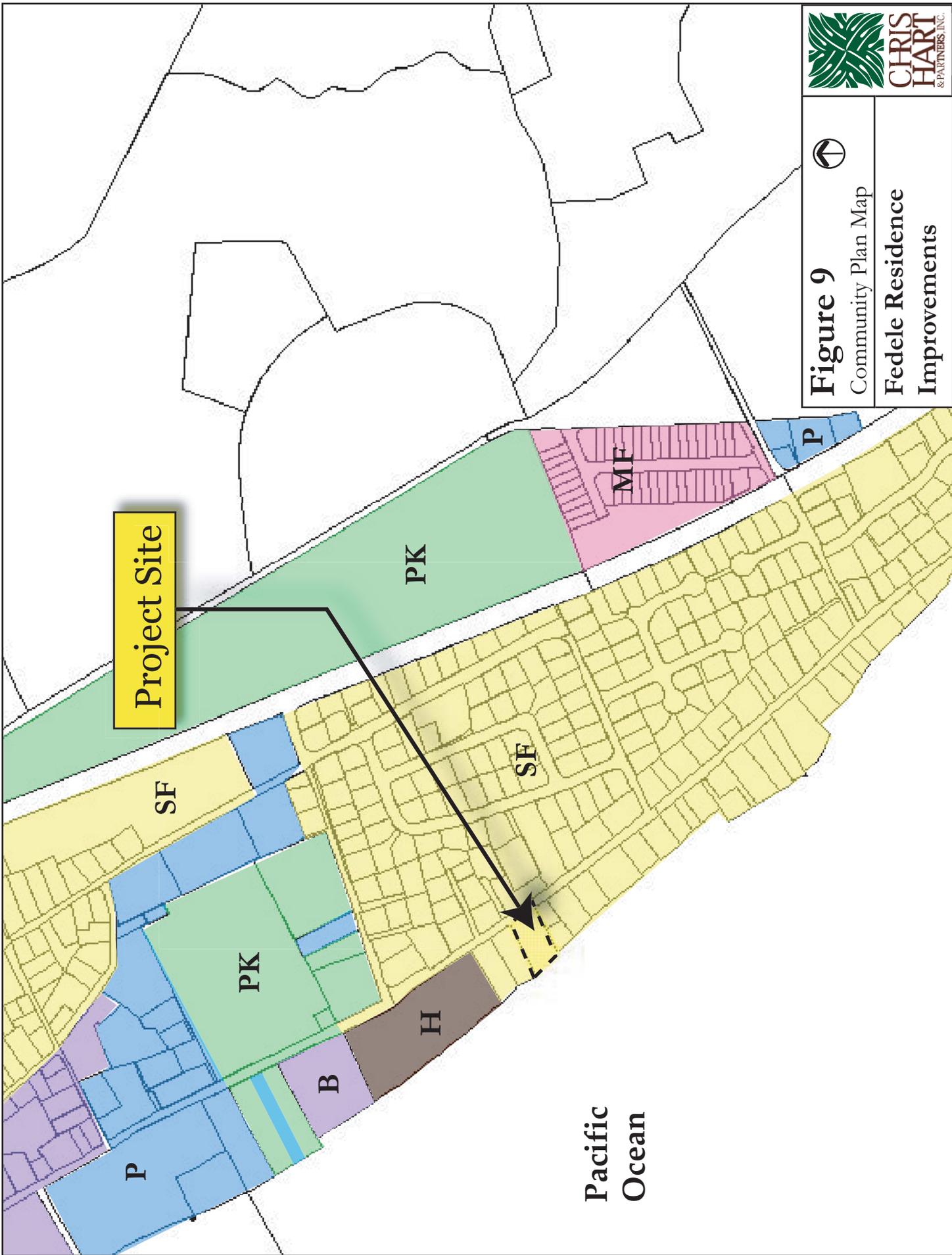
## D. County Zoning

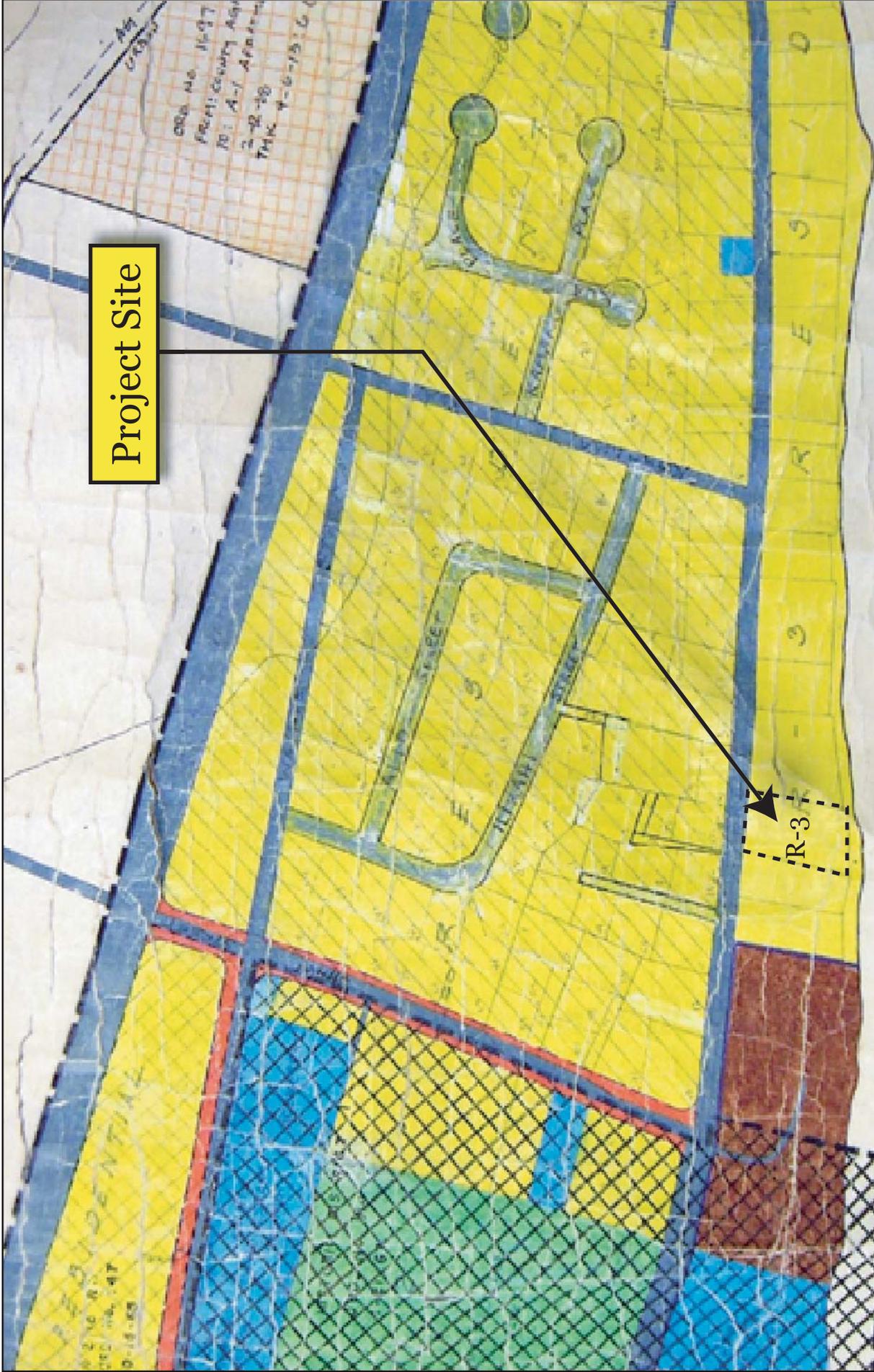
The project site is zoned *R-3, Residential* by the County of Maui. The existing use is compatible with this designation, as is the proposed project. See: Figure 10, "County Zoning".

The property is also located within the County's Special Management Area.



**Figure 9**  
Community Plan Map  
**Fedele Residence**  
**Improvements**





**Project Site**



**Figure 10**

County Zoning Map

**Fedele Residence  
Improvements**



**Pacific  
Ocean**

## E. Coastal Zone Management

Coastal Zone Management objectives and policies (section 205A-2 HRS) and the Special Management Area Rules for the Maui Planning Commission (Chapter 202) have been developed to preserve, protect, and where possible, to restore the natural resources of the coastal zone of Hawaii. The project's potential direct or indirect impacts on the coastal zone within the context of these objectives, policies, and guidelines is described below:

### 1. Recreational Resources

*Objective:* Provide coastal recreational resources accessible to the public.

*Policies:*

- (a) Improve coordination and funding of coastal recreational planning and management; and
- (b) Provide adequate, accessible, and diverse recreational opportunities in the coastal zone management area by:
  - (i) Protecting coastal resources uniquely suited for recreational activities that cannot be provided in other areas;
  - (ii) Requiring replacement of coastal resources having significant recreational value, including but not limited to surfing sites, fishponds, and sand beaches, when such resources will be unavoidably damaged by development; or require reasonable monetary compensation to the state for recreation when replacement is not feasible or desirable;
  - (iii) Providing and managing adequate public access, consistent with conservation of natural resources, to and along shorelines with recreational value;
  - (iv) Providing an adequate supply of shoreline parks and other recreational facilities suitable for public recreation;

- (v) Ensuring public recreational uses of county, state, and federally owned or controlled shoreline lands and waters having standards and conservation of natural resources;
- (vi) Adopting water quality standards and regulating point and non-point sources of pollution to protect, and where feasible, restore the recreational value of coastal waters;
- (vii) Developing new shoreline recreational opportunities, where appropriate, such as artificial lagoons, artificial beaches, and artificial reefs for surfing and fishing;
- (viii) Encourage reasonable dedication of shoreline areas with recreational value for public use as part of discretionary approvals or permits by the land use commission, board of land and natural resources, and county authorities; and crediting such dedication against the requirements of Section 46-6, HRS.

**Analysis.** The proposed improvements will not impact coastal recreational opportunities or resources. A public beach accessway is located approximately 150 feet to the north of the subject property at the southern end of the Lahaina Shores. We would add that the proposed improvements have no impact on public beach access.

## 2. Historical/Cultural Resources

*Objective:* Protect, preserve and, where desirable, restore those natural and manmade historic and prehistoric resources in the coastal zone management area that are significant in Hawaiian and American history and culture.

*Policies:*

- (a) Identify and analyze significant archeological resources;
- (b) Maximize information retention through preservation of remains and artifacts or salvage operations; and
- (c) Support state goals for protection, restoration, interpretation, and display of historic structures.

**Analysis.** There are no known historical or cultural resources on the subject property. There are no sub-surface actions proposed; all demolitions are of above-ground structures. Nevertheless, an archaeological monitoring plan will be prepared and submitted to the State Historic Preservation Division for review and approval.

### **3. Scenic and Open Space Resources**

*Objective:* Protect, preserve and, where desirable, restore or improve the quality of coastal scenic and open space resources.

*Policies:*

- (a) Identify valued scenic resources in the coastal zone management area;
- (b) Ensure that new developments are compatible with their visual environment by designing and locating such developments to minimize the alteration of natural landforms and existing public views to and along the shoreline;
- (c) Preserve, maintain, and where desirable, improve and restore shoreline open space and scenic resources; and
- (d) Encourage those developments that are not coastal dependent to locate in inland areas.

**Analysis.** The proposed demolition will not adversely impact scenic and open space resources.

### **4. Coastal Ecosystems**

*Objective:* Protect valuable coastal ecosystems, including reefs, from disruption and minimize adverse impacts on all coastal ecosystems.

*Policies:*

- (a) Exercise an overall conservation ethic, and practice stewardship in the protection, use, and development of marine and coastal resources;
- (b) Improve the technical basis for natural resource management;

- (c) Preserve valuable coastal ecosystems, including reefs, of significant biological or economic importance;
- (d) Minimize disruption or degradation of coastal water ecosystems by effective regulation of stream diversions, channelization, and similar land and water uses, recognizing competing water needs; and
- (e) Promote water quantity and quality planning and management practices that reflect the tolerance of fresh water and marine ecosystems and maintain and enhance water quality through the development and implementation of point and non-point source water pollution control measures.

**Analysis.** No direct impacts to the coastal or marine environment are anticipated. Appropriate Best Management Practices (BMP) will be utilized during demolition activities to ensure that there is no substantial, adverse impact to coastal ecosystems. Drainage patterns and quantities will generally remain the same, and thus no change in drainage-related indirect impacts is anticipated.

## 5. Economic Use

*Objective:* Provide public or private facilities and improvements important to the State's economy in suitable locations.

*Policies:*

- (a) Concentrate coastal dependent development in appropriate areas;
- (b) Ensure that coastal dependent development such as harbors and ports, and coastal related development such as visitor facilities and energy generating facilities, are located, designed, and constructed to minimize adverse social, visual, and environmental impacts in the coastal zone management area;
- (c) Direct the location and expansion of coastal dependent developments to areas presently designated and used for such development and permit reasonable long-term growth at such areas, and permit coastal dependent development outside of presently designated areas when:
  - (i) Use of presently designated locations is not feasible;
  - (ii) Adverse environmental impacts are minimized; and
  - (iii) The development is important to the State's economy.

**Analysis.** The proposed demolition is not a coastal dependant development nor will it impact the economy.

## 6. Coastal Hazards

*Objective:* Reduce hazard to life and property from tsunami, storm waves, stream flooding, erosion, subsidence and pollution.

*Policies:*

- (a) Develop and communicate adequate information about storm wave, tsunami, flood, erosion, subsidence, and point and non-point source pollution hazards;
- (b) Control development in areas subject to storm wave, tsunami, flood, erosion, subsidence, and point and non-point pollution hazards;
- (c) Ensure that developments comply with requirements of the Federal Flood Insurance Program; and
- (d) Prevent coastal flooding from inland projects.

**Analysis.** The proposed demolition is not anticipated to impact the region's susceptibility to coastal hazards.

## 7. Managing Development

*Objective:* Improve the development review process, communication, and public participation in the management of coastal resources and hazards.

*Policies:*

- (a) Use, implement, and enforce existing law effectively to the maximum extent possible in managing present and future coastal zone development;
- (b) Facilitate timely processing of applications for development permits and resolve overlapping of conflicting permit requirements; and
- (c) Communicate the potential short and long-term impacts of proposed significant coastal developments early in their life cycle and

in terms understandable to the public to facilitate public participation in the planning and review process.

**Analysis.** Assessment and evaluation of the project will entail the following processes:

- Environmental Impact Review (Chapter 343 HRS Review)
- Special Management Area Assessment for “Exemption”

Where applicable, the evaluation and permitting processes will be combined under joint applications for the action. Each process entails a form of public participation, which is detailed in the following section.

The project was subject to early consultation requests to various agencies and organizations. See Section VI of this document.

## **8. Public Participation**

*Objective:* Stimulate public awareness, education, and participation in coastal management.

*Policies:*

- (a) Promote public involvement in coastal zone management processes;
- (b) Disseminate information on coastal management issues by means of educational materials, published reports, staff contact, and public workshops for persons and organizations concerned with coastal issues, developments, and government activities; and
- (c) Organize workshops, policy dialogues, and site-specific mediations to respond to coastal issues and conflicts.

**Analysis.** Prior to project approval, it is anticipated that the following public notification and hearing requirements are applicable:

### **Environmental Impact Review Process**

Public involvement in the Environmental Impact review process involves the following steps:

1. The Draft Environmental Assessment (EA) will be made available in a nearby Public Library and sent to various agencies and organizations.
2. The State Office of Environmental Quality Control (OEQC) will publish a notice of availability regarding a 30-day public review of the Draft EA in the Environmental Notice bulletin.
3. The Draft EA is subject to review and comment by the Maui Planning Department and other applicable Agencies.
4. The Maui Planning Department is the accepting authority for the Final EA. This document will be reviewed and approved by the Department.
5. OEQC publishes notice of acceptance of the Final EA

## **9. Beach Protection**

*Objective:* Protect beaches for public use and recreation.

*Policies:*

- (a) Locate new structures inland from the shoreline setback to conserve open space, minimize interference with natural shoreline processes, and minimize loss of improvements due to erosion;
- (b) Prohibit construction of private erosion-protection structures seaward of the shoreline, except when they result in improved aesthetic and engineering solutions to erosion at the sites and do not interfere with existing recreational and waterline activities; and
- (c) Minimize the construction of public erosion-protection structures seaward of the shoreline.

**Analysis.** No direct impacts to the beaches or beach processes are anticipated. Appropriate BMP's will be utilized during demolition activities to ensure that there is no substantial, adverse impact to coastal ecosystems.

## **10. Marine Resources**

*Objective:* Promote the protection, use, and development of marine and coastal resources to assure their sustainability.

*Policies:*

- (a) Ensure that the use and development of marine and coastal resources are ecologically and environmentally sound and economically beneficial;
- (b) Coordinate the management of marine and coastal resources and activities to improve effectiveness and efficiency;
- (c) Assert and articulate the interests of the State as a partner with federal agencies in the sound management of ocean resources within the United States exclusive economic zone;
- (d) Promote research, study, and understanding of ocean processes, marine life, and other ocean resources in order to acquire and inventory information necessary to understand how ocean development activities relate to and impact upon ocean and coastal resources; and
- (e) Encourage research and development of new, innovative technologies for exploring, using, or protecting marine and coastal resources. [L 1977, c 188, pt of §3; am L 1993, c 258, §1; am L 1994, c 3, §1; am L 1995, c 104, §5; am L 2001, c 169, §3]

**Analysis.** No direct impacts to the coastal or marine environment are anticipated as the project is located inland within a built urban environment. Drainage patterns and quantities will generally remain the same, and thus no change in drainage-related indirect impacts is anticipated

The project will include mitigation measures aimed at protecting marine resources by containing dust and project runoff during the demolition period. The anticipated method of containment will be to enclose the project area with a combination dust/silt fence. Additional measures could include project watering for dust control, promptly vegetating bared areas, and controlling dust from equipment by covering truckloads. A BMP plan will be developed in conjunction with the project's grading plans, which will detail the physical protective measures used at the project site, the locations of such measures, and other intermittent requirements such as project watering. Prior to construction the BMP plan will be reviewed by the County engineering division of the Development Services Administration of the Department of Public Works and Environmental Management, and the State Clean Water Branch (as part of the NPDES general permit).

In addition to the foregoing objectives and policies, SMA permit review criteria pursuant to Act 244 (2005) provides that:

*No special management area use permit or special management area minor permit shall be granted for structures that allow artificial light from floodlights, uplights, or spotlights used for decorative or aesthetic purposes when the light:*

- (a) Directly illuminates the shoreline and ocean waters; or*
- (b) Is directed to travel across property boundaries toward the shoreline and ocean waters.*

**Analysis.** The proposed project will not directly illuminate the shoreline or ocean waters, nor cause light to be directed across property boundaries in that direction.

## **F. Lahaina National Historic Landmark District**

National Historic Landmarks are places deemed to have nationally significant historic value in illustrating or interpreting the heritage of the United States. National Historic Landmarks are created by the U.S. Department of the Interior and administered by the National Park Service.

The Lahaina National Historic Landmark District was designated in 1962 with the following statement of significance:

*Long the residence of Maui kings and chiefs, Lahaina preserves the atmosphere of a mid-19th century Hawaiian seaport, when it was a favorite port of call for American whalers. It was also the center of missionary activities.*

The project site lies within the Lahaina National Historic Landmark District. However, none of the structures on site are historic or deemed to have historic significance. The proposed improvements will not impact

the character of the Lahaina National Historic Landmark District nor its value in illustrating or interpreting the heritage of the United States.

It is noted that the project site does not lie within either of Maui County's Lahaina Historic Districts.

## IV. FINDINGS AND CONCLUSIONS

The accepting authority anticipates a Finding of No Significant Impact (FONSI). A final declaration will be made after the authority has considered all agency and public comments on the Draft Environmental Assessment.

The finding must concur that there is no significant impact as provide by the following Environmental Assessment Significance Criteria pursuant to Chapter 343 of the Hawaii Revised Statutes and Section 11-200 of the Hawaii Administrative Rules:

**1. The proposed action will not result in an irrevocable commitment to loss or destruction of natural or cultural resources.**

*Analysis.* The project will result in the irrevocable demolition of structures. However, these structures are not considered culturally significant. Mitigation measures have been suggested to protect against potentially unknown subsurface resources, such as archaeological/cultural materials and human burials.

**2. The proposed action will not curtail the range of beneficial uses of the environment.**

*Analysis.* The project will cause short-term construction type impacts, such as impacts to air quality (dust) and noise. Demolition impacts can and will be mitigated per applicable laws and standards. The project is not anticipated to affect property outside the parcel, or beneficial uses of the environment surrounding the parcel. No long-term impacts are anticipated.

**3. The proposed action will not conflict with State or County long-term environmental policies and goals as expressed in Chapter 344, HRS, and those which are more specifically outlined in the Conservation District Rules.**

*Analysis.* The subject property is part of a long-established residential neighborhood and is designated for residential uses by the County's zoning and the West

Maui Community Plan. Future uses of the property would have to conform to those uses or obtain new land use entitlements. No unique impacts are anticipated that would contradict long-term environmental policies.

**4. The proposed action will not substantially affect the economic or social welfare and cultural activities of the community, county or state.**

*Analysis.* The existing structures do not contribute substantially to the economic or social welfare of the community, county or state. No cultural practices, resources, or access routes are affected by the action.

**5. The proposed action will not substantially affect public health.**

*Analysis.* With adherence to demolition-related mitigation measures, no significant impacts to public health are anticipated.

**6. The proposed action will not result in substantial secondary impacts.**

*Analysis.* The improvements are not a significant action with regards to population changes or changes to use or reliance on public facilities.

**7. The proposed action will not involve substantial degradation of environmental quality.**

*Analysis.* The applicant will implement Best Management Practices to mitigate the short-term impacts of dust and noise while the project is underway.

**8. The proposed project will not produce cumulative impacts and does not have considerable effect upon the environment or involve a commitment for larger actions.**

*Analysis.* The project does not require additional development or require a commitment for larger actions. No cumulative impacts were identified.

**9. The proposed project will not affect a rare, threatened, or endangered species, or its habitat.**

*Analysis.* No rare, threatened, or endangered species or their habitats are known to exist in the immediate project area. Best Management Practices will be implemented to prevent secondary impacts to the coastal habitat, which may contain rare, threatened, or endangered species.

**10. The proposed action will not substantially or adversely affect air and water quality or ambient noise levels.**

*Analysis.* The proposed project will meet all required State and County air, water, and ambient noise quality standards prior to and during construction. No significant long-term impacts are anticipated.

**11. The proposed action will not substantially affect or be subject to damage by being located in an environmentally sensitive area, such as flood plain, shoreline, tsunami zone, erosion-prone areas, estuary, fresh waters, geologically hazardous land or coastal waters.**

*Analysis.* The project will reduce the amount of development within the designated flood zone areas on the property. Any future development or re-development is subject to flood performance standards established in the Maui County Code (Section 19.62.050). A Flood Hazard Development Permit will be obtained prior to new construction.

**12. The proposed action will not substantially affect scenic vistas or view planes identified in county or state plans or studies.**

*Analysis.* The subject property is not specifically identified in any county or State plans or studies as containing scenic vistas or view planes.

**13. The proposed action will not require substantial energy consumption.**

*Analysis.* No substantial energy consumption is expected as a result of the proposed action.

## V. EARLY CONSULTATION

The following agencies were requested to provide early consultation comments regarding the proposed project. See: Appendix E, “Early Consultation”, for substantive comments received and responses to those comments.

### *Federal*

1. Natural Resources Conservation Service
2. U.S. Army Corps of Engineers
3. U.S. Fish & Wildlife Service

### *State of Hawaii*

4. Department of Business Economic Development & Tourism
5. Department of Business Economic Development & Tourism, Office of State Planning
6. Department of Education
7. Department of Hawaiian Homelands
8. Department of Health
9. Department of Health, Clean Water Branch
10. Department of Health, Environmental Planning Office
11. Department of Health, Maui District Health Office
12. Department of Land & Natural Resources
13. Department of Land & Natural Resources, Office of Coastal Conservation Lands
14. Department of Land & Natural Resources, Historic Preservation Division
15. Department of Land & Natural Resources, Land Division
16. Department of Transportation
17. Department of Transportation, Statewide Planning Office
18. Department of Transportation, Maui District Engineer
19. Office of Hawaiian Affairs
20. University of Hawaii, Environmental Center
21. University of Hawaii, Sea Grant Extension Office

### *County of Maui*

22. Department of Environmental Management
23. Department of Fire Control & Public Safety
24. Department of Housing & Human Concerns

25. Department of Parks & Recreation
26. Department of Planning
27. Department of Public Works
28. Department of Transportation
29. Department of Water Supply
30. Police Department

*Local Utilities*

31. Maui Electric Company

# **Appendix A: Project Plans**



# A Proposed Addition To The Fedele Residence

455 Front Street, Lahaina, HI 96761

TMK: (2) 4-6-002-006-0000

COUNTY OF MAUI  
Mau County Code, Chapter 16.16A Energy Code

To the best of my knowledge, this project's design substantially conforms to the Energy Code for:

Building Component Systems  
 Electrical Component Systems  
 Mechanical Component Systems

Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Name: Joel Corpuz  
Title: Engineer License No.: 11030-S

Revisions: \_\_\_\_\_ By: \_\_\_\_\_

**KASPRZYCKI DESIGNS**  
Designing Homes For Hawaii  
(808) 667-6116  
Fax (808) 667-7117  
kasprzyckidesigns@hawaii.rr.com

**JOEL N. CORPUZ**  
LICENSED PROFESSIONAL ENGINEER  
No. 11030-S  
HAWAII U.S.A.

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION WILL BE UNDER MY OBSERVATION.

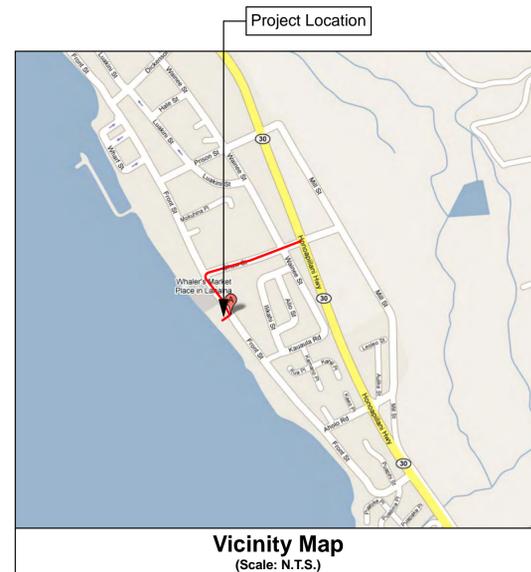
4-30-10  
Signature \_\_\_\_\_ Expiration Date Of License \_\_\_\_\_



**East View**  
(Scale: N.T.S.)



**West View**  
(Scale: N.T.S.)



**Vicinity Map**  
(Scale: N.T.S.)



**Maui Map**  
(Scale: N.T.S.)

**Project Team**

**Owner:**  
Joe Fedele  
455 Front Street Lahaina, HI 96761  
808-667-6767

**Designer/Plan Maker:**  
Kasprzycki Designs Inc.  
P.O. Box 10517 Lahaina, HI 96761  
Office: 808-667-6116 Fax: 808-667-7117  
email: kasprzyckidesigns@hawaii.rr.com

**Surveyor:**  
Akamai Land Surveying, Inc.  
P.O. Box 1748 Makawao, HI 96768  
808-876-0177

**Structural Engineer:**  
JC Structural Engineering, LLC  
400 Hookahi Street, Unit D-207 Wailuku, HI 96793  
808-244-5175

**Index Of Drawings**

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A-3	BMP Plan
A-4	Pre Construction Site Preparation Plan
A-5	Site Plan With Proposed Addition and Swimming Pool
A-6	Proposed Main House First Floor Plan
A-7	Proposed Main House Second Floor Plan
A-8	Main House Addition First Floor Reflected Ceiling Plan
A-9	Main House Addition Second Floor Reflected Ceiling Plan
A-10	Proposed Main House First Floor Roof Plan
A-11	Proposed Main House Second Floor Roof Plan
A-12	Proposed Exterior Elevations
A-13	Proposed Exterior Elevations
A-14	Building Sections
A-15	Wall Sections
S0.1	General Structural Notes
S0.2	General Structural Notes
S0.3	General Structural Notes
S0.4	General Structural Notes
S0.5	General Structural Details
S0.6	General Structural Details
S0.7	General Structural Notes-Concrete Curing
S0.8	General Structural Details
S1.1	Foundation Plan
S1.2	Foundation Details
S1.3	Foundation Details
S1.4	Foundation Details
S2.1	First Floor Framing and Roof Framing Plan
S2.2	Framing Details
S2.3	Framing Details
S2.4	Framing Details
S3.1	Roof Framing Plan
S3.2	Roof Framing Details
S3.3	Roof Framing Details
S3.4	Roof Framing Details
S3.5	Roof Framing Details
S4.1	Lower Floor Shearwall Plan
S4.2	Upper Floor Shearwall Plan
S4.3	Shearwall Details
S4.4	Shearwall Details
S4.5	Steel Moment Frame and Details
S4.6	Steel Moment Frame
S5.1	Pool Details
E-1	Main House Addition - First Floor Addition Electrical/Lighting Plan
E-2	Main House Addition - Second Floor Addition Electrical/Lighting Plan

**A Proposed Addition To The Fedele Residence**  
455 Front Street, Lahaina, HI 96761  
TMK: (2) 4-6-002-006-0000

**Title Sheet And Basic Project Information**

Date: 03-01-2010

Phase: Permit Set

Drawn: \_\_\_\_\_

Job: 09-FAL

Sheet Number: \_\_\_\_\_

**T-1**

Total Sheet Count: #

T.M.K.(2)4-6-02:17

10465, AP.

7598

L.C. Aw. 10465, AP.

L.C. Aw.

OCEAN

T.M.K.(2)4-6-02:06  
AREA=23,840 SQ. FT.  
LESS EROSION AREA=68 SQ. FT.  
REMAINING AREA=23,772 SQ. FT.  
OR 0.546 ACRE

COURT

LAND

APPLICATION

404

FRONT STREET

R.P. 1698, L.C. Aw. 521 to Kapule

R.P. 8190, L.C. Aw. 523 to Kekuaula

The shoreline as delineated in red is hereby certified as the shoreline as of  
11/5/10  
Chairperson, Board of Land and Natural Resources

### SHORELINE MAP OF LAND COURT APPLICATION 404 (MAP 1)

SITUATE AT KOOKA AND ALIO, LAHAINA, MAKAWAO, MAUI, HAWAII

DATE: DECEMBER 19, 2008 SCALE: 1" = 30'  
REVISED: MAY 7, 2009

AKAMAI LAND SURVEYING, INC.  
P.O. BOX 1748  
MAKAWAO, MAUI, HAWAII 96768

PROPERTY OWNER & ADDRESS:  
JOSEPH FEDELE  
455 FRONT STREET  
LAHAINA, HI 96761

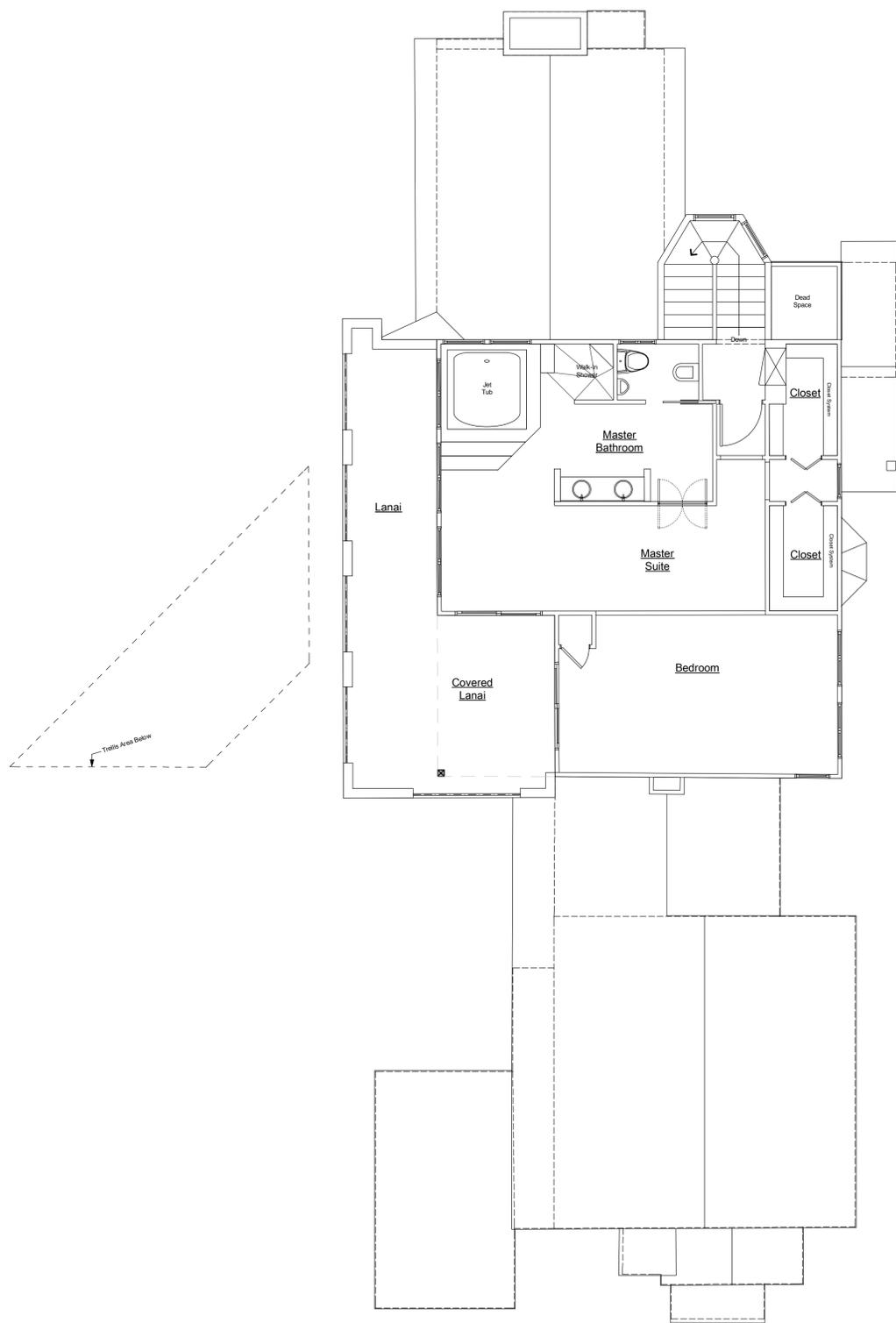


THIS WORK WAS DONE BY ME OR UNDER MY DIRECT SUPERVISION  
SHERMAN DUDLEY DEPONTE  
LICENSED PROFESSIONAL LAND SURVEYOR  
STATE OF HAWAII CERTIFICATE NO. 6960  
EXPIRATION DATE: 30 APRIL 2010  
(808) 876-0177

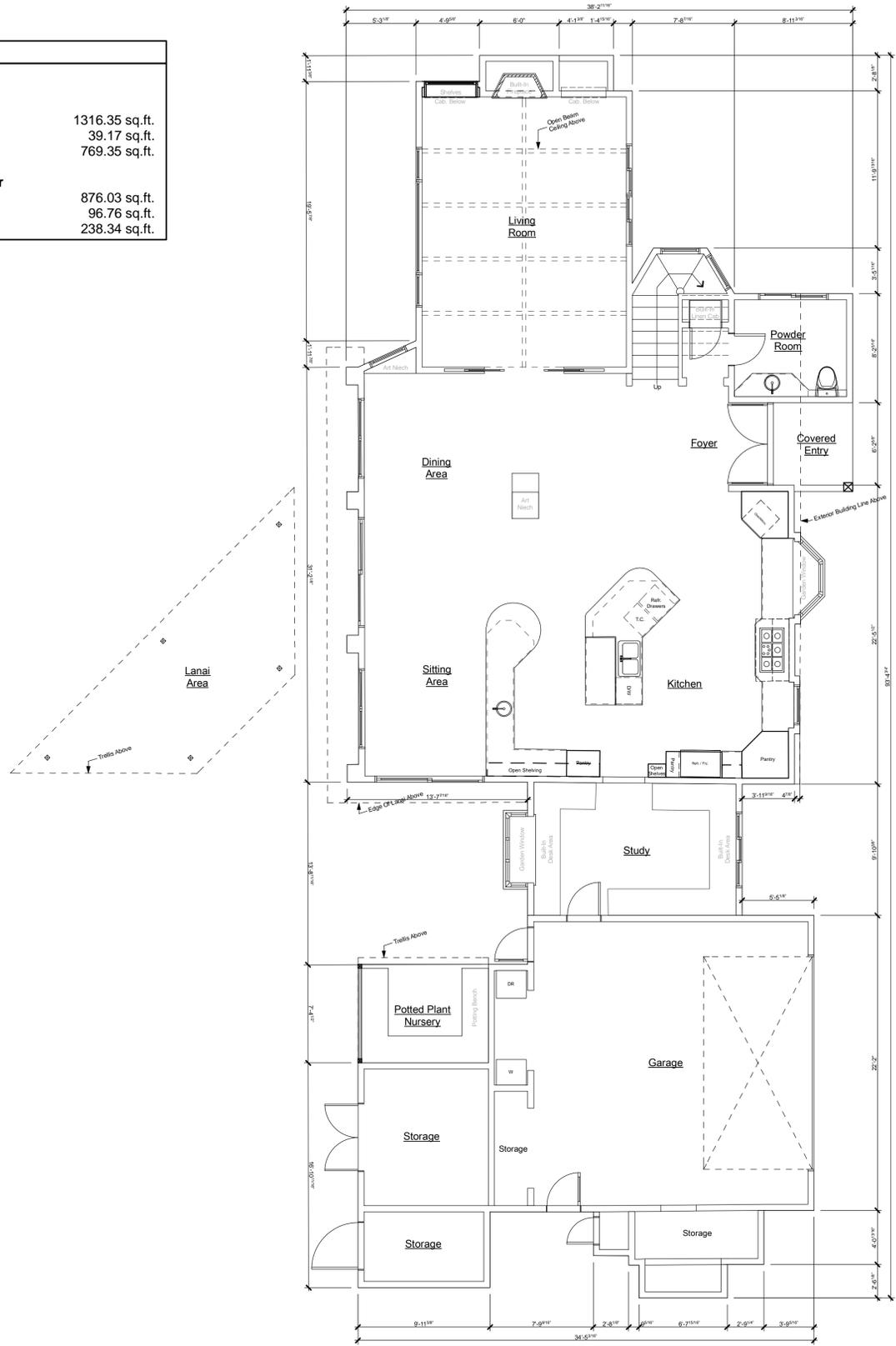
- NOTES:
1. THIS MAP IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON FEBRUARY 15, MARCH 4 AND DECEMBER 5, 2008.
  2. ALL AZIMUTHS AND COORDINATES ARE RECORD AND REFER TO GOVERNMENT SURVEY TRIANGULATION STATION "LAINA" Δ.
  3. ELEVATIONS SHOWN HEREON ARE BASED ON A BENCHMARK ON THE STREET MONUMENT AT THE CENTERLINE OF THE INTERSECTION OF ILKAHI STREET AND WAINEE STREET AS PER WARREN S. UNEMORI ENGINEERING, INC. ELEVATION TAKEN AS 11.57 FEET MEAN SEA LEVEL.
  4. THE OBSERVED "SHORELINE" WAS THE SAME SHORELINE LOCATION AS SHOWN ON THE RECORD MAP.
  5. ? DENOTES PHOTO NUMBER, LOCATION AND DIRECTION



TRUE NORTH  
SCALE: 1" = 10'



Area Summary	
<b>Main House</b>	
<b>Existing First Floor</b>	
Living Area	1316.35 sq.ft.
Covered Lanais/Entry	39.17 sq.ft.
Garage/Storage	769.35 sq.ft.
<b>Existing Second Floor</b>	
Living Area	876.03 sq.ft.
Covered Lanais	96.76 sq.ft.
Non-Covered Lanis	238.34 sq.ft.



Revisions: By:

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Fax (808) 667-7117  
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LICENSED PROFESSIONAL ENGINEER  
No. 11030-S  
HAWAII U.S.A.

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4-30-10  
Signature Expiration Date Of License

**A Proposed Addition To The Fedele Residence**  
455 Front Street, Lahaina, HI 96761  
TMK: (2) 4-6-002-006-0000

**Existing Main House First And Second Floor Plans**

Date: 03-01-2010  
Phase: Permit Set  
Drawn:  
Job: 09-FAL  
Sheet Number:  
**A-1**  
Total Sheet Count: #



North West Elevation

SCALE: 3/16" = 1'-0"



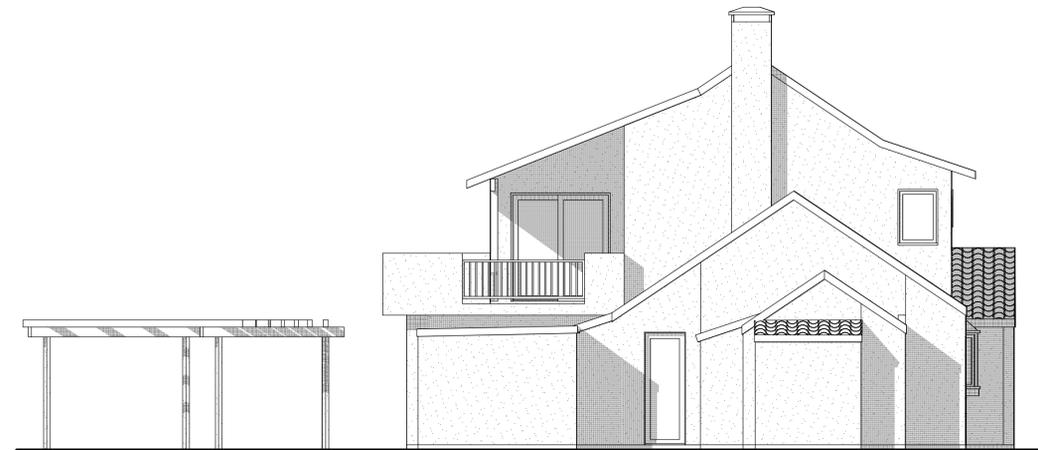
North East Elevation

SCALE: 3/16" = 1'-0"



South West Elevation

SCALE: 3/16" = 1'-0"



South West Elevation

SCALE: 3/16" = 1'-0"



Revisions: \_\_\_\_\_ By: \_\_\_\_\_

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**A Proposed Addition To The Fedele Residence**  
 455 Front Street, Lahaina, HI 96761  
 TMK: (2) 4-6-002-006-0000

Existing Main House Exterior Elevations

Date: 03-01-2010  
 Phase: Permit Set  
 Drawn:  
 Job: 09-FAL  
 Sheet Number:  
**A-2**  
 Total Sheet Count: #

- OR DRAINAGE COURSE IN A MANNER WHICH MINIMIZES SEDIMENTATION OTHER POLLUTION TO THE MAXIMUM EXTENT PRACTICABLE.
- DUST CONTROL: CONTROL DUST EMISSIONS TO THE MAXIMUM EXTENT PRACTICABLE THROUGH BMPs SUCH AS WATER SPRINKLING, DUST FENCES, LIMITING AREA OF DISTURBANCE AND TIMELY GRASSING OF FINISHED AREAS. VEGETATION: RETAIN NATURAL VEGETATION ESPECIALLY GRASSES, WHEREVER FEASIBLE. AVOID STORAGE OF CRUMBLED MATERIAL NEAR WATERCOURSES.
- SEDIMENT CONTROL: CAPTURE SEDIMENT TRANSPORTED IN RUNOFF TO MINIMIZE THE SEDIMENT FROM LEAVING THE SITE WITH METHODS SUCH AS BASINS, SEDIMENT TRAPS, SILT FENCES, SAND BAGS, AND VEGETATED FILTER STRIPS.
- MATERIAL AND WASTE MANAGEMENT: PROPERLY STORE TOXIC MATERIALS AND PREVENT THE DISCHARGE OF POLLUTANTS ASSOCIATED WITH CONSTRUCTION MATERIALS.
- TIMING OF CONTROL MEASURE IMPLEMENTATION: TIMING OF CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE APPROVED EROSION CONTROL PLAN. DISTURBED AREAS OF TWENTY- GRAVELED) BY ONE DAY OR MORE WILL BE STABILIZED (GRASSED OR NO LATER THAN THE FOURTEENTH DAY AFTER THE LAST DISTURBANCE.
- SHORELINE AREA: USE OF SOIL AS FILL IS PROHIBITED WITHIN ANY SHORELINE AREA. EXCEPT FOR SAND.
- COASTAL DUNE: GRADING OR MINING OF A COASTAL DUNE IS PROHIBITED.

INSTALL NEW SILT FENCE, DRAINAGE SYSTEM AND INSTALL SEDIMENT FILTER AT NEW AND EXISTING GRATE INLETS, CLEAN AND MAINTAIN FILTERS AS REQUIRED.

**PERMITTEE NOTES TO CONTROL DRAINAGE AND EROSION:**

- CONTROL DUST BY MEANS OF WATER WAGONS OR BY INSTALLING TEMPORARY SPRINKLER SYSTEMS OR BOTH IF NECESSARY.
- GRADED AREAS SHALL BE THOROUGHLY WATERED AFTER CONSTRUCTION ACTIVITY HAS CEASED FOR THE DAY AND FOR THE WEEKEND AND HOLIDAYS.
- ALL EXPOSED AREAS, GRASSES, OR PERMANENTLY LANDSCAPED AS SOON AS FINISHED GRADING IS COMPLETED.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR THE WATER NECESSARY FOR DUST CONTROL AND IRRIGATION PURPOSES.
- CONTRACTOR SHALL MAINTAIN TEMPORARY DRAINAGE SWALES AWAY FROM GRADED AREAS TO NATURAL DRAINAGEWAYS DURING CONSTRUCTION. CONTRACTOR SHALL MAINTAIN TEMPORARY DRAINAGE CONTROL PLAN TO MINIMIZE SOIL EROSION PRIOR TO AN ISSUANCE OF A GRADING PERMIT. SEE FOLLOWING ADDITIONAL NOTES.
- THE FOLLOWING ADDITIONAL MEASURES SHALL BE TAKEN TO CONTROL SOIL EROSION DURING THE SOIL DEVELOPMENT PERIOD:
  - MINIMIZE TIME OF EXPOSURE.
  - RETAIN EXISTING GROUND COVER UNTIL LATEST DATE TO COMPLETE CONSTRUCTION.
  - EARLY CONSTRUCTION OF DRAINAGE CONTROL FEATURES.
  - TEMPORARY AREA SPRINKLING SHALL BE IN PLACE AND OPERATIONAL DURING CONSTRUCTION PERIODS WHEN GROUND COVER IS REMOVED.
  - SECTION WATER CONTROL MEASURES SHALL BE IN PLACE AND OPERATIONAL TO PROVIDE FOR IMMEDIATE SPRINKLING, AS NEEDED, IN ACTIVE CONSTRUCTION AREAS.
  - ALL CUT AND FILL SLOPES SHALL BE PROVIDED WITH EROSION CONTROL BLANKETS AND BE SPURRED OR PLANTED IMMEDIATELY AFTER GRADING WORK HAS BEEN COMPLETED.
  - INSTALL DUST CONTROL FENCE. SILT FENCE CAN BE AUGMENTED BY PROVIDING CRUSHED ROCK BERMS WRAPPED IN GEOTECH FABRIC.
- THE CONTRACTOR IS THE SOLE PARTY RESPONSIBLE FOR THE ADEQUACY OF ALL TEMPORARY MEASURES TO PREVENT WORK FROM THE EFFECTS OF DUST AND EROSION. HE SHALL BE RESPONSIBLE FOR RESPONDING TO COMPLAINTS FROM NEIGHBORING PROPERTIES AND PROVIDING ADDITIONAL MITIGATION MEASURES AS NECESSARY AT NO ADDITIONAL COST TO OWNER.
- STORM WATER CONTROL MEASURES SHALL BE IN PLACE AND OPERATIONAL PRIOR TO CONSTRUCTION AND SHALL REMAIN OPERATIONAL THROUGHOUT THE CONSTRUCTION PERIOD OR UNTIL PERMANENT CONTROLS ARE IN PLACE. THIS WILL INCLUDE CONSTRUCTION OF THE PERMANENT DRAINAGE BASIN AS WELL AS TEMPORARY SITUATION BASINS THROUGHOUT THE SITE AND INCLUDES TEMPORARY BERMS AND/OR SWALES TO DIRECT RUNOFF TO THE SITUATION BASINS.
- DISCHARGES ASSOCIATED WITH THE OPERATION AND MAINTENANCE OF EQUIPMENT SHALL BE FIELD MONITORED BY THE CONTRACTOR. ANY MECHANICAL AND HYDRAULIC FLUID LEAKAGE SHALL BE REPAIRED AS SOON AS IT IS IDENTIFIED AND LOCATED. LARGE LEAKAGE OF MECHANICAL FLUIDS SHALL BE CONTAINED, PROPERLY DISPOSED AND NOT ALLOWED TO IMPACT THE OCEAN.
- DUST AND SILT FENCES SHOWN ARE MINIMUM REQUIREMENTS. CONTRACTOR SHALL LOCATE OR INSTALL ADDITIONAL FENCES AS NECESSARY TO PROVIDE MAXIMUM PROTECTION AT NO ADDITIONAL COST TO THE OWNER.
- PRIOR TO ISSUANCE OF THIS GRADING PERMIT, THE CONTRACTOR SHALL MEET WITH THE DEVELOPMENT SERVICES ADMINISTRATION AND PROVIDE INFORMATION ON THE SOURCE OF WATER FOR DUST CONTROL, AND IDENTIFY THE NUMBER OF WATER TRUCKS TO BE USED FOR THE CLEARING, GRADING, AND LOADING OPERATIONS. IF THE CONTRACTOR IS NOT ABLE TO SATISFACTORILY CONTROL DUST EMISSIONS FROM THE PROJECT SITE, ALL CONSTRUCTION WORK SHALL CEASE EXCEPT FOR WATERING AND OTHER STABILIZATION EFFORTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATELY CLEANING THE ROADWAY OF MUD OR SILT TRACKED FROM THE PROJECT SITE.

- NOTES**
- APPLICABLE SECTIONS, WHETHER CALLED FOR OR NOT ON THIS PLAN, OF THE COUNTY STANDARD BEST MANAGEMENT PRACTICES (STD. BMP'S), CONSTRUCTION BEST MANAGEMENT PRACTICES FOR THE COUNTY OF HAWAII, MAY 2001 SHALL BE COMPLIED WITH DURING THE DEVELOPMENT OF THIS PROJECT.
  - INSTALL DUST FENCE AS REQUIRED AT NO ADDITIONAL COST TO OWNER. LOCATE FENCES TO PROVIDE MAXIMUM PROTECTION. SEE STD. BMP'S SECTION 6.7.

**RECOMMENDED GENERAL SCHEDULE FOR IMPLEMENTING BMP'S:**

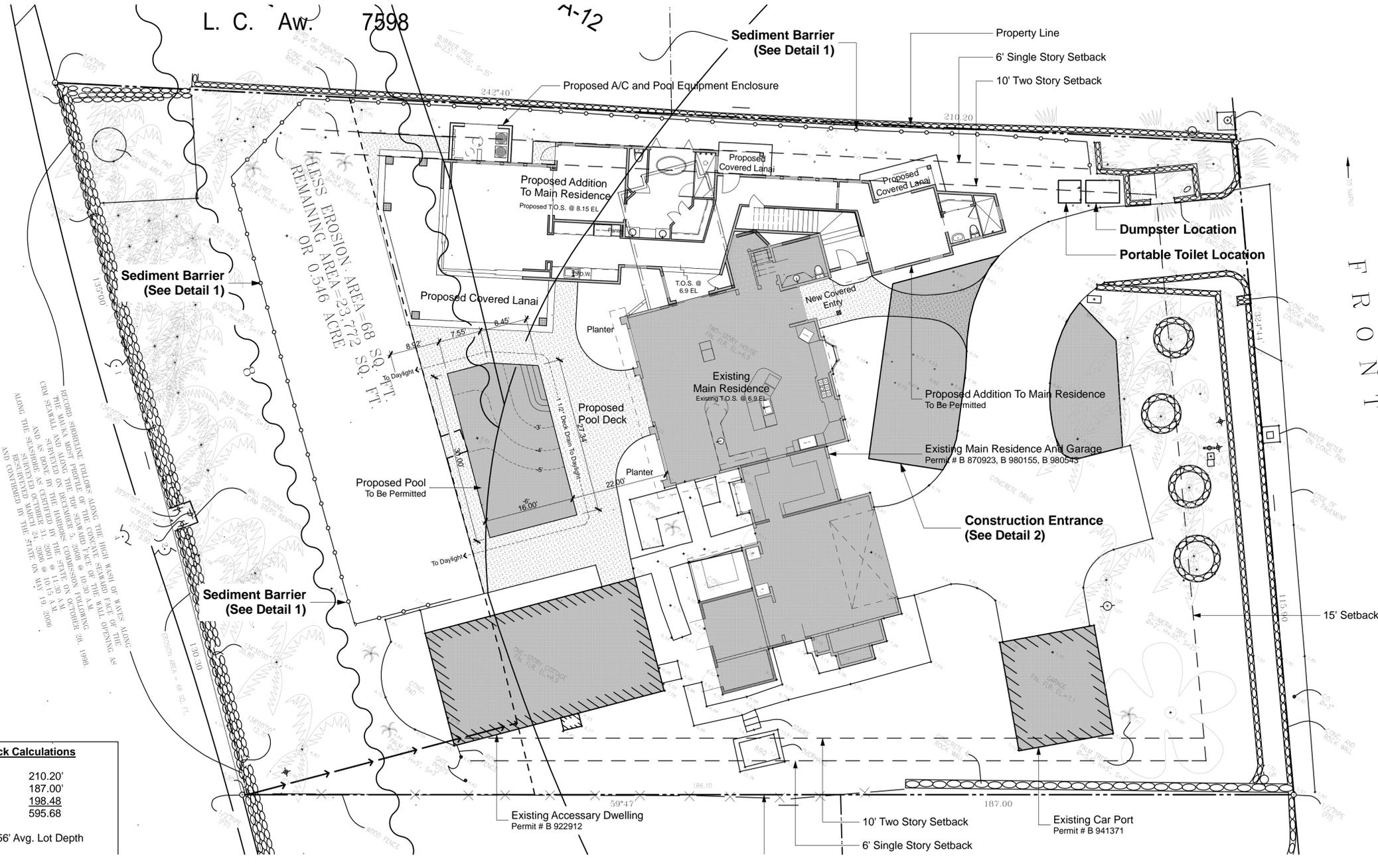
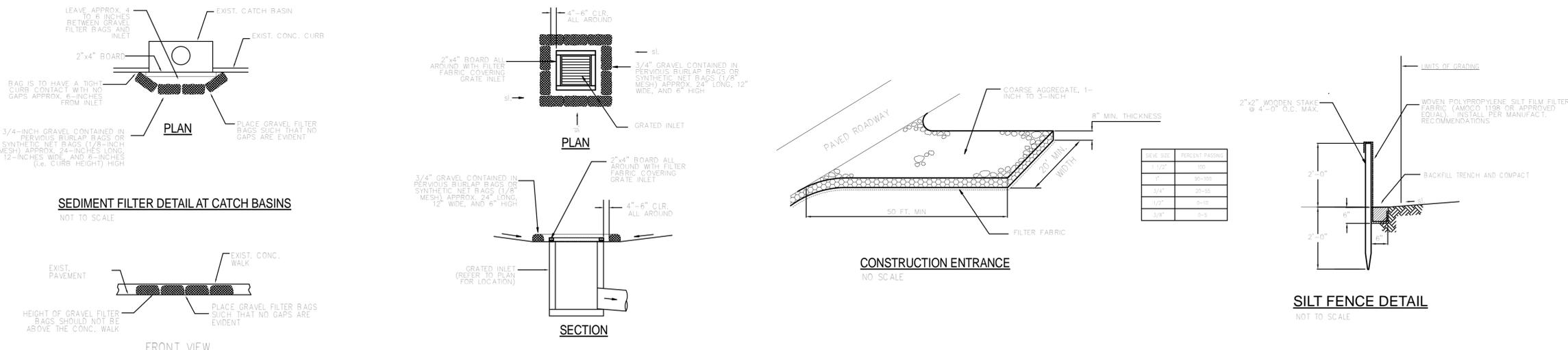
- CONSTRUCT TEMPORARY GRAVEL ACCESS ON TO EXISTING ROADWAYS
- ERECT SILT AND DUST FENCES.
- CONSTRUCT DRAINAGE BASINS AND TEMPORARY SILTING PONDS.
- CONSTRUCT TEMPORARY DRAINAGE SWALES AND BERMS TO DIRECT STORM RUNOFF AWAY FROM GRADED AREAS TO NATURAL DRAINAGEWAYS OR GROUND OR TO DRAINAGE BASINS AND TEMPORARY SITUATION PONDS.
- INSTALL DRAINAGE FACILITIES, PROVIDE SEDIMENT BARRIERS ON NEW G.D.'S, SEE STD. BMP'S SECTION 6.52
- GRADE PROJECT AREA AS PLANNED.
- GRASS AND/OR LANDSCAPE GRADED AREAS UNLESS TO BE PAVED. PROVIDE EROSION CONTROL BLANKET AS REQUIRED.

**Back Calculations**

210.20'
187.00'
198.48
595.68

3.56' Avg. Lot Depth

**BMP Plan**  
SCALE: 1" = 10'



Revisions: \_\_\_\_\_ By: \_\_\_\_\_

**KASPRZYCKI DESIGNS**  
Designing Homes For Hawaii

(808) 667-6116  
Fax (808) 667-7117  
kasprzyckidesigns@hawaii.rr.com

**JOEL N. CORPUZ**  
LICENSED PROFESSIONAL ENGINEER  
No. 11030-S  
HAWAII U.S.A.

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4-30-10  
Signature \_\_\_\_\_ Expiration Date Of License \_\_\_\_\_

**A Proposed Addition To The Fedele Residence**  
455 Front Street, Lahaina, HI 96761  
TMK: (2) 4-6-002-006-0000

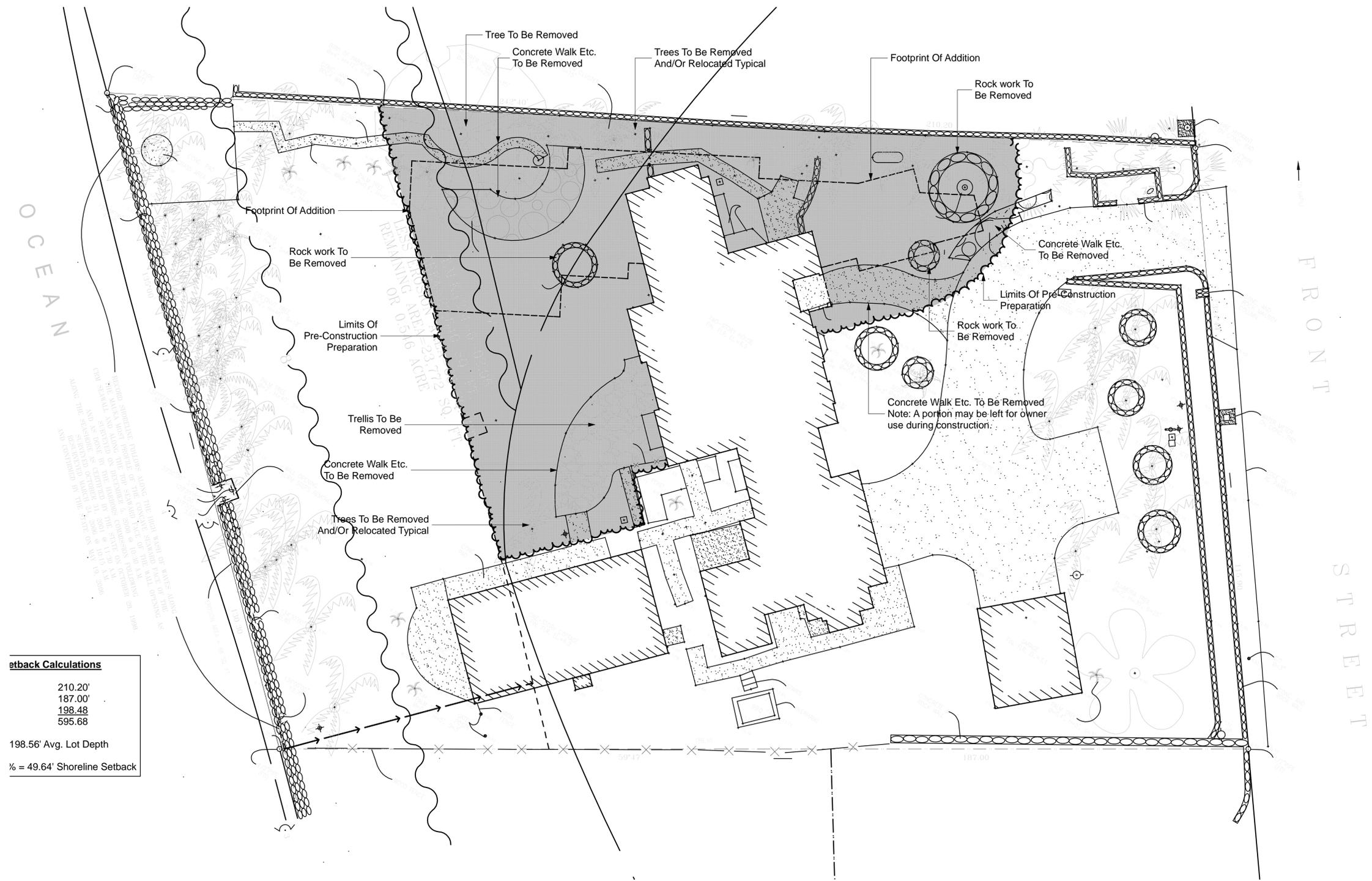
Date: 6-18-2012  
Phase: Permit Set  
Drawn:  
Job: 09-FAL  
Sheet Number: A-3

Total Sheet Count: #

**BMP Plan**

Date: 6-18-2012  
Phase: Permit Set  
Drawn:  
Job: 09-FAL  
Sheet Number: A-3

Total Sheet Count: #



**Setback Calculations**

210.20'
187.00'
198.48
595.68

198.56' Avg. Lot Depth  
 1/6 = 49.64' Shoreline Setback

**Pre-Construction Site Preparation Plan**  
 SCALE: 1" = 10'

Revisions: \_\_\_\_\_ By: \_\_\_\_\_

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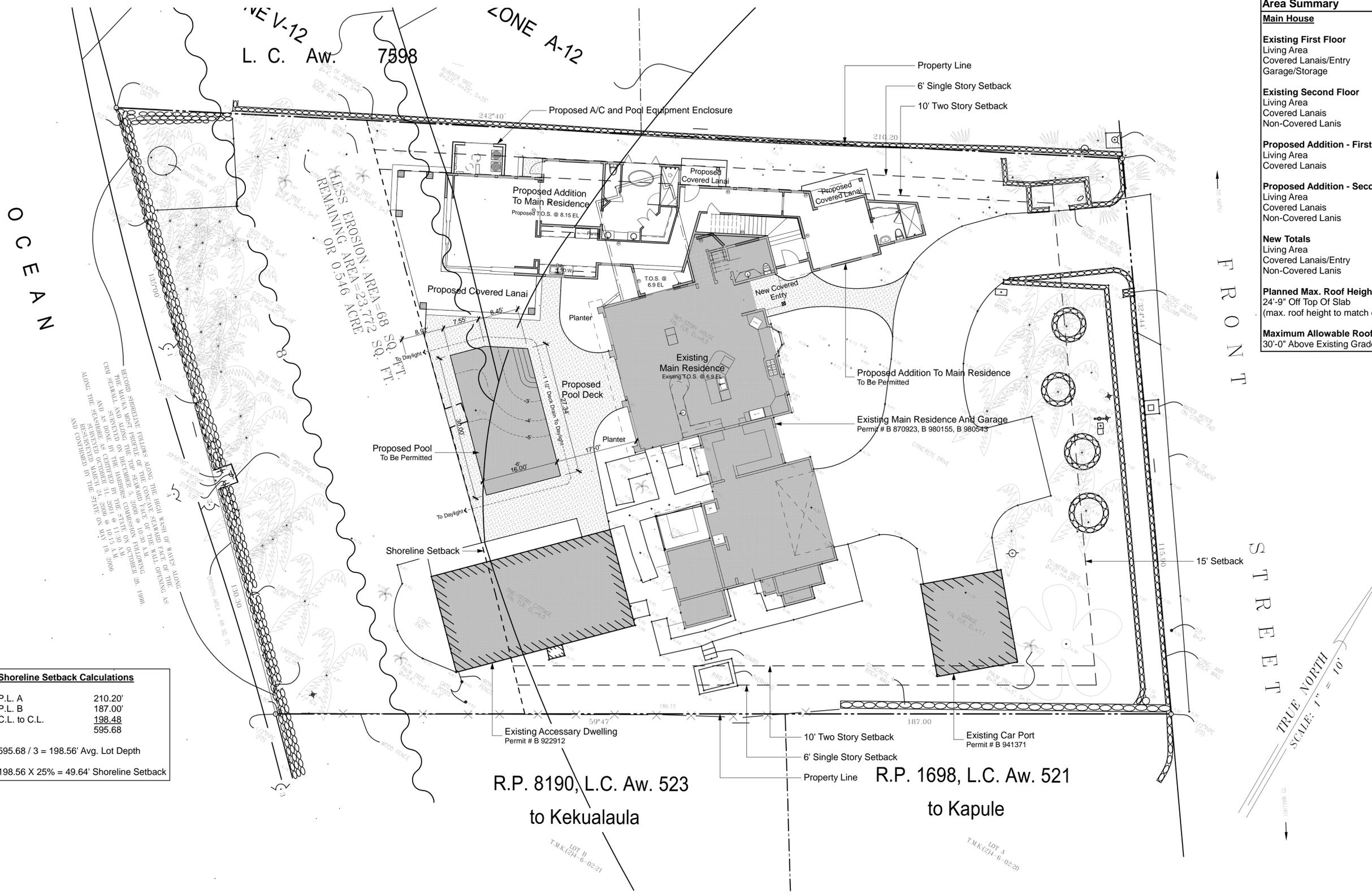
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 TMK: (2) 4-6-002-006-0000

**Pre Construction Site Preparation Plan**

Date: 6-18-2012  
 Phase: Permit Set  
 Drawn:  
 Job: 09-FAL  
 Sheet Number:  
**A-4**  
 Total Sheet Count: #



**Shoreline Setback Calculations**

P.L. A	210.20'
P.L. B	187.00'
C.L. to C.L.	198.48
	595.68

595.68 / 3 = 198.56' Avg. Lot Depth  
 198.56 X 25% = 49.64' Shoreline Setback

**Area Summary**

<b>Main House</b>	
<b>Existing First Floor</b>	
Living Area	1316.35 sq.ft.
Covered Lanais/Entry	39.17 sq.ft.
Garage/Storage	769.35 sq.ft.
<b>Existing Second Floor</b>	
Living Area	876.03 sq.ft.
Covered Lanais	96.76 sq.ft.
Non-Covered Lanis	238.34 sq.ft.
<b>Proposed Addition - First Floor</b>	
Living Area	1742.71 sq.ft.
Covered Lanais	388.28 sq.ft.
<b>Proposed Addition - Second Floor</b>	
Living Area	1570.12 sq.ft.
Covered Lanais	274.00 sq.ft.
Non-Covered Lanis	114.28 sq.ft.
<b>New Totals</b>	
Living Area	5505.21 sq.ft.
Covered Lanais/Entry	798.21 sq.ft.
Non-Covered Lanis	352.62 sq.ft.
<b>Planned Max. Roof Height - Main House</b>	
24'-9" Off Top Of Slab	
(max. roof height to match existing residence)	
<b>Maximum Allowable Roof Height</b>	
30'-0" Above Existing Grade	

Revisions: \_\_\_\_\_ By: \_\_\_\_\_

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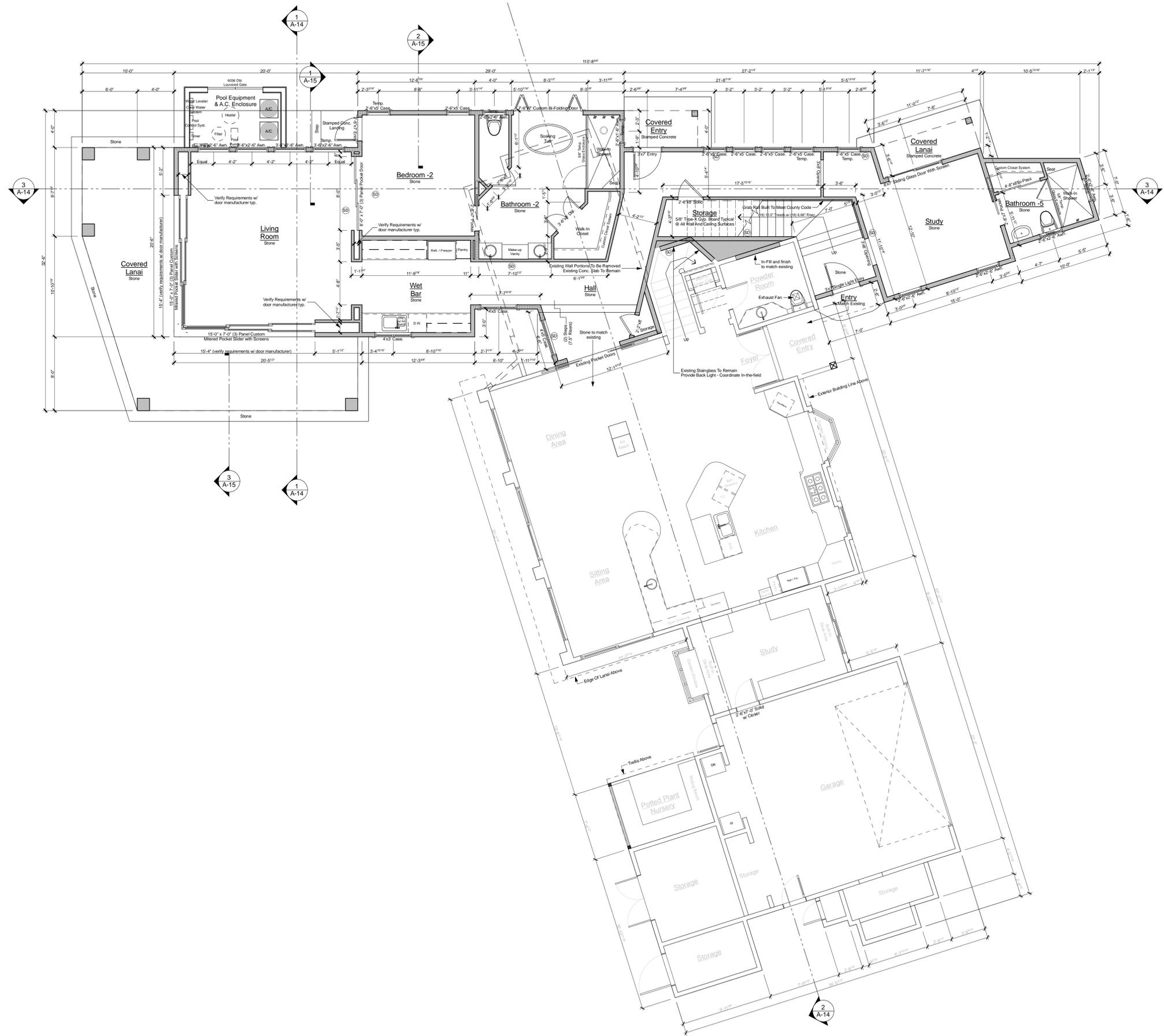
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**A Proposed Addition To The Fedele Residence**  
 455 Front Street, Lahaina, HI 96761  
 TMK: (2) 4-6-002-006-0000

**Site Plan With Proposed Addition and Swimming Pool**

Date: 6-18-2012  
 Phase: Permit Set  
 Drawn:  
 Job: 09-FAL  
 Sheet Number: **A-5**  
 Total Sheet Count: #

Site Plan With Proposed Addition and Swimming Pool  
 SCALE: 1" = 10'



First Floor Plan With Proposed Addition  
 SCALE: 3/16" = 1'-0"



Revisions: \_\_\_\_\_ By: \_\_\_\_\_

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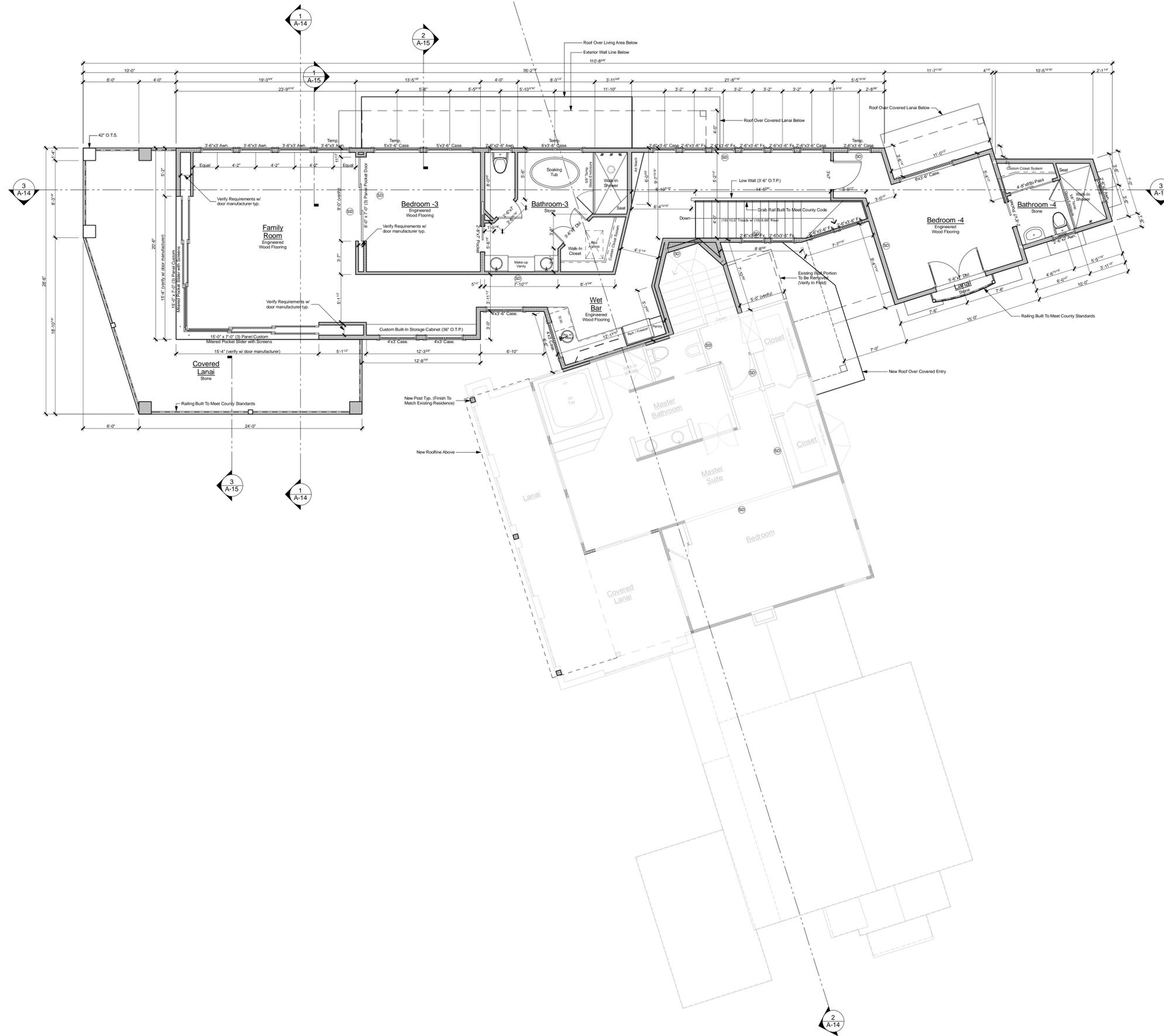
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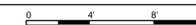
**A Proposed Addition To The Fedele Residence**  
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 TMK: (2) 4-6-002-006-0000

**Proposed Main House First Floor Plan**

Date: 03-01-2010  
 Phase: Permit Set  
 Drawn: \_\_\_\_\_  
 Job: 09-FAL  
 Sheet Number: **A-6**  
 Total Sheet Count: #



Second Floor Plan With Proposed Addition  
 SCALE: 3/16" = 1'-0"



Revisions: \_\_\_\_\_ By: \_\_\_\_\_

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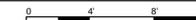
**Proposed Main House Second Floor Plan**

Date: 03-01-2010  
 Phase: Permit Set  
 Drawn:  
 Job: 09-FAL  
 Sheet Number:



First Floor Ceiling Plan

SCALE: 3/16" = 1'-0"



Revisions: By:

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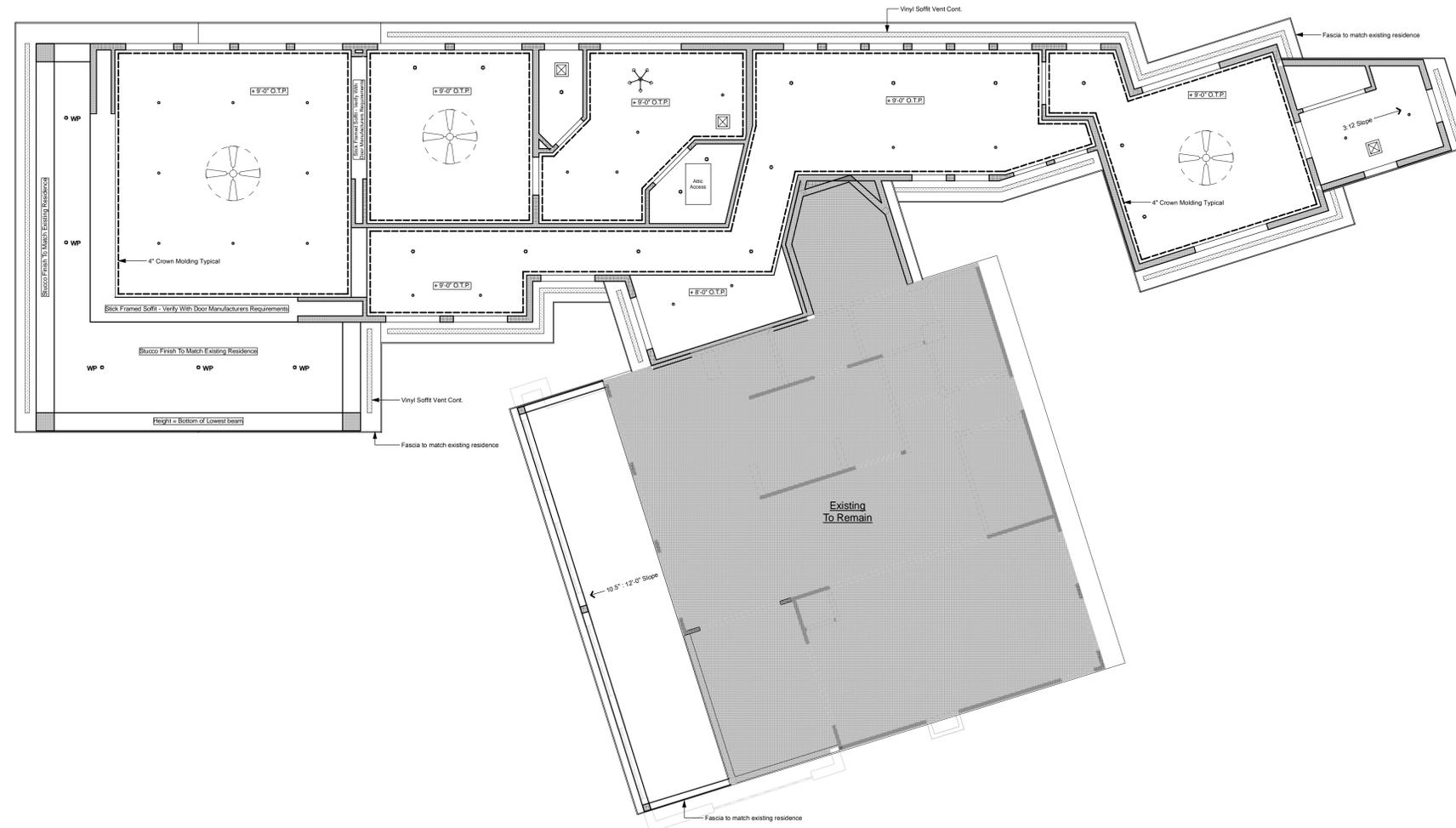
Signature: \_\_\_\_\_ Expiration Date Of License: 4-30-10

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 TMK: (2) 4-6-002-006-0000

**Main House Addition First Floor Reflected Ceiling Plan**

Date: 03-01-2010  
 Phase: Permit Set  
 Drawn:  
 Job: 09-FAL  
 Sheet Number:

**A-8**  
 Total Sheet Count: #



Second Floor Ceiling Plan

SCALE: 3/16" = 1'-0"



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<small>4-30-10</small>	
<small>Signature      Expiration Date Of License</small>	

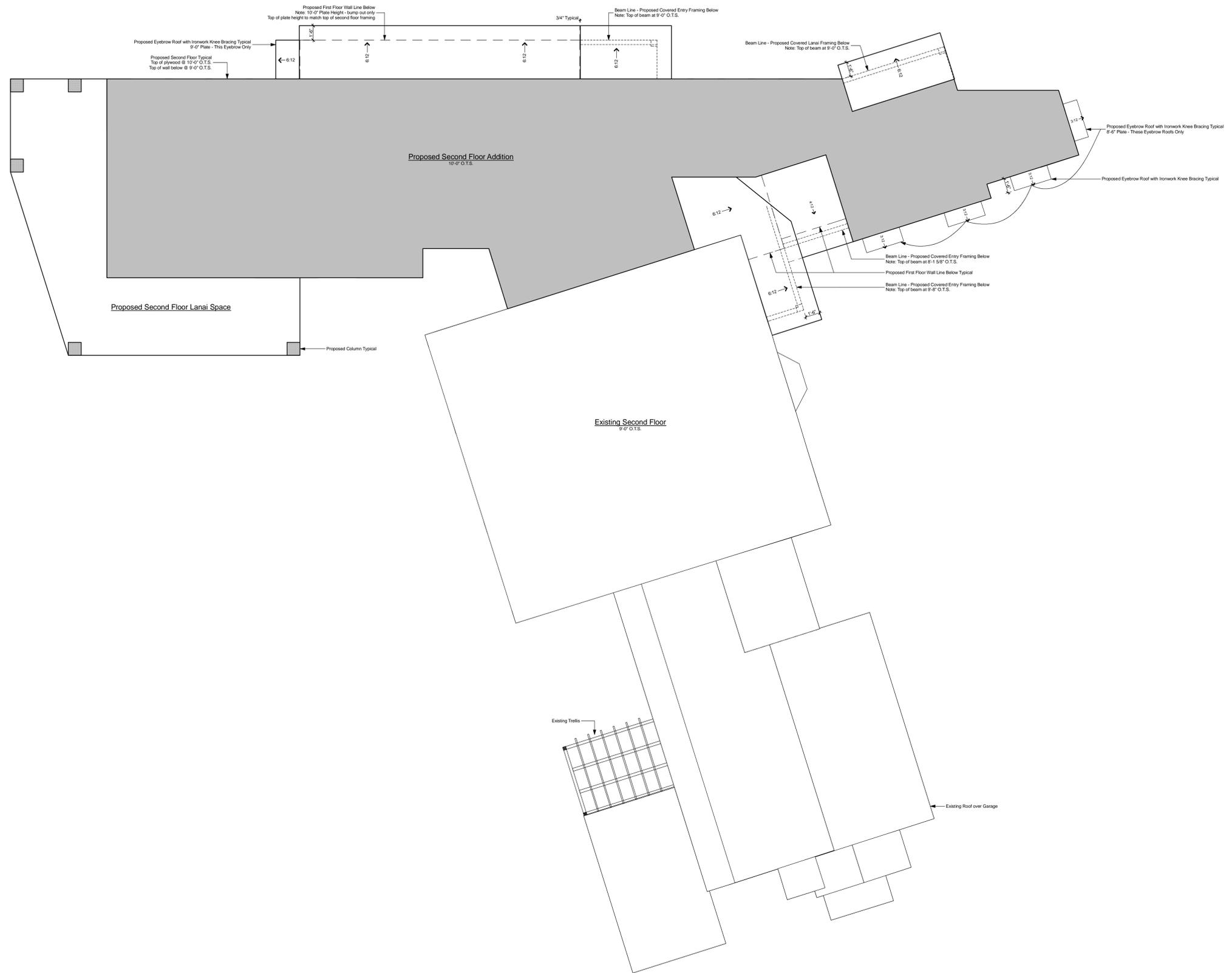
**A Proposed Addition To The Fedele Residence**  
455 Front Street, Lahaina, HI 96761  
TMK: (2) 4-6-002-006-0000

**Main House Addition Second Floor Reflected Ceiling Plan**

Date: 03-01-2010  
Phase: Permit Set  
Drawn:  
Job: 09-FAL  
Sheet Number:

A-9

Total Sheet Count: #



First Floor Roof Plan  
 SCALE: 3/16" = 1'-0"

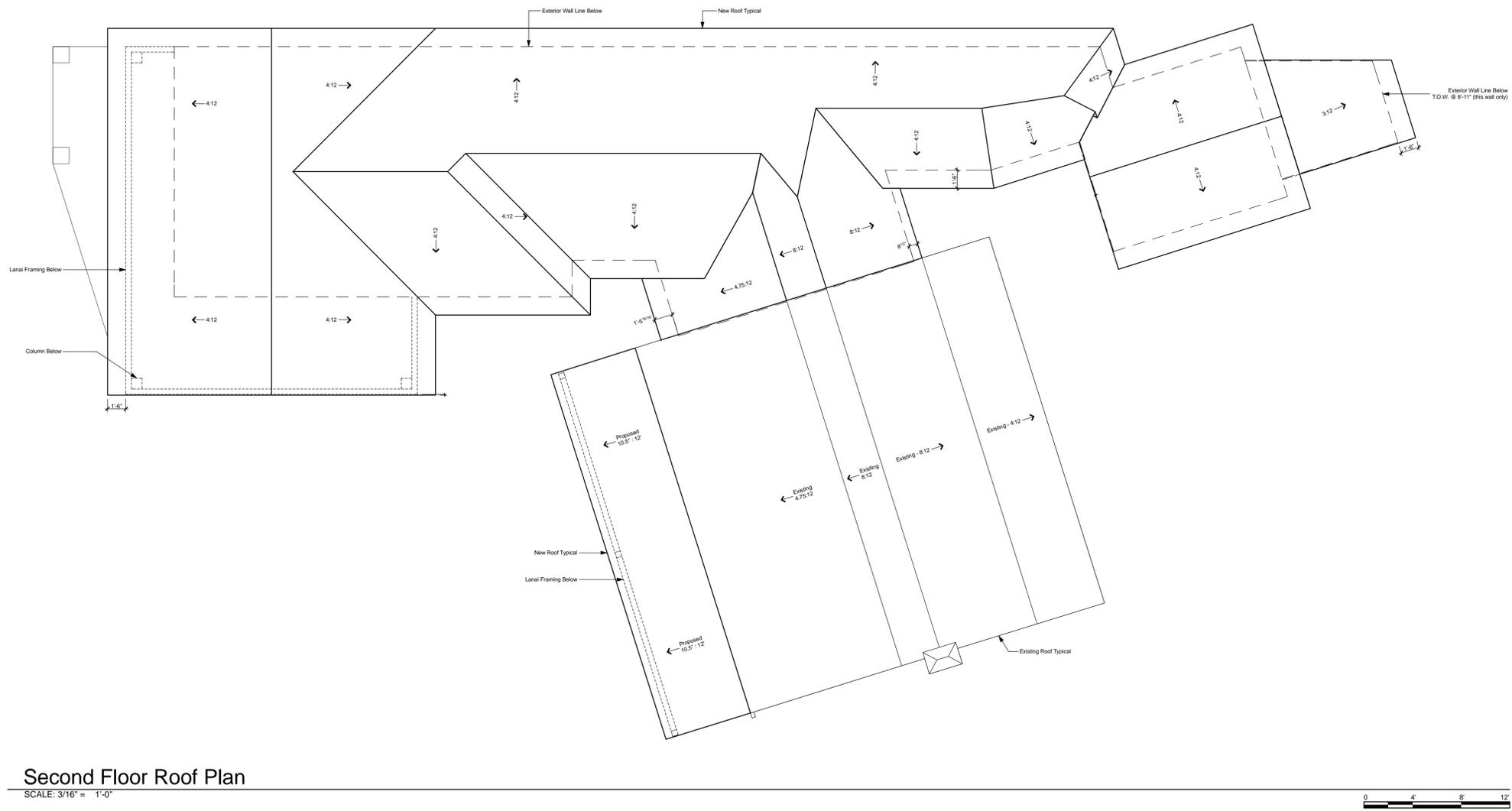
Revisions: \_\_\_\_\_ By: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
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 Fax (808) 667-7117  
 kasprzyckidesigns@hawaii.rr.com

JOEL N. CORPUZ  
 LICENSED PROFESSIONAL ENGINEER  
 No. 11030-S  
 HAWAII U.S.A.  
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 4-30-10  
 Signature \_\_\_\_\_ Expiration Date Of License \_\_\_\_\_

**A Proposed Addition To The Fedele Residence**  
 455 Front Street, Lahaina, HI 96761  
 TMK: (2) 4-6-002-006-0000

**Proposed Main House First Floor Roof Plan**

Date: 03-01-2010  
 Phase: Permit Set  
 Drawn:  
 Job: 09-FAL  
 Sheet Number:  
**A-10**  
 Total Sheet Count: #



Revisions:	By:
<b>KASPRZYCKI DESIGNS</b>	
Designing Homes For Hawaii	
(808) 667-6116 Fax (808) 667-7117 kasprzyckidesigns@hawaii.rr.com	
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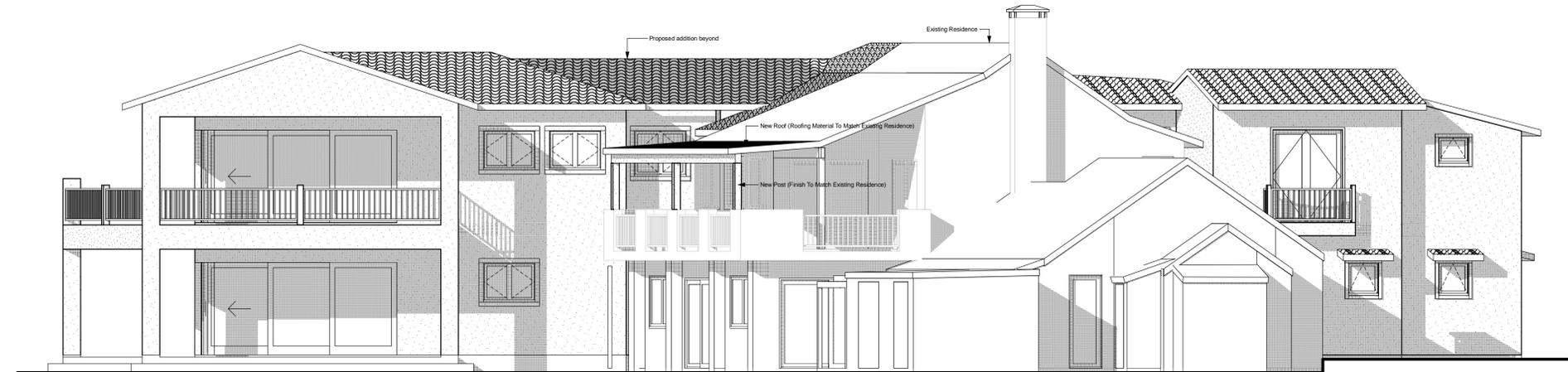
**A Proposed Addition To The Fedele Residence**  
 455 Front Street, Lahaina, HI 96761  
 TMK: (2) 4-6-002-006-0000

**Proposed Main House Second Floor Roof Plan**

Date: 03-01-2010  
 Phase: Permit Set  
 Drawn:  
 Job: 09-FAL  
 Sheet Number:  
**A-11**  
 Total Sheet Count: #



**East Elevation**  
SCALE: 3/16" = 1'-0"



**South Elevation**  
SCALE: 3/16" = 1'-0"

Revisions: \_\_\_\_\_ By: \_\_\_\_\_

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Designing Homes For Hawaii  
(808) 667-6116  
Fax (808) 667-7117  
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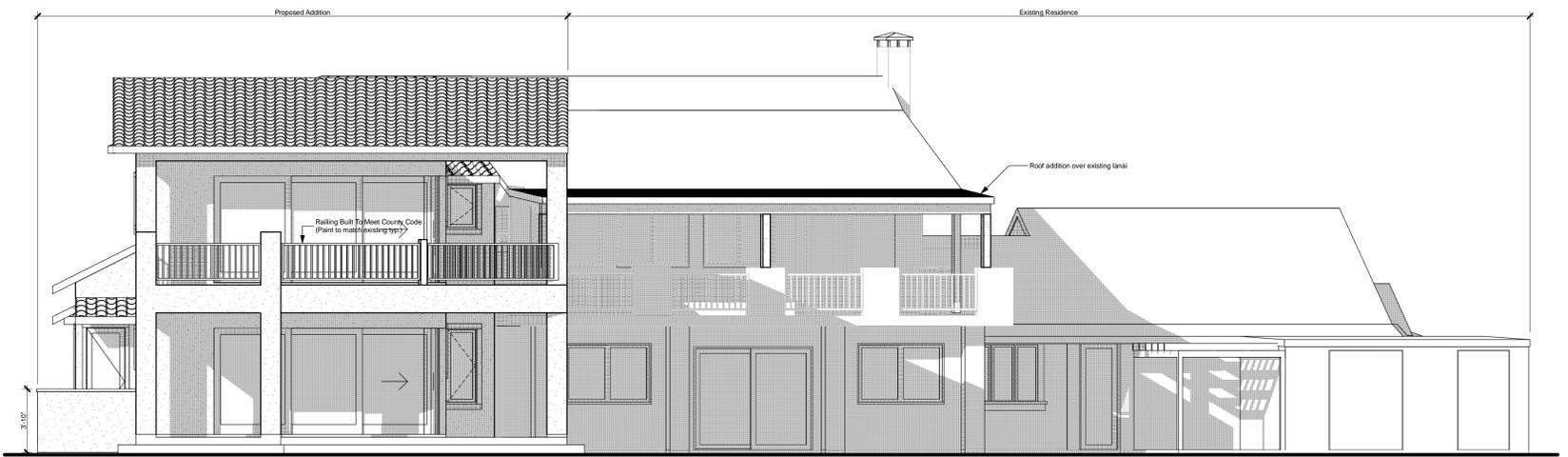
4-30-10  
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**A Proposed Addition To The Fedele Residence**  
455 Front Street, Lahaina, HI 96761  
TMK: (2) 4-6-002-006-0000

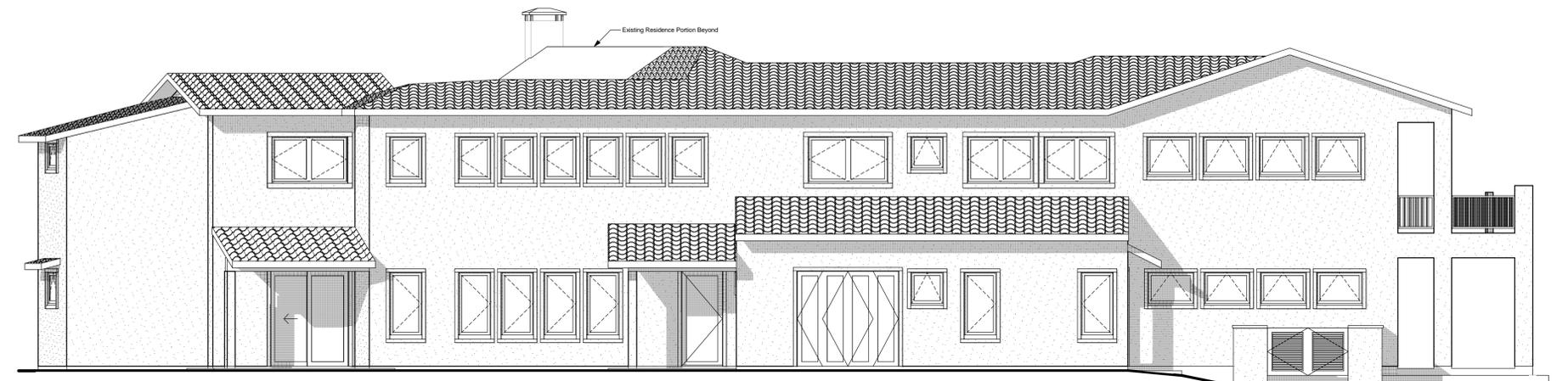
**Proposed Exterior Elevations**

Date: 03-01-2010  
Phase: Permit Set  
Drawn:  
Job: 09-FAL  
Sheet Number:  
**A-12**  
Total Sheet Count: #

Revisions:	By:
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**West Elevation**  
SCALE: 3/16" = 1'-0"



**North Elevation**  
SCALE: 3/16" = 1'-0"

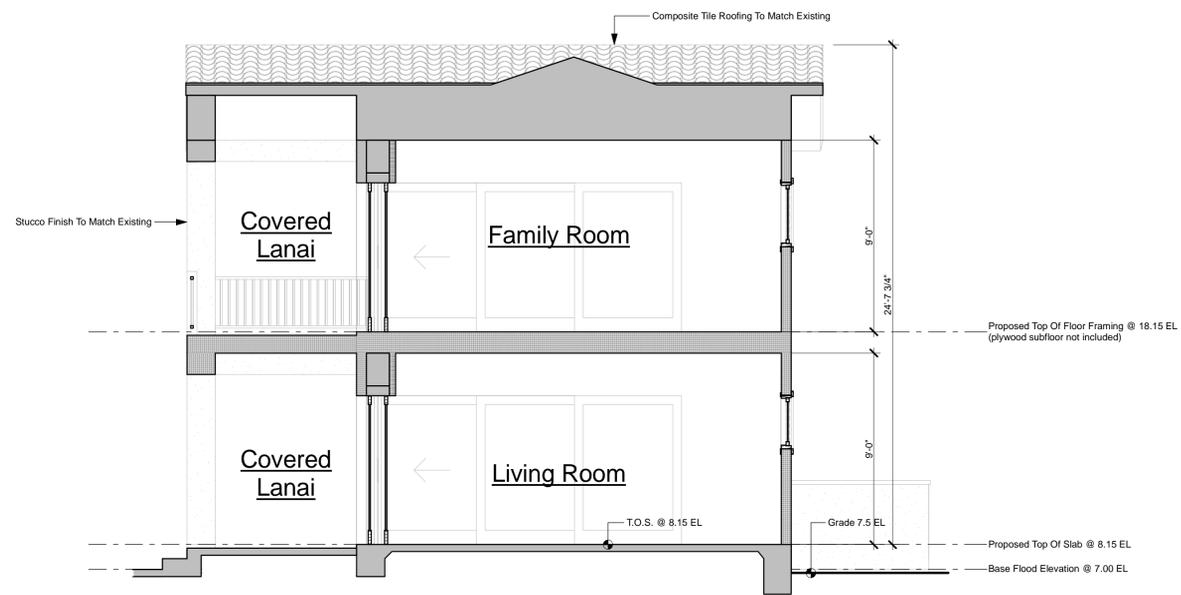
**A Proposed Addition To The Fedele Residence**  
 455 Front Street, Lahaina, HI 96761  
 TMK: (2) 4-6-002-006-0000

**Proposed Exterior Elevations**

Date: 03-01-2010  
 Phase: Permit Set  
 Drawn:  
 Job: 09-FAL  
 Sheet Number:

A-13

Total Sheet Count: #



**1** Sect Bldg A  
 SCALE: 1/4" = 1'-0"



**2** Sect Bldg B  
 SCALE: 1/4" = 1'-0"



**3** Sect Bldg C  
 SCALE: 1/4" = 1'-0"

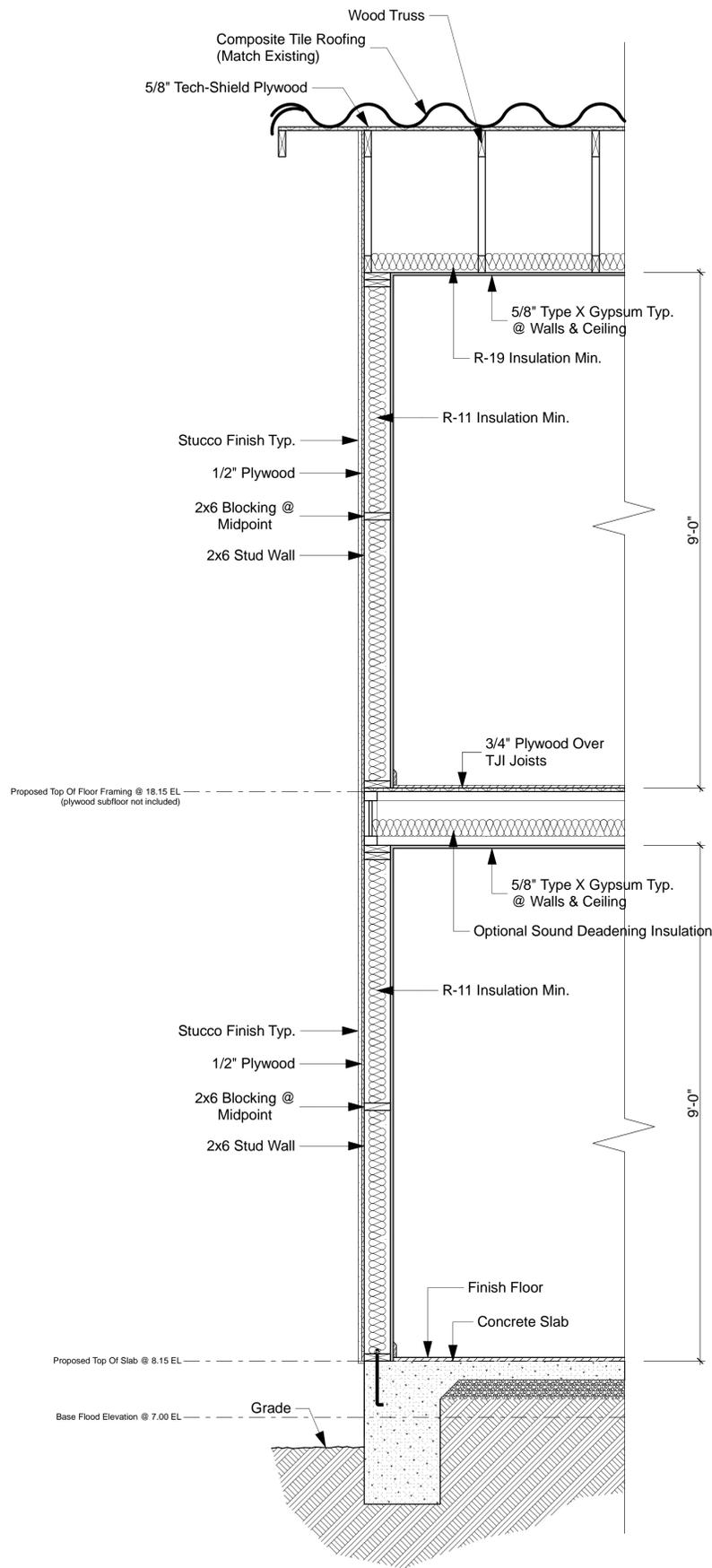
**A Proposed Addition To The Fedele Residence**  
 455 Front Street, Lahaina, HI 96761  
 TMK: (2) 4-6-002-006-0000

**Building Sections**

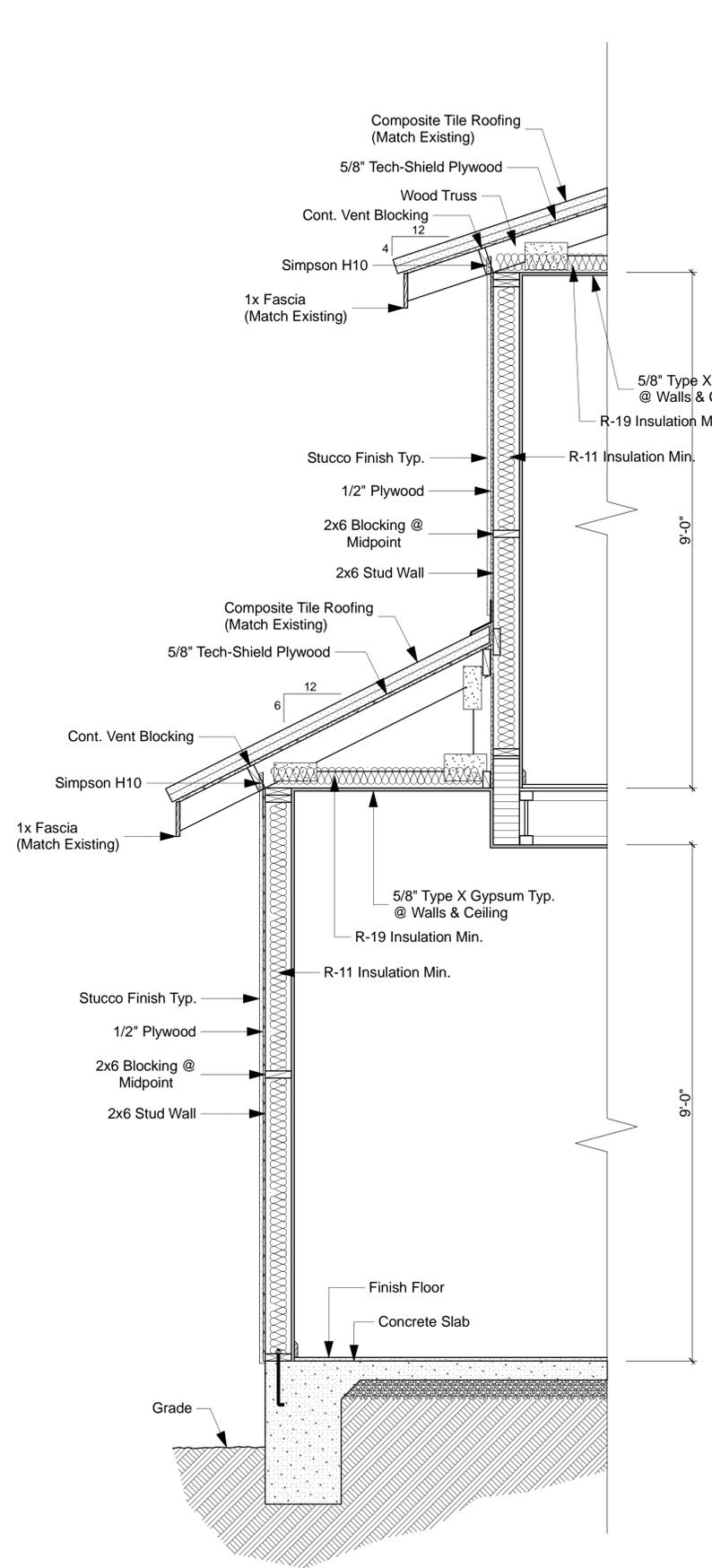
Date: 03-01-2010  
 Phase: Permit Set  
 Drawn:  
 Job: 09-FAL  
 Sheet Number:

**A Proposed Addition To The Fedele Residence**  
 455 Front Street, Lahaina, HI 96761  
 TMK: (2) 4-6-002-006-0000

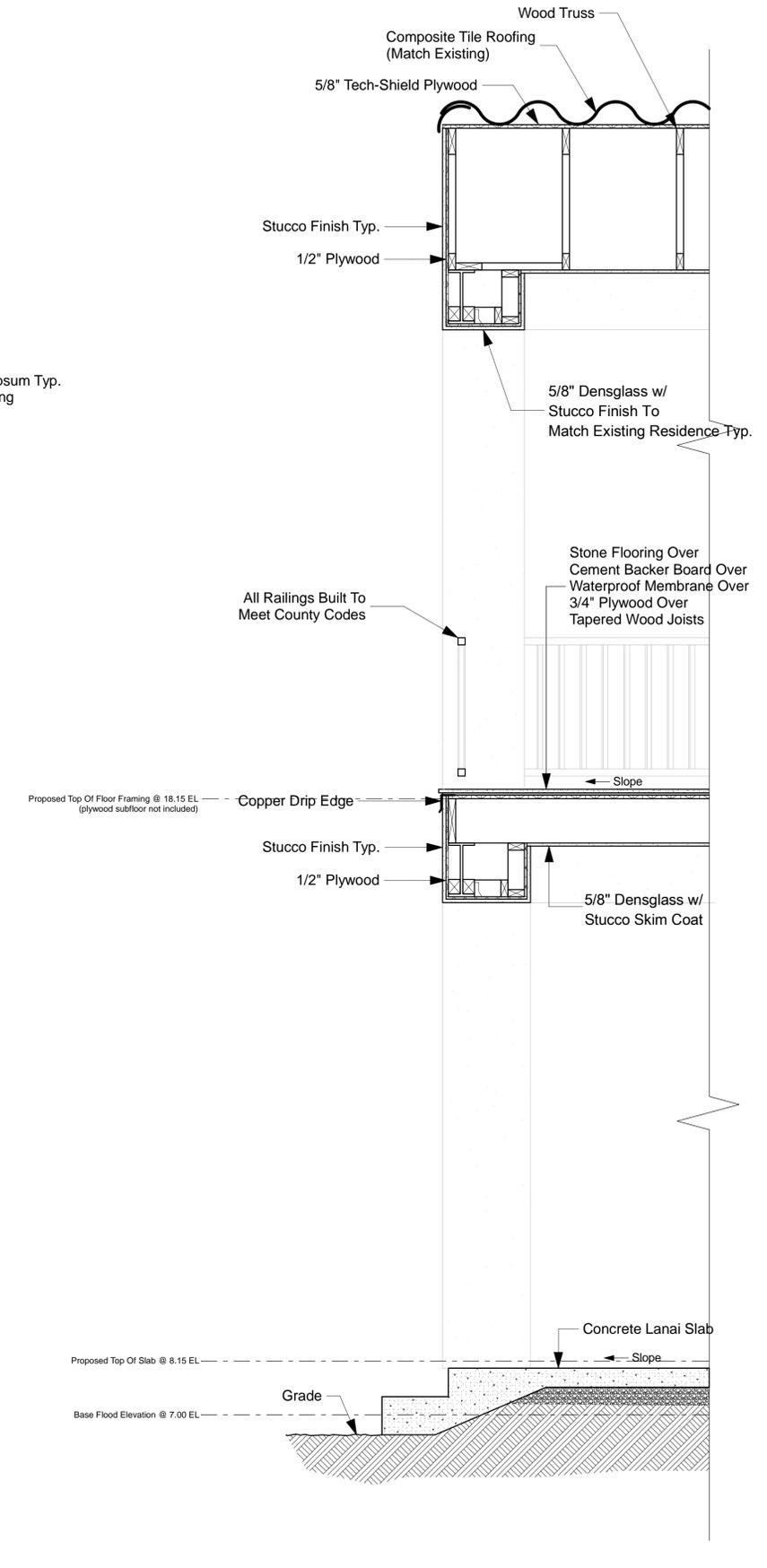
**Wall Sections**



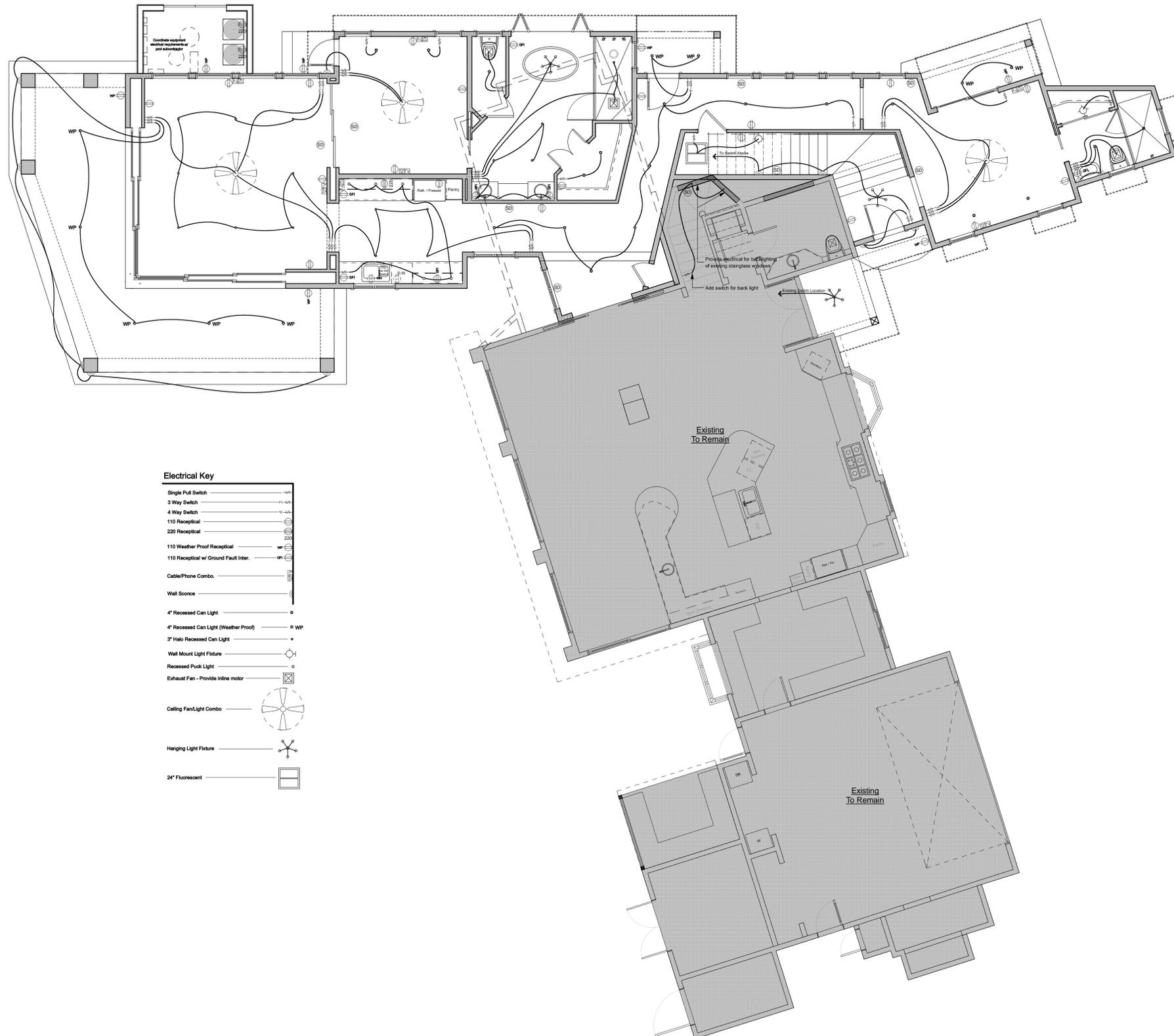
**1** Typical Wall Section  
 SCALE: 3/4" = 1'-0"



**2** Wall Section  
 SCALE: 3/4" = 1'-0"



**3** Lanai Wall Section  
 SCALE: 3/4" = 1'-0"



**Electrical Key**

Single Pull Switch	⎓
3 Way Switch	⎓
4 Way Switch	⎓
110 Receptical	⏏
220 Receptical	⏏
110 Weather Proof Receptical	⏏ WP
110 Receptical w/ Ground Fault Inter.	⏏
Cable/Phone Combo.	⏏
Wall Sconce	⏏
4" Recessed Can Light	⦿
4" Recessed Can Light (Weather Proof)	⦿ WP
3" Halo Recessed Can Light	⦿
Wall Mount Light Fixture	⦿
Recessed Puck Light	⦿
Exhaust Fan - Provides inline motor	⦿
Ceiling Fan/Light Combo	⦿
Hanging Light Fixture	⦿
24" Fluorescent	⦿

**First Floor Addition - Electrical & Lighting Plan**

SCALE: 3/16" = 1'-0"



Revisions: \_\_\_\_\_ By: \_\_\_\_\_

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 Designing Homes For Hawaii  
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 Fax (808) 667-7117  
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 No. 11030-S  
 HAWAII U.S.A.

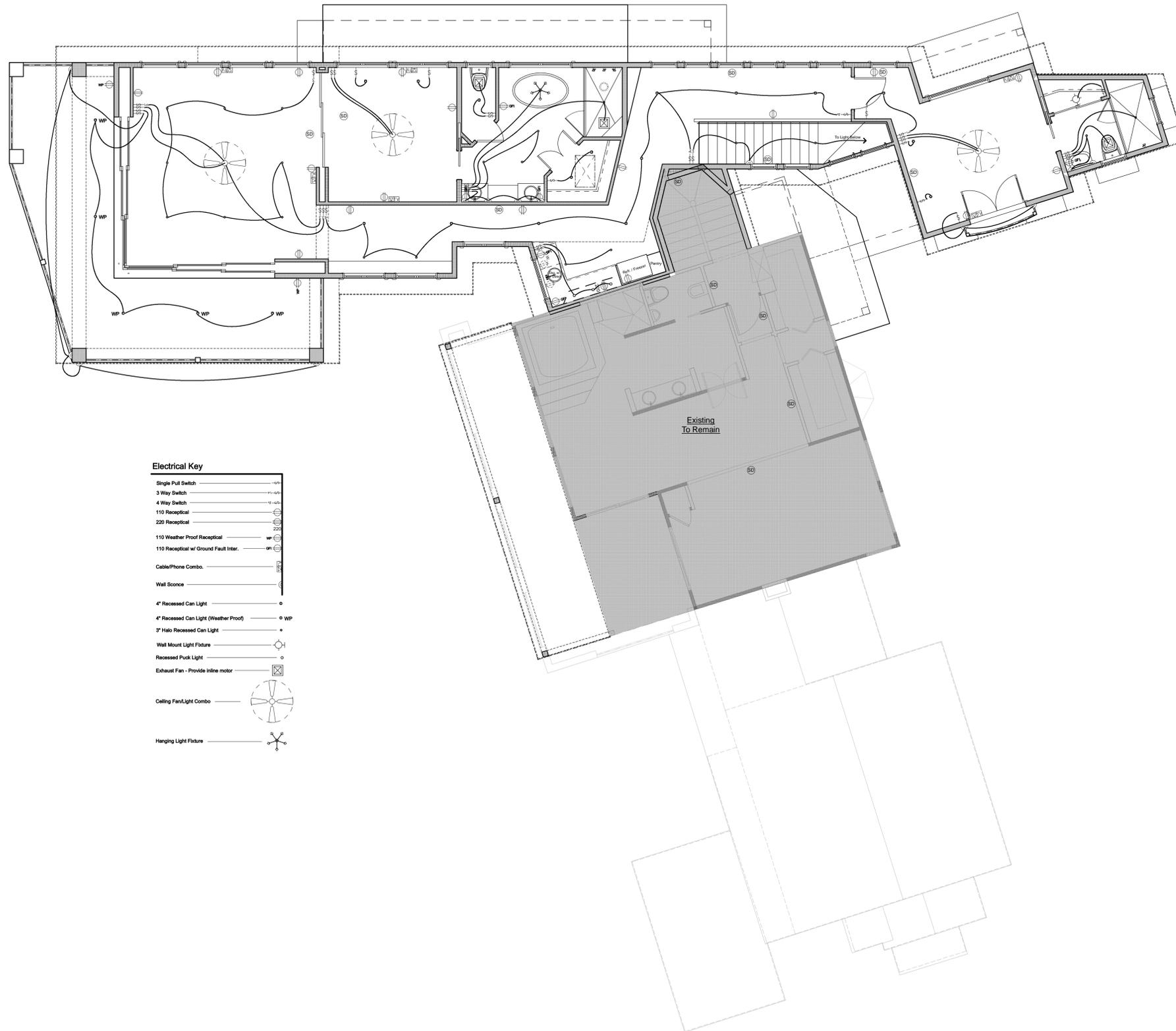
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**A Proposed Addition To The Fedele Residence**  
 455 Front Street, Lahaina, HI 96761  
 TMK: (2) 4-6-002-006-0000

**Main House Addition - First Floor Addition Electrical/Lighting Plan**

Date: 03-01-2010  
 Phase: Permit Set  
 Drawn:  
 Job: 09-FAL  
 Sheet Number:



**Electrical Key**

Single Pull Switch	
3 Way Switch	
4 Way Switch	
110 Receptical	
220 Receptical	
110 Weather Proof Receptical	
110 Receptical w/ Ground Fault Inter.	
Cable/Phone Combo.	
Wall Sconce	
4" Recessed Can Light	
4" Recessed Can Light (Weather Proof)	
3" Halo Recessed Can Light	
Wall Mount Light Fixture	
Recessed Puck Light	
Exhaust Fan - Provide inline motor	
Ceiling Fan/Light Combo	
Hanging Light Fixture	

**Second Floor Addition - Electrical & Lighting Plan**

SCALE: 3/16" = 1'-0"



Revisions: \_\_\_\_\_ By: \_\_\_\_\_

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 Fax (808) 667-7117  
 kasprzyckidesigns@hawaii.rr.com

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 LICENSED PROFESSIONAL ENGINEER  
 No. 11030-S  
 HAWAII U.S.A.

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Signature: \_\_\_\_\_ Expiration Date Of License: 4-30-10

**A Proposed Addition To The Fedele Residence**  
 455 Front Street, Lahaina, HI 96761  
 TMK: (2) 4-6-002-006-0000

**Main House Addition - Second Floor Addition Electrical/Lighting Plan**

Date: 03-01-2010  
 Phase: Permit Set  
 Drawn: \_\_\_\_\_  
 Job: 09-FAL  
 Sheet Number: **E-2**  
 Total Sheet Count: #



**Appendix B:  
Monitoring Plan  
Approval Letter**



NEIL ABERCROMBIE  
GOVERNOR OF HAWAII



STATE OF HAWAII  
DEPARTMENT OF LAND AND NATURAL RESOURCES

STATE HISTORIC PRESERVATION DIVISION  
601 KAMOKILA BOULEVARD, ROOM 555  
KAPOLEI, HAWAII 96707

WILLIAM J. AILA, JR.  
INTERIM CHAIRPERSON  
BOARD OF LAND AND NATURAL RESOURCES  
COMMISSION ON WATER RESOURCE MANAGEMENT

GUY KAULUKUKUI  
INTERIM FIRST DEPUTY

WILLIAM M. TAM  
INTERIM DEPUTY DIRECTOR - WATER

AQUATIC RESOURCES  
BOATING AND OCEAN RECREATION  
BUREAU OF CONVEYANCES  
COMMISSION ON WATER RESOURCE MANAGEMENT  
CONSERVATION AND COASTAL LANDS  
CONSERVATION AND RESOURCES ENFORCEMENT  
ENGINEERING

FORESTRY AND WILDLIFE  
HISTORIC PRESERVATION  
KAHOOLAWE ISLAND RESERVE COMMISSION  
LAND  
STATE PARKS

December 22, 2010

Allison Chun, Ph.D.  
Affordable Cultural & Ecological Services, LLC  
56 Piipaa Place  
Makawao, Hawaii 96768

LOG NO: 2010.3631  
DOC NO: 1012MD41  
Archaeology

Dear Dr. Chun:

**SUBJECT: Chapter 6E-42 Historic Preservation Review –  
Archaeological Monitoring Plan for a 0.547 Acre Lot  
Ku‘ia Ahupua‘a, Lāhainā District, Island of Maui  
TMK: (2) 4-6-002:006**

This letter reviews the aforementioned plan (Chun and Dillon November 2010; *Archaeological Monitoring Plan for Scheduled and Future On-site and/or Off-site Improvements Associated with an 0.547 Acre Lot, TMK [2] 4-6-002:006, Ku‘ia Ahupua‘a, Lāhainā District, Maui Island/ACES*), which we received on November 5, 2010.

This plan will provide guidance for archaeological monitoring during planned construction in order to fulfill requirements for an environmental assessment (EA) currently being developed by the owner Mr. Joseph Fedele. SHPD recommended submittal of this plan in prior correspondence during early consultation (*Log No. 2007.3721, Doc No. 0804JP23 and Log No. 2010.1226, Doc No. 1008MD41*). This parcel was originally LCAw. 404 and is located on the coast along Front Street in the Lāhainā Historic District. The property is currently developed with an existing house; planned construction will include an addition to the existing house and new structures including a pool and pool deck.

This plan is accepted as final pursuant to HAR §13-279. Upon receipt of this letter please submit one paper copy of your report marked "Final" to our Kapolei office along with a CD containing a searchable pdf version of the final report and a copy of this approval letter, marked to the attention of the "Kapolei Library." If you have questions about this letter please contact Morgan Davis at (808) 243-5169 or via email to: [morgan.e.davis@hawaii.gov](mailto:morgan.e.davis@hawaii.gov).

Aloha,

A handwritten signature in black ink, appearing to read "Theresa K. Donham".

Theresa K. Donham  
Acting Archaeology Branch Chief  
State Historic Preservation Division



**Appendix C:  
Cultural Impact  
Assessment Report**



**455 Front Street  
Cultural Impact Assessment**

Prepared  
for  
Joseph Fedele

By  
Jill Engledow

October 2010-January 2011

455 Front Street  
Cultural Impact Assessment

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Report Methodology/Resource Materials Reviewed.....7  
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## FIGURES

Figure 1. Lower Wainee ahupua‘a in the 1840s, showing the large Loko o Mokuhinia. Map taken from *Moku‘ula, Maui’s Sacred Island*, by Christiaan P. Kleiger.

Figure 2. “Hale Pa‘i map” of unknown date and origin.

Figure 3. Plaque marking the site of the first Catholic Mass on Maui in 1841.



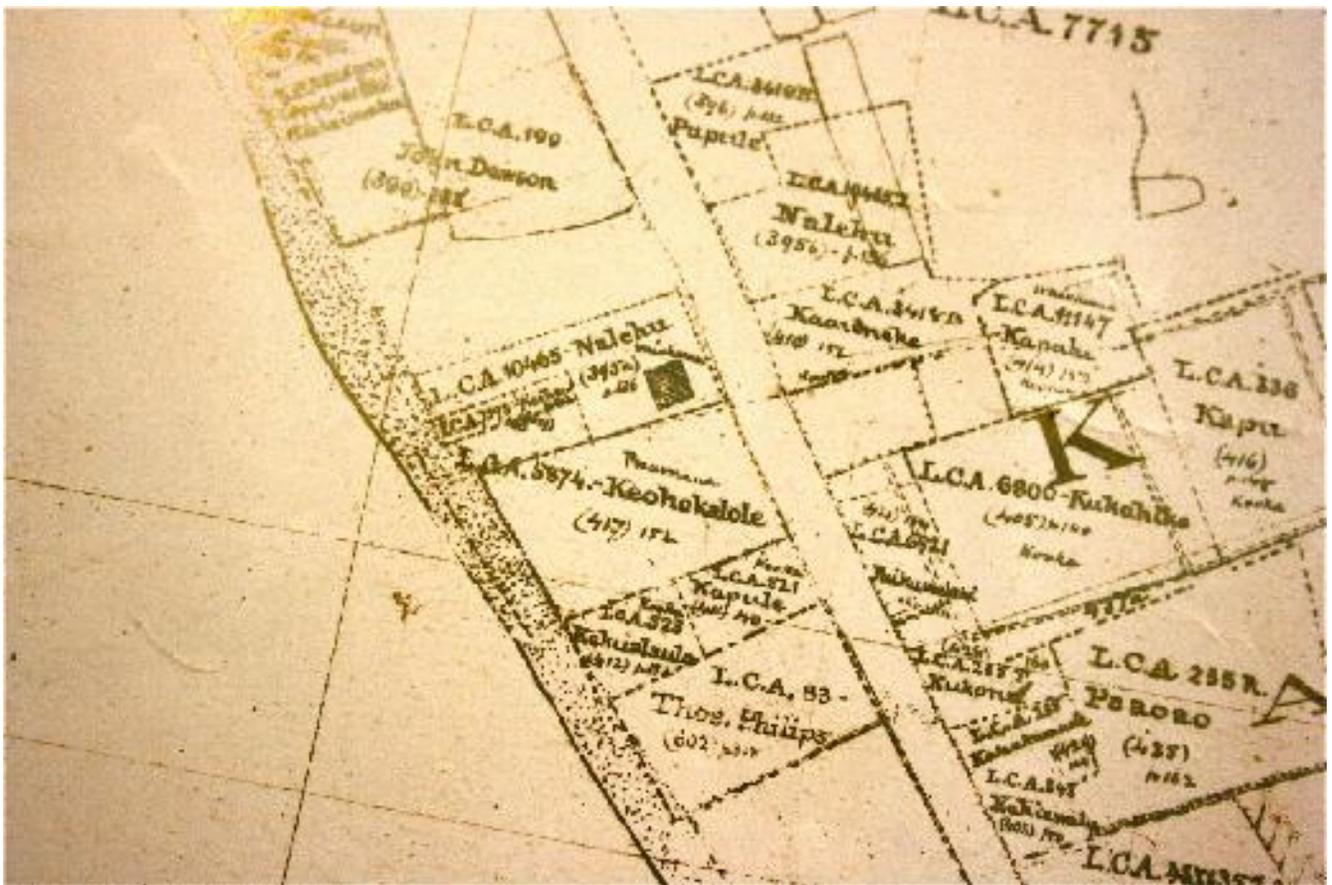


Figure 2. "Hale Pa'i map" of unknown date and origin showing subject parcel as LCA 5874 to Keohokalole. Note "Puamana" written above "Keohokalole."



Figure 3. Plaque marking the spot of the first Catholic Mass on Maui in 1841.

# 455 Front Street Cultural Impact Assessment

## **I. Introduction**

This Cultural Impact Assessment considers the potential cultural impact of the expansion of a home on the parcel at TMK: (2) 4-6-002:006, 455 Front Street, in Lahaina. The property, owned by Joseph Fedele, is located within the Lahaina National Historic Landmark District, which requires the preparation of an Environmental Assessment in accordance with Chapter 343, Hawaii Revised Statutes, although the house itself is not an historic structure. In addition, because the project site is located within the County of Maui's Special Management Area (SMA), SMA review and approval by the Maui Planning Department will be required. This assessment was accomplished from October 2010 to January 2011 by writer Jill Engledow at the request of Chris Hart & Partners for the property owner.

## **II. Report Methodology/Resource Materials Reviewed**

This report was prepared based on requirements in the "Guidelines for Assessing Cultural Impacts" adopted by the Environmental Council, State of Hawaii November 19, 1997. Sources cited are listed in the attached bibliography. Additional searches included the Internet and the indexes of a variety of books on Hawaiian culture and history for the words Puamana, Farden, Keohokalole and Ko'okā. A request for potential interviewees was extended to members of the Lahaina Hawaiian Civic Club, Lahaina Restoration Foundation and Friends of Moku'ula, and an ad requesting input ran in *The Maui News* Nov. 12 and 14, 2010. Maps examined included a collection at Hale Pa'i and those found in various studies of the Moku'ula area.

One important source was *Moku'ula: Maui's Sacred Island* by P. Christiaan Klieger. Another source included a collection of legendary accounts of native and early foreign writers, early historical journals and narratives, historic maps and land records and translations of Hawaiian language newspaper articles recorded by Kepā and Onaona Maly of Kumu Pono Associates in their two-volume study *He Wahi Mo'olelo No Kaua'ula A Me Kekahi 'Aina O Lahaina I Maui*. Engledow also conducted oral interviews with several individuals regarding the area. Summaries are included.

### III. Study Area Description

The study area is a 23,840-square-foot parcel located in the Lahaina District on Maui Island, in a seaside residential neighborhood. The beachfront parcel is bounded on the mauka side by Front Street; its street address is 455 Front. Private parcels are on the left and right of the lot. The parcel on the south side (also owned by Mr. Fedele) was empty, with a for-sale sign, at the time of site visits made for this report. An old seawall borders the beach side of the parcel, and the property is visible from the beach. A tall stone wall on the street side blocks most of the view of the property from Front Street.

### IV. Study Area History

The area north of the subject parcel has been extensively studied, because it was the site of the sacred pond of Mokuhinia and the island of Moku'ula, the epicenter of a noble neighborhood populated by Hawaiian royalty, their family, friends and retainers. The following is a summary of some facts and events that cast light on the history of the Lahaina area and the subject parcel.

Lele is an ancient name for the Lahaina District, one of the most historically significant areas in the islands. (Pukui et. al: 131) The ancient chief Kaka'alaneo had his seat here. (Maly 2007: 23) He is credited with planting the breadfruit that symbolized Lahaina for generations (Fornander, in Sterling, 1998: 35), shading the village from the hot sun and providing the image found in several proverbs:

*Hālau Lahaina, malu i ka 'ulu.*

(Lahaina is like a large house shaded by breadfruit trees.) (Pukui, 1983: No. 430)

*Lahaina, i ka malu 'ulu o Lele.*

(Lahaina, in the shade of the breadfruit trees of Lele.) (Pukui, 1983: No.1936)

*Hua'i ka 'ulu o Lele i ka makani Kona.*

(The breadfruit of Lele is exposed by the Kona wind.) (Pukui, 1983: No 1117)

Pukui's interpretation: "Hidden matters are exposed in time of anger. When the Kona wind blows, the leaves of the trees are blown off to expose the fruit."

By the time of Kaka'alaneo (circa 1500) Maui was divided into 11 or 12 major districts and smaller divisions. Lahaina was one of the large districts, or moku-o-loko. Within these larger districts were a number of smaller divisions, the most significant of which was the ahupua'a. In many other places, ahupua'a ran from the mountains to the sea, but Lahaina was different. According to Maly:

“In the area of Lahaina extending from the Kaua'ula-Launiupoko boundary to Wahikuli, the system of ahupua'a divisions is something of an anomaly, in that there are some twenty-four ahupua'a in this section of Lahaina. Many of the ahupua'a do not run in contiguous sections from sea to mountain, but are broken apart with small sections of an ahupua'a (say near the shore), then several other sections of ahupua'a in between, with another portion of the same ahupua'a being situated further inland or mauka.”(Maly 2007: 8)

The subject parcel apparently was one of these small ahupua'a. In a table titled “Disposition of Ahupua'a in the Kaua'ula-Lahaina Region,” Maly lists Puamana with the notation “(not recorded in

*Buke Mahele*.” (Maly 2007: 80) It does, however have a Land Commission Award number, 5874, and was granted to a female chief, Ane Keohokālōle.

The name “Keohokalole” is on the parcel on an old map owned by the Lahaina Restoration Foundation in its collection at Hale Pa‘i. Along with the name “Keohokalole” and the LCA number, the word “Puamana” is written on the parcel. (Unfortunately, the provenance of this map is unknown, as any identifying information such as the name of the map maker is illegible. A few of the parcels on the map do include dates, however, which indicate it might have been drawn in the late 1800s. This report will refer to this map as “the Hale Pa‘i map.” A copy of the relevant segment is in Figure 2.)

This tiny ahupua‘a is set in the midst of another known as Ko‘okā, which includes parcels on the south and mauka sides, while the parcel directly north is marked as belonging to Waiokama, another of the area’s ahupua‘a. (Figure 2)

According to the book *Sweet Voices of Lahaina*, the name Puamana was originally that of a high chief. When the Charles and Annie Farden family bought the property about 1915, Charles Farden told his children the word Puamana was written on the deed and that they would keep it as a name for their home. “ ‘It wasn’t until years later a family friend and exponent of the Hawaiian language, Flora Hayes, while working on translation at Bishop Museum, discovered that our property was once owned by High Chief Puamana,’ explains Irmgard [Farden Aluli]. ‘She discovered also that the Chief had kept his canoes in sheds along the waterfront where the sea wall now stands.’”(Richards: 28-29)

Māhele records translated by Maly indicate that there was some conflict about the award of several parcels around the subject parcel, and apparently also about this particular parcel. Kaanaana testified that a parcel that had been “the property of my elders who possessed it from the time of Kamehameha I to that of Kamehameha III” had been mistakenly given to “the chiefess Keohokalole. . . also, the place at Puamana is rightfully mine. Our place is from below the Road, to above and between, to the place of Kaaunaki.” (Maly: 153) A parcel belonging to “Kaaunake” is shown on the Hale Pa‘i map. (Figure 2) The map seems to show that the Puamana parcel originally extended across the shoreline road, now Front Street, which was built in 1841. (Maly: 154)

According to *The Beaches of Maui County*, after the death of the Keohokālōle:

“ . . . her remaining lands were partitioned among her surviving children, David (later King David Kalākaua), Lili‘u (later Queen Lili‘uokalani), Miriam (Princess Miriam Likelike), and William (Prince William Pitt Leleiohoku II). David received Puamana along with other lands, and upon his death, title went to his widow, Kapi‘olani. She in turn deeded the land to her nephews Jonah Kalaniana‘ole and David Kawananakoa, who incorporated as the Kapi‘olani Estate. When Charles Farden purchased the half-acre lot from the Kapi‘olani Estate, Puamana was still the name of the property. He felt it would be a fitting name for his home and retained it. The word *pua* can mean ‘flower blossom’; ‘to issue or emerge’; or ‘children or descendents.’ The word *mana* means ‘supernatural or divine power.’ The combination of the two words obviously holds more than one meaning, but to the Farden family Puamana means the ‘home that holds its members close,’ an expression of the love that has always been shared among the members of the family.” (Clark: 56)

This information came from Irmgard Aluli, according to author John R. K. Clark. (Personal communication)

The Farden family had moved to the southern edge of a neighborhood with a storied past. Just a few hundred yards away was an area once called Lua‘ehu, or Kalua‘ehu, centered on the approximately 17-acre Loko o Mokuhinia, the headquarters of royal residence in Lahaina. Within Mokuhinia was a man-made island called Moku‘ula. “Lahaina, flanked by excellent fishing grounds, was the primary seat of the chiefs of West Maui.” (Handy, et al., 1972: 272). In addition to the fishing grounds, the area offered quick access to the neighboring islands of Lāna‘i, Moloka‘i and Kaho‘olawe, which were governed from Lahaina. (Maly, 2007: 9) And while the area is in the lee of the West Maui mountains, hot, sunny and with low rainfall, abundant water was available from the streams that flowed from those mountains. In addition to the water directed from the streams by an extensive irrigation system, springs provided fresh water near the sea. Mokuhinia fishpond was “a freshwater, springfed fishpond that formed naturally behind a long beach berm.” (Klieger, 1998: 5) Other ponds scattered around the area are shown on the Kleiger map. (Figure 1)

Among the famous chiefs who called Lahaina home was Pi‘ilani, known for unifying Maui and for creating the King's Highway that circled the island of Maui. While the most sacred chiefs, who descended from the Pi‘ilani line, lived on Moku‘ula and in the immediate area, the entire area of Lua‘ehu was an elite neighborhood populated by chiefs who enjoyed ‘Uo, the famous surf off Mākila, the beach edging this section of Lahaina town. Klieger says the boundaries of status and power radiated in rings from a center at Moku‘ula, with government and court members in Kalua o Kiha, chiefs and extended family in Kalua‘ehu, and traders and commoners in the rest of Lahaina. (Klieger, 1998: 70) Puamana would have been on the edge of that circle of power.

The richness of these lands and those above them is evident from descriptions by early Western visitors. Archibald Menzies, who visited in March 1793 in the company of Captain George Vancouver, described traders who visited Vancouver's ship with an “abundance of large gourds, sweet potatoes, watermelons and some musk melons, and plenty of fresh water in calabashes . . .” Along the shore, he said, were “numerous habitations amongst a grove of cocoanut palms and other trees.” Menzies went ashore, climbing with his guides some three miles above the seaside where he observed “the rugged banks of a large rivulet that came out of the chasm cultivated and watered with great neatness and industry. Even the shelving cliffs of rocks were planted with esculent roots, banked in and watered by aqueducts from the rivulet with as much art as if their level had been taken by the most ingenious engineer. We could not indeed but admire the laudable ingenuity of these people in cultivating their soil with so much economy.”

On another day, Menzies described a trip to see the village of Lahaina, which was:

“neatly divided into little fields and laid out in the highest state of cultivation and improvement by being planted in the most regular manner with the different esculent roots and useful vegetables of the country, and watered at pleasure by aqueducts that ran here and there along the banks intersecting the fields, and in this manner branching through the greatest part of the plantation. . . In short, the whole plantation was cultivated with such studious care and artful industry as to occupy our minds and attention with a constant gaze of admiration during a long walk through it . . . On our coming near the king's house, the greatest part of them separated

from us, particularly the women, on account of the ground around it being tabooed. The royal residence was sheltered with spreading trees and cocoa-nut palms situated near some beautiful fish ponds with which it was more than half surrounded . . ." (Menziess, 1920: 103)

Despite these glowing descriptions, Vancouver himself reported that many battles had ravaged the area as chiefs of the late 1700s fought for control of the island. Streams had been cut off and terraces and 'auwai destroyed. He said:

"The taro was growing among the water, but in a very bad state of culture, and in very small quantities. To the ravage and destruction of Tamaahamaah's [Kamehameha's] wars, the wretched appearance of their crops was to be ascribed; of this they grievously complained, and continually pointed out the damages they had sustained; the despoiled aspect of the country was an incontrovertible evidence of this melancholy truth. Most of the different tenements in the lands formerly cultivated were now lying waste, their fences partly or intirely [sic] broken down, and their little canals utterly destroyed, nor was a hog or a fowl any where to be seen. By far the larger part of the plain was in this ruinous state; and the small part that was in flourishing condition bore the evident remarks of very recent labor." (Vancouver, 1801: 333)

The end result of these destructive battles was that Kamehameha united and took control of the Islands, increasing his mana and guaranteeing the high rank of his heirs by marrying the sacred chiefess Keōpūolani, a descendant of Pi'ilani (Lee-Greig, 2008:17). Kamehameha's court lived in Lahaina in 1802 and 1803, where he repaired damaged taro fields while he prepared for the planned invasion of Kaua'i. (Klieger,1998: 22)

Lahaina, and Moku'ula in particular, once again became a focal point for royal life in May 1823, when Queen Keōpūolani, now Kamehameha's widow and the mother of three of his children, moved back, bringing with her missionaries Charles Stewart, William Richards, and a Tahitian Christian named Taua to introduce the Gospel to Maui. Her son, Kauikeaouli or Kamehameha III, moved to Lahaina in 1837, and lived at Moku'ula.

In 1845, due to the increasing importance of the port of Honolulu, the king surrendered the relatively traditional lifestyle he had enjoyed in Lahaina and moved the royal court back to Honolulu. A few years later, continued westernization of the Islands brought about the division of lands known as the Māhele. Though the King visited Lahaina after the move to O'ahu, life in Lua'ehu must have changed considerably. Hoapili remained as governor, Lahaina was now a center of whaling, and the missionaries brought literacy to high levels among the people.

The center of Protestant Christianity in Lahaina in the mid-1800s was mauka of Moku'ula, at Waine'e Church, but another significant religious site is marked by a plaque near the subject parcel. This plaque was placed by Lahaina Catholics in 1941 to commemorate the first Mass on Maui, offered in January 1841 by pioneer Hawai'i priest Father Louis Maigret near this spot. (Schoofs: 261 and Figure 3)

In the late 1800s, a new industry was beginning in the Islands: sugar growing. As Pioneer Mill's cane fields covered the uplands above Lahaina, water was needed for this water-thirsty crop, and ditches were installed to drain the streams that had made Lahaina a pleasant and productive place to live. One of the ditches drained the stream of Kaua'ula, (Wilcox, 1996: 134-136) whose water had filled the

fishponds in and around Mokuhinia, and the pond became a stagnant swamp.

By the time the Fardens moved to Puamana, the sedge-choked and mosquito-breeding pond had filled for “hygienic” reasons, possibly with soil from Honokowai and perhaps with coral from harbor dredging. In 1918, the newly filled pond became Malu‘ulu o Lele County Park. (Kleiger, 1998: 96-97) It was to include a baseball field, tennis courts, restrooms, parking lots and a sewer system pumping station. (Lee-Greig, 2008: 6)

The Farden family story, as told in *Sweet Voices of Lahaina*, begins with the marriage of Charles Kekua Farden and Annie Kahalepouli Bastel Shaw.<sup>1</sup> The following history is summarized from that book.

Raised by her aunt, Kahalepouli, who was married to William Shaw of Kā‘anapali, Annie was a student at Mauna‘olu Seminary for girls when she met Charles, who was working as a luna at Pā‘ia Sugar Plantation. Charles was the son of a German man known on Maui as Christopher Farden, who left Charles with his Hawaiian mother, Kailiino, when the child was just two years old, taking with him the couple's older son. Charles attended Punahou, then returned to his hometown to work on the plantation.

By the time he met Annie Shaw, she was already known as the “Songbird of Mauna‘olu,” and the couple and their friends loved to sing and play music. They married after Annie's graduation in 1897, and two years later moved to Lahaina, where Charles worked at Pioneer Mill. By this time, they already had their first child, Margaret. Charles, who had been at Punahou during the overthrow of the Hawaiian monarchy, determined to face the future by raising his children as Americans, and chose not to teach them the Hawaiian language or customs, though they continued to sing Hawaiian songs. The family lived in several homes in Lahaina before building a 5,000-square-foot, six-bedroom home at Puamana. By this time, they had 10 children, and eventually they would have 13, one of whom died as a teenager. Each child planted a coconut tree along the shoreline and tended it carefully.

In the early 20th century, this neighborhood retained its character as a home for the elite, populated by plantation executives and professionals instead of the ali‘i of old. The Farden family home became a center of social life, with parties, luncheons and holiday celebrations, as well as pau hana gatherings of Mr. Farden and his plantation supervisor colleagues.

All the Farden children were musical, but it was Emma who braved her father's displeasure to learn the hula. Seeing her talent, he was persuaded to relent. She continued to study and taught her brothers and sisters to dance. As an adult, after teaching Kamehameha III Elementary School students all day, she would teach and perform hula. Emma Farden Sharp became famous on Maui for her hula teaching and dancing and was a popular entertainer of troops during World War II. Meanwhile, the other siblings

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1 The origins of the Farden family were clarified in 1992, when TIME magazine writer Ann Blackman brought adoption papers to the Lahaina Restoration Foundation that revealed her great-grandfather was the “Christoph Farden” who had founded the Maui family. Blackman's great-grandfather, known as Christoph Jardin, was a German cooper who sailed out of Massachusetts on a whaling ship in the 1840s. Landing in Hawaii, he somehow became known as “Farden” and spent 15 years making barrels in Haiku. He left in 1873 with a new wife and a boy Jardin said he had adopted, named Alexander. Blackman had found the adoption papers signed by Alexander's mother, Kailiino--also the mother of Charles Farden, whose father had left with Charles's older brother. The Maui family never had known where Christoph and Alexander had settled. Since Ann Blackman's discovery, the two branches of this family descended from a man who apparently spelled his name two different ways have become close, as described in Blackman's 1998 TIME article, “Christoph Jardin's Secret Life.”

also were singing and performing, and sister Irmgard, a teacher at Moloka'i Intermediate School, began composing songs that included the well-known song in praise of the family home, *Puamana*. She recruited her father to help with the Hawaiian words, and Emma composed a hula.

In late 1944 Charles, who was in poor health, retired from the plantation. He died July 29, 1945, of lung cancer. Annie died the next April after suffering her second stroke. The children rented out the old family home, but they each had homes of their own to maintain, and the termites were taking their toll, so they sold the property to Pioneer Mill. The plantation took the house down and in 1965 leased the property to Keith Tester and his wife, Mary Frances. (County of Maui Field Book) Tester, in addition to his work at Pioneer Mill (he became manager in 1960), was a founder of the Lahaina Restoration Foundation and a key player in early restoration efforts in Lahaina town and the establishment of the Lahaina Historic District. His wife served as the first president of the LRF, with Keith taking on that job after his retirement from Pioneer Mill in 1965. (*The Maui News*)

When the site of the Pioneer Mill manager's house at the Olowalu end of the Front Street neighborhood was developed as a condominium project, the developer, Lewers & Cooke, Ltd. asked the Farden family's permission to use the name "Puamana." After discussing it, the siblings agreed. Today, many people mistakenly think of the condominium as the site of the Farden home. (Puamana History)

The original Puamana property passed through several hands, and in 1986 was purchased by Fedele Corp. (County of Maui Field Book) Owner Joe Fedele says the house now on the property was built after the Farden home was taken down, and he renovated it in the mid-1990s. Mr. Fedele says the Farden family used to come over several times a year, play music, dance and even film their gatherings for television. Five or six years ago, Mr. Fedele said, he had to cut down a couple of the palm trees the Fardens had planted as children because they were rotten, and he could not find climbers to scale the tall trees for maintenance. Tree trunks from this first cutting were used by the Fardens to make drums, Mr. Fedele said. Other trees were trimmed to prevent their dropping coconuts on beachgoers below, while the family decided whether to make more drums. After a couple of years, with the family expressing no further interest, he removed all but three of the trees and planted new ones. The trees removed were 80 to 100-plus years old and very dangerous in their then-rotten state, Mr. Fedele said. "I too wished we could have had the coconut trees remain if only they remained safe for people passing beneath them during their second hundred years of life!" he said. (Personal communication)

## **VI. Oral Interviews**

Telephone interviews were conducted with several individuals with longtime connections to Lahaina and with members of the Farden family. In addition, contacts were made by letter with Friends of Moku'ula, Lahaina Restoration Foundation and the Lahaina Hawaiian Civic Club. The letter to the civic club was returned by the post office. Executive Director Theo Morrison of Lahaina Restoration Foundation had no comment. Friends of Moku'ula cultural adviser Hōkūlani Holt-Padilla and executive director Shirley Ann Kaha'i had no comment.

A newspaper ad that ran twice in *The Maui News* (November 12 and 14, 2010) seeking information on cultural resources or activities on or near the subject parcel drew three responses. None of the respondents gave a name. One phone caller simply wanted to know the location of the lot mentioned in

the ad. A second asked the same question and suggested a few names of people who might have input on the subject. (The writer contacted two—Lori Sablas, who grew up across the street from the subject parcel, and Puamana Farden, daughter of Buddy Farden, the youngest child of Charles and Annie Farden. Sablas expressed concerns about the palm trees and the Catholic Mass memorial plaque. Puamana Farden said she would hope the property owner would be sensitive to preserving the environment and the neighborhood's charm in any expansion he undertakes.) A third member of the public contacted the writer by e-mail November 14 with the message: "Before I respond to your advertisement in the Maui News, what is your interest in TMK: (2)-4-6-002-006, 455 Front Street?" The writer responded to all three inquiries drawn by the newspaper ad, but none made any further contact.

**Edna Pualani Farden Bekeart** was previously interviewed by Engledow for an earlier project on September 26 and October 27, 2008, when she was living in the Napili area. Since that time, she has moved to Hawai'i Island to live with her daughter's family.

Mrs. Bekeart was born in Lahaina in 1917, the twelfth of thirteen children born to Charles and Anna Shaw Farden. (Richards) Mrs. Bekeart said Malu'ulu o Lele had just been covered over when she was born. Growing up, the children played tennis in the park's tennis court and watched hula performances and teams playing barefoot football from an open-sided stadium.

Her memories include freshwater ponds filled with reeds and a stream running down from Kaua'ula along Shaw Street which went under the road to the ocean. Mrs. Bekeart remembers a bridge which she says crossed that stream to the site of the buried royal island. Kids ran across, scared because "we believed that a spirit lived under the bridge. People would tell us spooky stories about Lahaina."

The whole area between Holy Innocents Church and Shaw Street would be flooded with water during heavy rain storms. Front Street at that time was a dirt road and Lahaina was a little plantation town separated by the narrow Pali Road from the rest of the island. At that time, there were still many good things to eat growing in the town, from breadfruit to bananas, mangoes, lemons and oranges; everybody took care of their property and planted flowers in their yards.

Mrs. Bekeart says there was very little fishing along the shoreline, which was all in residential use, although occasionally people would do lamalama, walking in the shallow water with torches. In general, fishers would take canoes out toward the island of Lāna'i. People gathered plants for medicinal use up in the valleys, where things grew better in the damp climate. Mrs. Beckert's grand aunt used to come from Honolulu and make poultices with plants gathered in the valleys. People would go up and down the valleys along the streams, and children would go up to swim in the cold water, to gather fish from the streams and to climb and play in the guava trees.

In a telephone interview November 2, 2010, Mrs. Bekeart responded to questions about cultural impact of the proposed project at her family's old home. Asked whether the proposed project might impede access to fishing or to native plants, she commented that, "when it becomes personal property, it's the person's right to keep people out." Mrs. Bekeart did say that she and other members of the family had felt "hurt" when Mr. Fedele cut down some of the palm trees the Farden children planted and nurtured along the shoreline.

**Luanna McKenney** (daughter of the oldest Farden son, Carl Farden) and her husband, **Peter McKenney**, now live in Honolulu, but previously lived in Lahaina and are involved with the family's musical activities. They responded to questions based on the guidelines provided by the Environmental Council by phone on Feb. 11, 2011.

The McKenneys said the property, which has primarily been in residential use, was once the site of an ancient canoe house. They are not aware of any traditional trails or gathering areas on the property, although the ocean in front of it is a traditional limu gathering area. (The McKenneys suggested talking to Mrs. Florence Makekau, a Lahaina resident who picks limu in the area. In a telephone conversation Feb. 11, 2011, Mrs. Makekau said she has not picked limu at this site recently because of rough water, but she confirmed that edible limu still grows there.)

Regarding the existence of springs in the area, Mr. and Mrs. McKenney noted that spring water still flows into the ocean just down the beach, near Lahaina Shores condominium, probably from the same springs that fed Mokuhinia pond. Mrs. McKenney remembered her aunt, Irmgard Farden Aluli, saying that she walked through bulrush (an aquatic plant) on the way home from school.

Regarding places of worship, Mr. McKenney pointed out that the nearby Holy Innocents Episcopal Church was built on the site of Queen Emma's natural parents.

**Hailama Farden**, grandson of Rudolph Farden (second-to-the-youngest of four Farden sons) and vice principal at Kamehameha Schools, responded by email to questions (based on the Environmental Council guidelines) from the writer passed along to him by Luanna and Peter McKenney. Mr. McKenney forwarded the email messages to the writer on Feb. 11, 2011.

Mr. Farden said that, "Keawaiki is the name of the beach area in front of Puamana." He said the churches in the area are the same today as they were in his great-grandparents' day (except that Hale Aloha was then still in use as a parish house; it now is leased to a local company). He does not know of any fishing ko'a (shrines) in the area. "However, fishing ko'a (with respect to informal fishing kuleana area) were still in existence up to the 1940s." Regarding gathering practices: "I am not aware of any cultural gathering practices on the land. I do know that Kapi'olani had limu planted out on the shallow reef. The name of the reef is KapapalimuKapi'olani."

Mr. Farden noted the importance of the story of the planting of the coconut trees, and said the seawall and the Norfolk pines are "the last of anything left of Puamana."

He added this anecdote about the former swampy character of the area. "Up to the early '30s there was a mullet pond next door at Auntie Kai's (Mrs. Kaehukai Kaae) home ma kai side of the house. My grandfather caused some distress between Grandpa Farden (his father) and Auntie Kai over Grandpa (Rudolph Farden) catching mullet in her pond. Auntie Irmgard spoke about bulrush on the Front Street side of the house. Usually (I believe) where there is bulrush there is water. I believe the source of the water was Moku'ula but am not sure of that."

**Sam S. Kadotani** (interviewed by telephone November 16, 2010), a Lahaina community leader who retired after a career with Pioneer Mill, Maui Medical Group and the Boy Scouts, lived next door to Puamana as a child. One of his playmates was the youngest Farden son, Buddy. The boys were in

Scouts together and after school would go “across the swamp” of what remained of Mokuhinia Pond to attend Japanese school at the Lahaina Hongwanji. Mr. Kadotani had no comments about the cultural impact of the proposed project. He did share a little historical information about the neighborhood, saying that, in those days, Malu‘ulu o Lele Park was “a sports Mecca,” and the area that is now the Lahaina Shores parking lot was “a huge pond” where the children used to fish for ‘ōpai and ‘o‘opu.

## **VI. Cultural resources, practices, and beliefs**

The subject parcel has been in residential use for many years, is fenced and unlikely to have any traditional trails on it, and is populated by non-native plants. A marked beach access is just a few yards away, next to the Lahaina Shores condominium. It seems unlikely, therefore, that the parcel’s further development would have any effect on modern-day cultural uses such as gathering or access to fishing sites. Due to the existence of edible limu just off-shore, which is harvested by contemporary residents of the area, construction should be done with care not to create runoff that might damage the limu.

The plaque marking the first Catholic Mass in 1841 might be considered a post-contact cultural site. Lori Sablas, who grew up across the street, says tourists used to come in search of the plaque. Its location therefore should be noted and protected as a relic of Roman Catholic history, commemorating both the original Mass and the well-established church community of a century later which chose to mark the spot with a plaque.

## **VII. Confidential information withheld; Conflicts in information or data**

No confidential information was withheld. There were no conflicts in information or data within the reports consulted for this Cultural Impact Assessment.

## **VIII. Effects on Plan**

The proposed plan would not appear to have any impact on traditional cultural practices as defined by the “Guidelines for Assessing Cultural Impacts” adopted by the Environmental Council in 1997, unless construction activities should impact the nearby ocean water and thereby the limu. This environmental issue would be addressed at another step in the permitting process. Possibly the plaque commemorating the first Catholic Mass should be protected, but it’s not clear that such protection is the proper concern of this report. Concerns expressed by interviewees about the loss of the palm trees and the effects of additional construction on the neighborhood ambiance also would have to be addressed at another step in the permitting process, if at all.

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**Appendix D:  
Preliminary Engineering Report**



**PRELIMINARY ENGINEERING REPORT  
FOR  
ADDITION TO THE FEDELE RESIDENCE**

**Lahaina, Maui, Hawaii**

**T.M.K.: (2) 4-6-002: 006**

**Prepared for:**

**Joseph Fedele  
455 Front Street  
Lahaina, Maui, Hawaii 96761**



**Prepared by:**



CONSULTING CIVIL ENGINEERS  
305 SOUTH HIGH STREET, SUITE 102  
WAILUKU, MAUI, HAWAII 96793  
PHONE: (808) 242-0032  
FAX: (808) 242-5779

**November 2010**

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**PRELIMINARY ENGINEERING REPORT  
FOR  
ADDITION TO THE FEDELE RESIDENCE**

**1.0 INTRODUCTION**

The purpose of this report is to provide information on the existing infrastructure which is currently servicing the residence. It will also evaluate the adequacy of the existing infrastructure and anticipated improvements which may be required.

The property is identified as T.M.K.: (2) 4-6-002: 006 which contains an area of approximately 23,840 square feet. The project plan includes the limited demolition of an existing features on the property and the construction of an addition to the existing residence. Associated improvements include grading, a pool, pool decks, sidewalks, and landscaping.

The project site is bordered by residential homes to the north and south, Front Street to the east, and the ocean to the west (see Exhibit 2).

**2.0 EXISTING INFRASTRUCTURE**

**2.1 ROADWAYS**

Honoapiilani Highway is a regional roadway which links Central and South Maui to West Maui. In the vicinity of the project site, it links the Lahaina area with Kaanapali, Napili, Kapalua, Launiupoko and Olowalu. It is a State-owned two lane roadway to Aholo Road. The State is nearing completion of the widening of Honoapiilani Highway to four lanes between Aholo Road and Lahainaluna Road. It is presently a four-lane roadway north of Lahainaluna Road to the intersection of Honoapiilani Highway and Lower Honoapiilani Road. In the vicinity of the project site, Honoapiilani Highway is signalized at its intersections with Shaw Street, Dickenson Street, and Lahainaluna Road.

Front Street is a north-south, two-lane County collector roadway parallel to Honoapiilani Highway which runs along the coastline. It serves most of the residential and business communities west of Honoapiilani Highway. At its northern terminus, it intersects Honoapiilani Highway across from Fleming Road. At its southern terminus, it intersects Honoapiilani Highway at Puamana.

Mill Street is a north-south, two-lane private roadway parallel to Honoapiilani Highway to the east of the project site which intersects Lahainaluna Road at the old Pioneer Mill. It was the main agricultural roadway used for sugar cane harvesting operations.

Lahainaluna Road is an east-west, two-lane County collector roadway which runs from Front Street to Lahainaluna High School. It serves the commercial and residential areas west of Honoapiilani Highway and the residential communities, Princess Nahienaena Elementary School, Lahaina Intermediate School and Lahainaluna High School on the east side of Honoapiilani Highway.

Shaw Street is an east-west, two lane County collector roadway which serves the commercial and residential areas west of Honoapiilani Highway. On the west side of Honoapiilani Highway, it serves the project site and a few other properties. At its western terminus, it intersects Front Street approximately 550 feet north of the project site.

## 2.2 DRAINAGE

The property is currently developed with an existing residence, cottage, garage, concrete driveway, and concrete walkways. The elevation on the site ranges from approximately 5.5 feet above mean sea level at Front Street, to a the high point at the existing residence at an elevation of 6.9 feet above mean sea level, to approximately 6.2 feet above mean sea level at the northwestern corner of the site. There is an existing seawall that retains approximately 3 feet along the seaward boundary.

According to Panel No. 150003 0362E of the Flood Insurance Rate Maps, dated September 25, 2009, prepared by the United States Federal Emergency Management Agency the project site is situated in Flood Zones VE with a base flood elevation of 8 feet, AE with a maximum base flood elevation of 7 feet, and XS. Flood Zone VE represents the coastal flood zone with velocity hazard (wave action); with the base flood elevations determined. Flood Zone AE represents a Special Flood Hazard Area that is subject to flooding by the 1% (100 year) annual chance flood with the base flood elevations determined. Flood Zone XS represents areas within the 0.2% annual chance flood or areas of 1% annual chance flood with depths less than 1 foot, no base flood elevations are determined.

According to the "Soil Survey of Islands of Kauai, Oahu, Maui, Molokai, and Lanai, State of Hawaii (August, 1972)," prepared by the United States Department of Agriculture Soil Conservation Service, the soil within the project site is classified as Ewa silty clay loam, 0 to 3 percent slopes (EaA). Ewa silty clay loam is characterized as having very slow runoff and a no more than slight erosion hazard.

Presently, there are no existing drainage facilities in the vicinity of the project site. Onsite runoff sheet flows in two directions. The first is from the existing residence to the east toward Front Street and the second is from the residence to the west toward the ocean. Runoff sheet flowing toward Front Street ultimately ponds along the shoulder area and the runoff sheet flowing toward the west ponds in the low landscaped area on the lot.

It is estimated that the existing 50-year storm runoff from the partially developed project site is 1.25 cfs. The corresponding surface runoff volume generated from the site is 828 cubic feet.

### 2.3 SEWER

Wastewater generated in the Lahaina area is collected and transported by the County's wastewater facilities through a series of gravity sewerlines and pumping stations along Front Street and Honoapiilani Highway to the Lahaina Wastewater Reclamation Plant (LWRP) in Honokowai. The plant is located approximately 5 miles north of the project site. According to the Wastewater Reclamation Division (WRD), the design capacity of LWRP is 9.0 million gallons per day (mgd). A section of the LWRP which was not operational is currently being repaired. Once the repairs are completed, the capacity of the plant will be 7.0 mgd based on the current discharge parameters required by the Environmental Protection Agency and Department of Health. The current average daily flow is approximately 4.9 mgd and the allocated capacity is 6.8 mgd.

According to the information available at the County's WRD, there is an existing 12" sewerline on Front Street which provides service to the project site. It is estimated that the existing residence generates approximately 350 gpd of wastewater which is conveyed to the county wastewater system.

### 2.4 WATER

The sources of water for the Lahaina area are the Napili Wells 1, 2 and 3 and Honokohua Well A. These wells are located approximately 11 miles north of the project site in Napili. There is another well adjacent to the water treatment plant near Lahainaluna High School.

There are three existing water tanks owned and operated by the Department of Water Supply (DWS) which provide the primary storage for the Lahaina area.

They are the Lahaina 1.0 million gallon reservoir, Lahaina 0.5 million gallon reservoir and the 1.5 million gallon Wahikuli Reservoir. The Lahaina 1.0 million gallon tank is located along Lahainaluna Road approximately three-fourths of a mile east of Honoapiilani Highway at an elevation of 257 feet. The Lahaina 0.5 million gallon tank is located approximately one and one-fourth mile east of Honoapiilani Highway at an elevation of 474 feet. The 1.5 million gallon Wahikuli tank is located about two and a half miles north of the project site at an elevation of 257 feet.

In addition, the Lahaina Water Treatment Plant located east of Lahainaluna High School has a 1.0 million gallon tank at an elevation of 822 feet. The plant treat surface water from Kanaha Stream and has a capacity to treat 1.5 million gallons of water per day.

The water service area in the Lahaina area is delineated by two pressure zones. The low pressure zone services the areas up to the 157 feet elevation and the high pressure zone includes the areas up to the 374 feet elevation. The pressure zones are determined by the elevation of the existing storage tanks. There is an existing 12-inch waterline along Front Street fronting the project site. An existing 5/8-inch water meter currently provides water service to the property. There is an existing fire hydrant at the northeast corner of the property.

## **2.5 ELECTRIC, TELEPHONE AND CABLE TV**

There are existing overhead electrical, telephone and cable TV utilities available along the east (mauka) side of Front Street. These facilities currently provide overhead services to the existing residence and cottage.

## **3.0 ANTICIPATED INFRASTRUCTURE IMPROVEMENTS**

### **3.1 ROADWAYS**

There is an existing 12 feet wide concrete driveway which provides access to the property from Front Street. The remainder of the street frontage is occupied by a wall. There is an electric gates which controls ingress and egress from the property.

The existing driveway will continue to provide access to the property and no roadway or driveway improvements are planned.

### 3.2 DRAINAGE

After the development of the proposed project, it is estimated that the 50-year, 1-hour storm runoff will be 1.70 cfs, with a corresponding surface runoff volume of 917 cubic feet. There will be an increase of 0.45 cfs in surface runoff and 89 cubic feet of surface runoff volume.

The drainage design criteria will be to minimize any alterations to the natural pattern of the existing onsite surface runoff. Onsite runoff will be collected by grated catch basins located within the landscaped areas and swales and conveyed to onsite retention basins. The drainage system will be sized to accommodate at a minimum the increase in runoff volume from the project site for the 50-year, 1-hour storm event.

The proposed drainage system will be designed in accordance with Chapter 4, "Rules for the Design of Storm Drainage Facilities in the County of Maui."

The proposed addition will be located within flood zones AE with a maximum base flood elevation of 6.8 feet and XS. The portion of the addition with flood zone AE will be raised to a finish floor elevation of 8.15 feet above mean sea level. The proposed finish floor elevation of a minimum of a foot above the base flood elevation meets the County's flood requirements.

### 3.3 SEWER

The onsite sewer collection system will remain and continued to be used to convey wastewater from the existing and proposed structures. Wastewater generated from the project will continue to be transported to the LWRP.

### 3.4 WATER

Water service for the new structures will be provided from the existing water meter. No additional fire protection requirements are anticipated.

Detailed domestic water calculations will be submitted as part of the building permit application to determine the adequacy of the existing water meter.

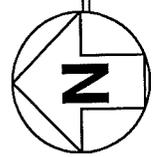
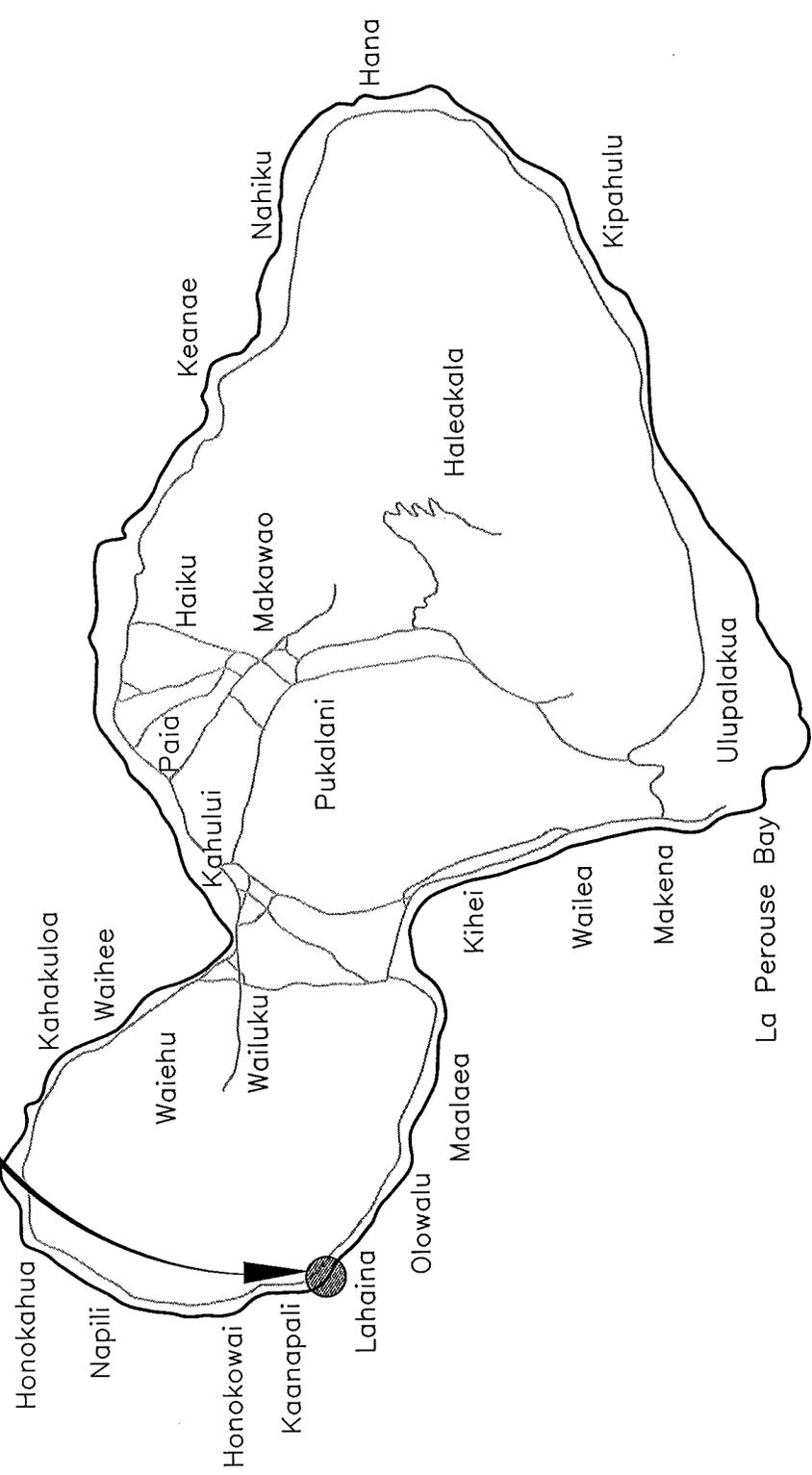
### 3.5 ELECTRIC, TELEPHONE AND CABLE TV

The existing overhead electrical, telephone and cable TV services presently servicing the existing residence and cottage will be used for the addition improvements. The Owner will coordinate any requirements with Maui Electric Company, Hawaiian Telcom, and Oceanic Time Warner Cable.

## **EXHIBITS**

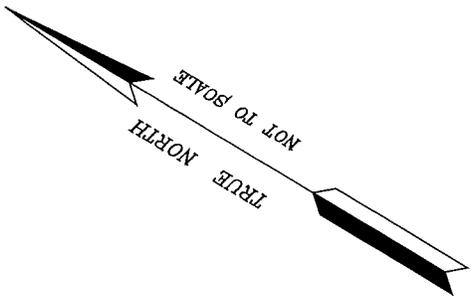
- 1 LOCATION MAP**
- 2 VICINITY MAP**
- 3 SOIL SURVEY MAP**
- 4 FLOOD INSURANCE RATE MAP**

# PROJECT SITE



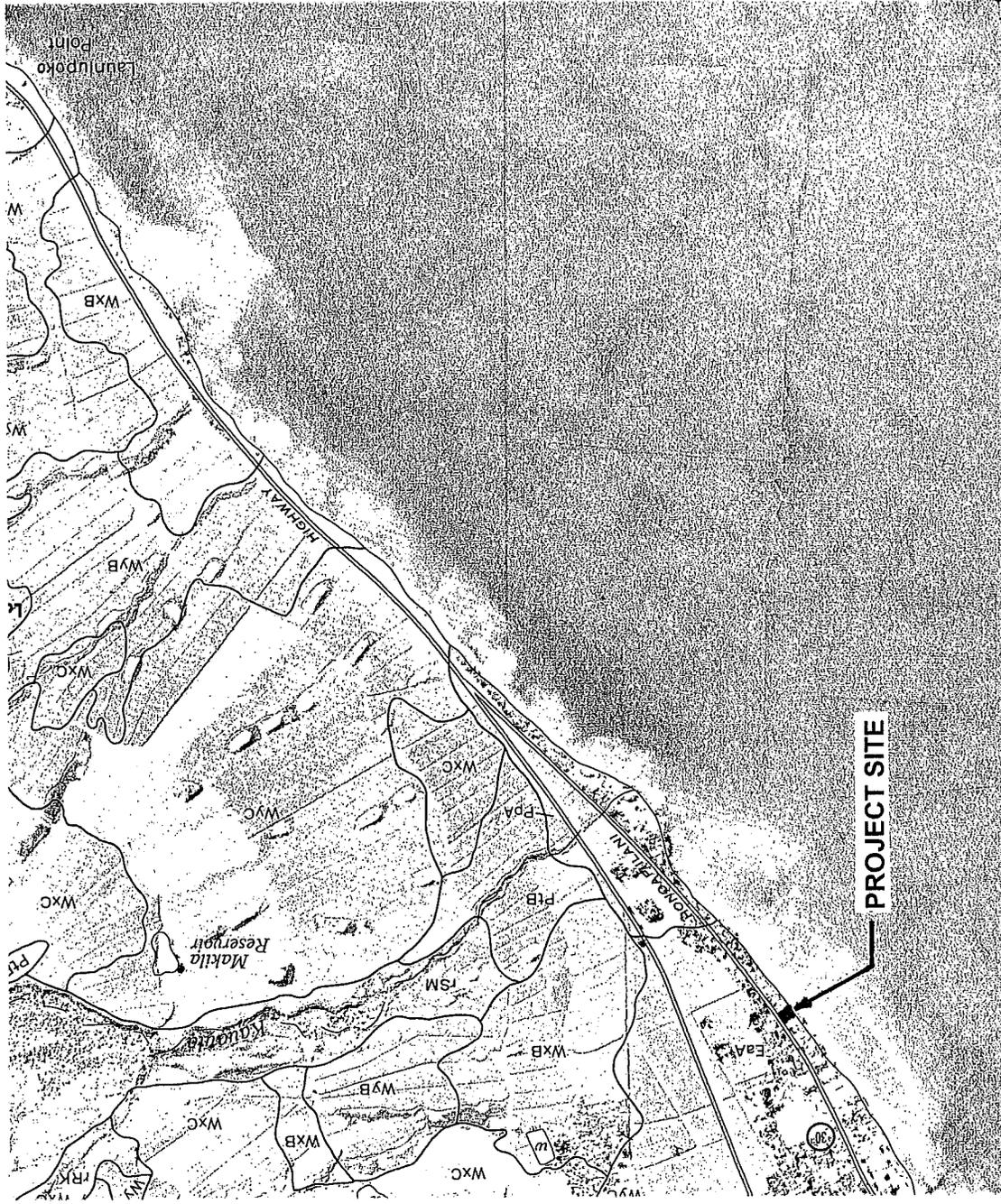
**ISLAND OF MAUI**  
NOT TO SCALE

VICINITY MAP  
EXHIBIT 2

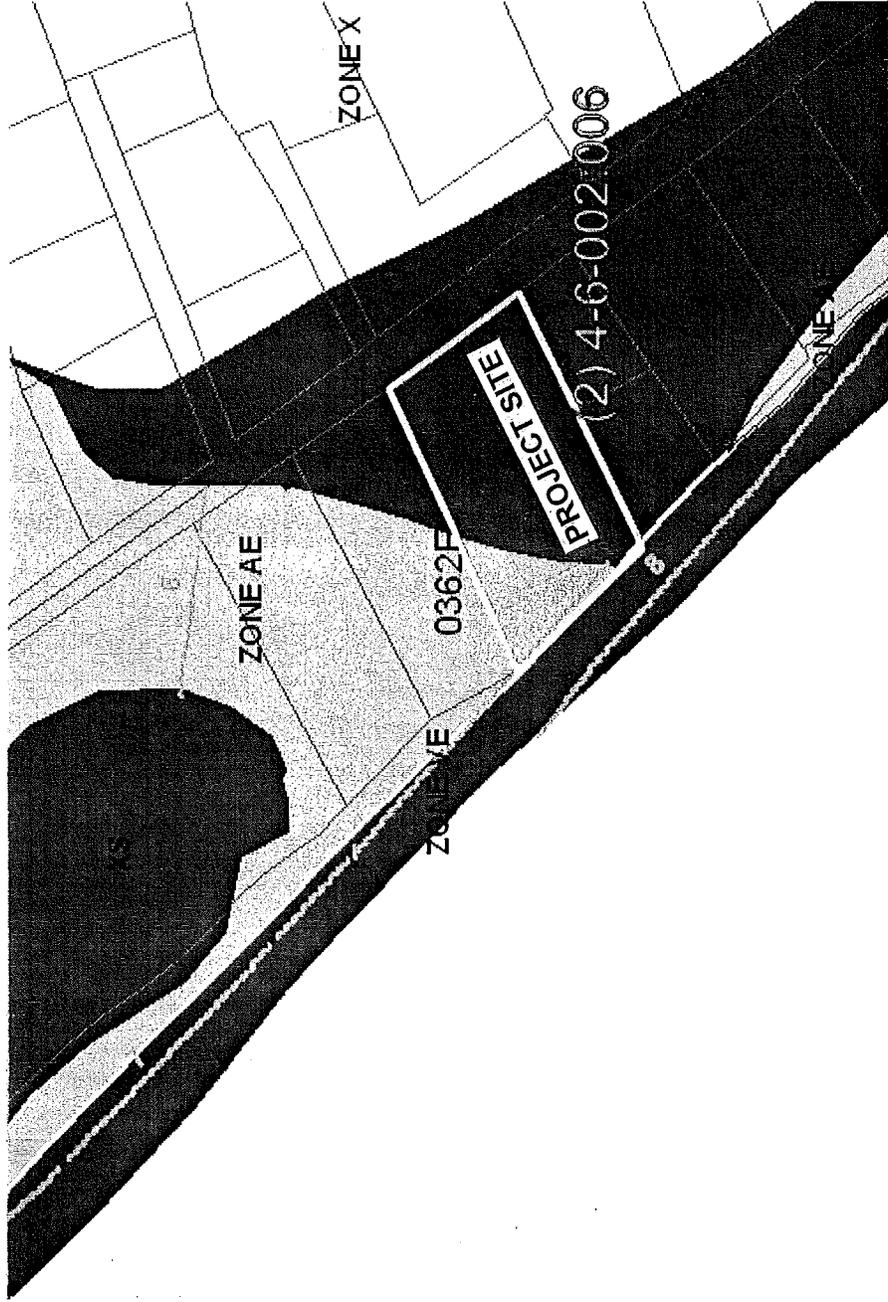


**PROJECT  
SITE**

O C E A N



SOIL SURVEY MAP  
EXHIBIT 3



FLOOD INSURANCE  
RATE MAP  
EXHIBIT 4

**APPENDIX A**  
**HYDROLOGIC CALCULATIONS**

## Hydrologic Calculations

Purpose: Determine the increase in onsite surface runoff from the undeveloped portion of the project site based on a 50-year storm.

### A. Determine the Runoff Coefficient (C):

#### ROOF AREAS:

Infiltration (Negligible)	= 0.20
Relief (Steep)	= 0.06
Vegetal Cover (None)	= 0.07
Development Type (Roof)	= <u>0.55</u>
C=	0.88

#### PAVEMENT AREAS:

Infiltration (Negligible)	= 0.20
Relief (Flat)	= 0.00
Vegetal Cover (None)	= 0.07
Development Type (Pavement)	= <u>0.55</u>
C=	0.82

#### LANDSCAPE AREAS:

Infiltration (Medium)	= 0.07
Relief (Flat)	= 0.00
Vegetal Cover (High)	= 0.00
Development Type (Open)	= <u>0.15</u>
C=	0.22

#### EXISTING CONDITIONS:

Paved Area = 0.10 Acres  
Roof Area = 0.09 Acres  
Landscaped Area = 0.36 acres  
WEIGHTED C = 0.44

#### DEVELOPED CONDITIONS:

Paved Area = 0.15 Acres  
Roof Area = 0.15 Acres  
Landscaped Area = 0.25 acres  
WEIGHTED C = 0.56

B. Determine the 50-year 1-hour rainfall:

$$i_{50} = 2.5 \text{ inches}$$

Adjust for time of concentration to compute Rainfall Intensity (I):

Existing Condition:

$$\begin{aligned} T_c &= 11 \text{ minutes} \\ I &= 5.18 \text{ inches/hour} \end{aligned}$$

Developed Condition:

$$\begin{aligned} T_c &= 9 \text{ minutes} \\ I &= 5.52 \text{ inches/hour} \end{aligned}$$

C. Drainage Area (A) = 0.55 Acres

D. Compute the 50-year storm runoff volume (Q):

$$Q = CIA$$

Existing Conditions:

$$\begin{aligned} Q &= (0.44)(5.18)(0.55) \\ &= 1.25 \text{ cfs} \end{aligned}$$

Developed Conditions:

$$\begin{aligned} Q &= (0.56)(5.52)(0.55) \\ &= 1.70 \text{ cfs} \end{aligned}$$

The increase in runoff due to the proposed development of  $1.70 - 1.25 = 0.45$  cfs.  
The required storage volume in accordance with the County's Drainage Standards is  
 $917 \text{ cubic feet} - 828 \text{ cubic feet} = 89 \text{ cubic feet}$ .

# Hydrograph Plot

English

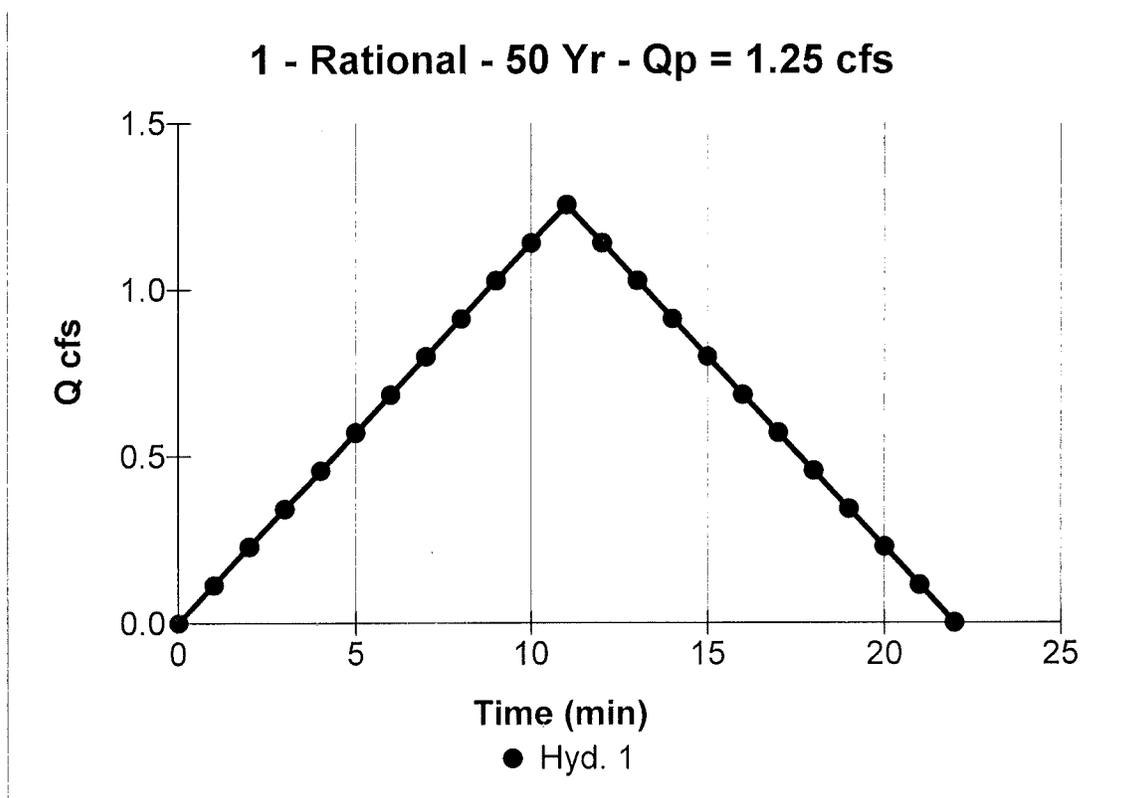
## Hyd. No. 1

### EXISTING CONDITION

Hydrograph type = Rational  
Storm frequency = 50 yrs  
Drainage area = 0.6 ac  
Intensity = 5.18 in  
I-D-F Curve = 2-5.IDF

Peak discharge = 1.25 cfs  
Time interval = 1 min  
Runoff coeff. = 0.44  
Time of conc. (Tc) = 11 min  
Reced. limb factor = 1

Total Volume = 828 cuft



# Hydrograph Plot

English

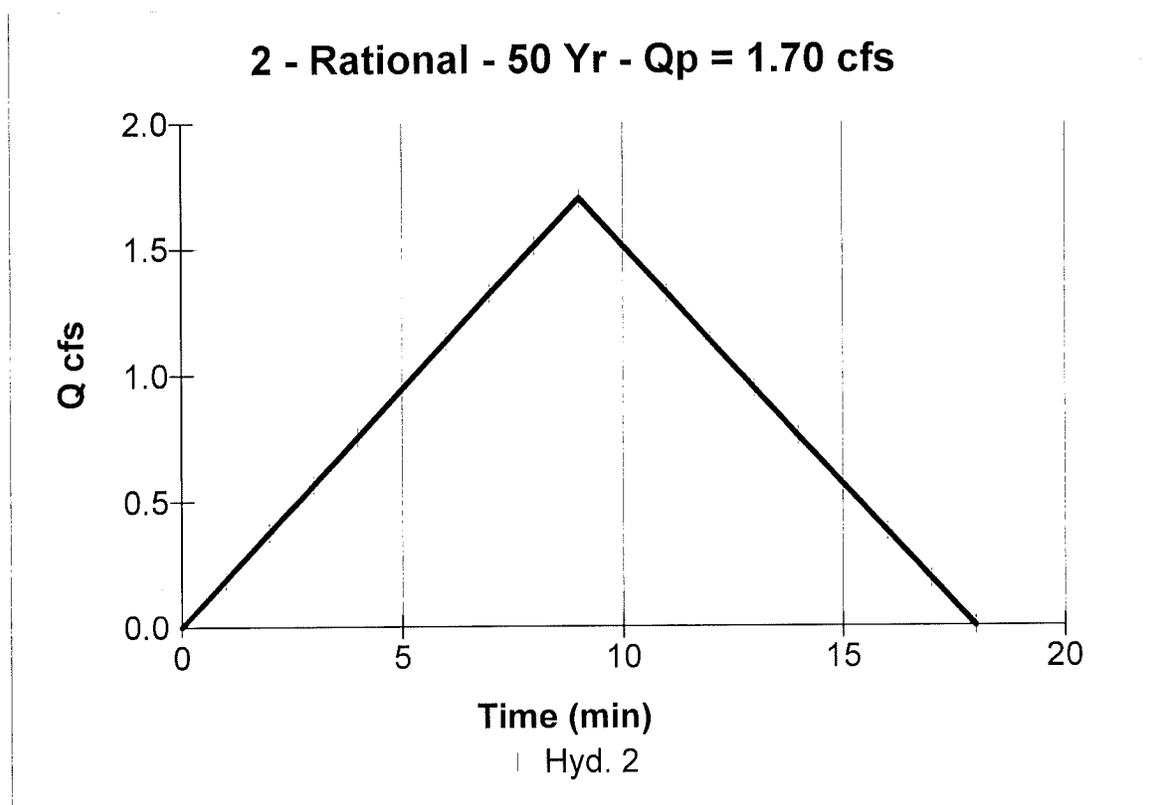
## Hyd. No. 2

### DEVELOPED CONDITION

Hydrograph type = Rational  
Storm frequency = 50 yrs  
Drainage area = 0.6 ac  
Intensity = 5.52 in  
I-D-F Curve = 2-5.IDF

Peak discharge = 1.70 cfs  
Time interval = 1 min  
Runoff coeff. = 0.56  
Time of conc. (Tc) = 9 min  
Reced. limb factor = 1

Total Volume = 917 cuft





# **Appendix E: Early Consultation**





REPLY TO  
ATTENTION OF:

**DEPARTMENT OF THE ARMY**  
U.S. ARMY ENGINEER DISTRICT, HONOLULU  
FORT SHAFTER, HAWAII 96858-5440

August 23, 2010

RECEIVED

AUG 25 2010

CHRIS HART & PARTNERS, INC.  
Landscape Architecture and Planning  
CC MAT 101034

Regulatory Branch

File Number POH-2010-0214

Chris Hart & Partners, Inc.  
Attention: Matthew M. Slepín  
115 North Market Street  
Wailuku, Hawaii 96793

Dear Mr. Slepín:

We have received your request dated August 10, 2010 for the Department of the Army to review and comment on the Proposed Fedele Residence Improvements at 455 Front Street, TMK (2) 4-6-002:006, Lahaina, Island of Maui Hawaii. We have assigned the project the reference number **POH-2010-0214**. Please cite the reference number in any future correspondence concerning this project. We completed our review of the submitted document pursuant to Section 10 of the Rivers and Harbors Act of 1899 (Section 10) and Section 404 of the Clean Water Act (Section 404).

Section 10 requires that a Department of the Army (DA) permit be obtained from the U.S. Army Corps of Engineers (Corps) prior to undertaking any construction, dredging and other activities occurring in, over, or under navigable waters of the U.S., including the upper limit of adjacent wetlands. The line of jurisdiction extends to the Mean High Water Mark for tidal waters. Section 404 requires that a DA permit be obtained for the discharge (placement) of dredge and/or fill material into waters of the U.S., including wetlands. The line of jurisdiction extends to the Mean Higher High Water Mark for tidally influenced waters, the Ordinary High Water Mark for non-tidal waters and the approved delineated boundary for wetlands.

Based on the information you submitted, it appears the **review area consists entirely of uplands** and is absent of waters of the U.S., including adjacent wetlands, subject to our jurisdiction. We anticipate any proposed development activities will not involve the placement or discharge of dredged and/or fill material into waters of the U.S.; therefore, **it appears a DA permit will not be required**. This determination does not relieve you of the responsibility to obtain any other permits, licenses, or approvals that may be required under County, State, or Federal law for your proposed work. Be advised, as the project site abuts the Pacific Ocean, a navigable water subject to Corps jurisdiction, Section 10 authorization may be required should the proposed scope of activity involve work in, over or under waters of the U.S. subject to the ebb and flow of tide.

The letter received by the Corps did not provide sufficient information to allow a complete determination as to whether the project site encompasses additional unidentified waters of the U.S. or whether such waters are proposed for impact, which may require authorization under Section 10 and/or Section 404. When developing the Environmental Assessment, we recommend you conduct a thorough aquatic resource survey, describing any wetlands, drainage ditches, gulches, gullies, streams, etc., on-site, especially those that may be impacted by any of the proposed project

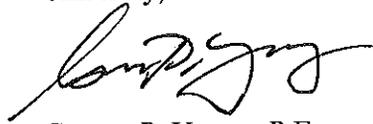
components. In addition, include sufficient information concerning the scope of work, including the use of Best Management Practices, i.e. silt fences and sandbag berms within the vicinity and in close proximity to potentially regulated bodies of water.

Only the Corps of Engineers has the authority to determine if any of these aquatic features are or are not waters of the U.S., potentially subject to regulation under Section 10 and/or Section 404. As such, we encourage the applicant to submit a request for an approved jurisdictional determination (JD) for these water bodies. Your request to the Corps should include names (if known), and descriptions of aquatic features proposed for impact, including whether or not they are tidally influenced, flow duration of each feature and the flow path of each feature into navigable waters. For instance: "the unnamed ditch contains flow for two consecutive weeks annually and, from the project impact site, flows for 700 linear feet prior to discharge into X Stream. X Stream flows year-round and flows 1,200 feet prior to discharge into the Pacific Ocean. The lower 200 linear feet of X Stream is influence by the tide." For wetlands, you should submit a wetland delineation conducted in accordance with the Corps of Engineers 1987 Wetland Delineation Manual and the Hawai'i and Pacific Islands Regional Supplement. We recommend the applicant also provide a vicinity map, map of the water bodies and flow paths and on-site photographs so the Corps may prepare an approved JD, if necessary.

If any water bodies are determined to be waters of the U.S., the applicant must obtain authorization from the Corps prior to discharge of dredged or fill material into these water bodies. Fill material, permanent or temporary, may include, but is not limited to: rock, dirt, sand, sandbags and/or concrete. Dewatering effluent from dredging, including filtered and treated effluent, is also considered fill, requiring authorization under Section 404 prior to discharge in waters of the U.S. The applicant should contact the Corps to determine if any of the proposed work constitutes a "discharge of fill" and submit an application and associated drawings that meet our drawing recommendations found at <http://poh.usace.army.mil/EC-R/EC-R.htm>. The Corps will then review the application to ensure it complies with all necessary federal laws and regulations. Note that if the fill results in the loss of waters of the U.S. and/or associated functions, the applicant may be required to provide compensatory mitigation for any unavoidable impacts. A request for an approved JD can be submitted prior to, or concurrently with, an application for the proposed work.

Thank you for contacting us regarding this project and providing us with the opportunity to comment. Should you have any questions, please contact Ms. Jessie Pa'ahana at 808.438.9258 or via email at [Jessie.K.Paahana@usace.army.mil](mailto:Jessie.K.Paahana@usace.army.mil). Please be advised you can provide comments on your experience with the Honolulu District Regulatory Branch by accessing our web-based customer survey form at <http://per2.nwp.usace.army.mil/survey.html>.

Sincerely,



George P. Young, P.E.  
Chief, Regulatory Branch



Landscape Architecture  
City & Regional Planning

March 21, 2011

Mr. George Young, Chief  
Department of the Army  
Regulatory Branch  
U.S. Army Engineer District, Honolulu  
Ft. Shafter, Hawaii 96858

SUBJECT: Early Consultation Comments on the proposed Fedeles Residence  
Improvements; 455 Front Street, Lahaina, Maui; TMK (2) 4-6-  
002:006; REF NO. POH-2010-0214

Dear Mr. Young,

This letter is in response to comments dated August 23, 2010. As noted, the project site is absent of waters of the U.S. We will continue to coordinate with your office during the implementation of the proposed improvements.

Thank you your comments. Please feel free to contact me with any questions or concerns.

Respectfully,

Matthew Slepina, Senior Associate

cc. Project File (CH&P Job No. 10-034)

LINDA LINGLE  
GOVERNOR OF HAWAII



CHIYOME L. FUKINO, M.D.  
DIRECTOR OF HEALTH

STATE OF HAWAII  
DEPARTMENT OF HEALTH  
P.O. Box 3378  
HONOLULU, HAWAII 96801-3378

In reply, please refer to:  
File:

EPO-I-3311

RECEIVED

AUG 27 2010

CHRIS HART & PARTNERS, INC.  
Landscape Architecture and Planning

CC: matt  
10/034

August 24, 2010

Mr. Matthew M. Slepín, Senior Associate  
Chris Hart & Partners, Inc.  
115 N. Market Street  
Wailuku, Maui, Hawaii 96793-1717

Dear Mr. Slepín:

SUBJECT: Early Consultation Request for Proposed Fedele Residence Improvements;  
455 Front Street, Lahaina, Maui  
TMK: (2)4-6-002:006

Thank you for allowing us to review and comment on the subject document. The document was routed to the various branches of the Environmental Health Administration. We have no comments at this time, but reserve the right to future comments. We strongly recommend that you review all of the Standard Comments on our website: [www.hawaii.gov/health/environmental/env-planning/landuse/landuse.html](http://www.hawaii.gov/health/environmental/env-planning/landuse/landuse.html). Any comments specifically applicable to this application should be adhered to.

The same website also features a Healthy Community Design Smart Growth Checklist (Checklist). The Hawaii State Department of Health, Built Environment Working Group, recommends that State and county planning departments, developers, planners, engineers and other interested parties apply the healthy built environment principles in the Checklist whenever they plan or review new developments or redevelopments projects. We also ask you to share this list with others to increase community awareness on healthy community design.

If there are any questions about these comments please contact the Environmental Planning Office at 586-4337.

Sincerely,

A handwritten signature in cursive script that reads "Genevieve Salmonson".

GENEVIEVE SALMONSON, Acting Manager  
Environmental Planning Office



STATE OF HAWAII  
DEPARTMENT OF HEALTH  
P.O. BOX 3378  
HONOLULU, HAWAII 96801-3378

In reply, please refer to:  
EMD / CWB

09032PSW.10

September 9, 2010

Mr. Matthew M. Slepín  
Senior Associate  
Chris Hart & Partners, Inc.  
115 N. Market Street  
Wailuku, Hawaii 96793-1717

Dear Mr. Slepín:

**Subject: Early Consultation Comments for the Environmental Assessment (EA)/  
Environmental Impact Statement Preparation Notice (EISPN)  
Fedele Residence Improvements  
Lahaina, Island of Maui, Hawaii  
TMK (2) 4-6-002:006**

The Department of Health (DOH), Clean Water Branch (CWB), received your letter, dated August 10, 2010 and your email dated September 7, 2010, requesting early consultation comments for the preparation of an EA/EISPN for the subject project. The DOH-CWB has reviewed the document and offers these comments on your project. Please note that our review is based solely on the information provided in the subject document and its compliance with Hawaii Administrative Rules (HAR), Chapters 11-54 and 11-55. You may be responsible for fulfilling additional requirements related to our program. We recommend that you also read our standard comments on our website at <http://www.hawaii.gov/health/environmental/env-planning/landuse/CWB-standardcomment.pdf>.

1. Any project and its potential impacts to State waters must meet the following criteria:
  - a. Antidegradation policy (HAR, Section 11-54-1.1), which requires that the existing uses and the level of water quality necessary to protect the existing uses of the receiving State water be maintained and protected.
  - b. Designated uses (HAR, Section 11-54-3), as determined by the classification of the receiving State waters.
  - c. Water quality criteria (HAR, Sections 11-54-4 through 11-54-8).

CC: matt 10/034  
RECEIVED

SEP 13 2010

2. You may be required to obtain a National Pollutant Discharge Elimination System (NPDES) permit for discharges of wastewater, including storm water runoff, into State surface waters (HAR, Chapter 11-55). For the following types of discharges into Class A or Class 2 State waters, you may apply for NPDES general permit coverage by submitting a Notice of Intent (NOI) form:
  - a. Storm water associated with construction activities, including excavation, grading, clearing, demolition, uprooting of vegetation, equipment staging, and storage areas that result in the disturbance of one (1) acre or more of total land area. The total land area includes a contiguous area where multiple separate and distinct construction activities may be taking place at different times on different schedules under a larger common plan of development or sale. An NPDES permit is required before the start of the construction activities.
  - b. Hydrotesting effluent.
  - c. Dewatering effluent.

You must submit a separate NOI form for each type of discharge at least 30 calendar days prior to the start of the discharge activity, except when applying for coverage for discharges of storm water associated with construction activity. For this type of discharge, the NOI must be submitted 30 calendar days before the start of construction activities. The NOI forms may be picked up at our office or downloaded from our website at <http://www.hawaii.gov/health/environmental/water/cleanwater/forms/genl-index.html>.

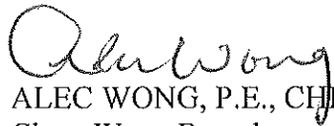
3. For types of wastewater not listed in Item 2 above or wastewater discharging into Class 1 or Class AA waters, you must obtain an NPDES individual permit. An application for an NPDES individual permit must be submitted at least 180 calendar days before the commencement of the discharge. The NPDES application forms may be picked up at our office or downloaded from our website at <http://www.hawaii.gov/health/environmental/water/cleanwater/forms/indiv-index.html>.
4. If this project involves work in, over, or under waters of the United States, it is recommended that you consult with the Army Corps of Engineers, Regulatory Branch (Tel. No.: 438-9258) in regards to their permitting requirements. Waters of the United States include essentially all surface waters, including wetlands.
5. Please note that all discharges related to the project construction or operation activities, whether or not NPDES permit coverage and/or Section 401 Water Quality Certification are required, must comply with the State's Water Quality Standards. Noncompliance with water quality requirements contained in HAR, Chapter 11-54, and/or permitting requirements, specified in HAR, Chapter 11-55, may be subject to penalties of \$25,000 per day per violation.

Mr. Matthew M. Slepín  
September 9, 2010  
Page 3

09032PSW.10

If you have any questions, please visit our website at  
<http://www.hawaii.gov/health/environmental/water/cleanwater/index.html>, or contact the  
Engineering Section, CWB, at (808) 586-4309.

Sincerely,



ALEC WONG, P.E., CHIEF  
Clean Water Branch

SW:ml



Landscape Architecture  
City & Regional Planning

March 21, 2011

Mr. Alec Wong, Chief  
State of Hawaii  
Department of Health  
Clean Water Branch  
PO Box 3378  
Honolulu, Hawaii 96801

SUBJECT: Early Consultation Comments on the proposed Fedele Residence Improvements; 455 Front Street, Lahaina, Maui; TMK (2) 4-6-002:006

Dear Mr. Young,

This letter is in response to comments dated September 9, 2010. As noted, the project site is absent of waters of the U.S. We will continue to coordinate with your office during the implementation of the proposed improvements.

1. The project will comply with applicable State Water Quality Standards, as specified in HAR 11-54.
2. We acknowledge your information regarding National Pollutant Discharge Elimination permits and will comply with all appropriate procedures.
3. The Army Corps of Engineers has been contacted through the early consultation process and will receive a copy of the Draft Environmental Assessment (EA).

Thank you your comments. Please feel free to contact me with any questions or concerns.

Respectfully,

Matthew Slepina, Senior Associate

cc. Project File (CH&P Job No. 10-034)

LINDA LINGLE  
GOVERNOR OF HAWAII



CHIYOME L. FUKINO, M. D.  
DIRECTOR OF HEALTH

LORRIN W. PANG, M. D., M. P. H.  
DISTRICT HEALTH OFFICER

STATE OF HAWAII  
DEPARTMENT OF HEALTH  
MAUI DISTRICT HEALTH OFFICE  
54 HIGH STREET  
WAILUKU, MAUI, HAWAII 96793-2102

RECEIVED

SEP 10 2010

CHRIS HART & PARTNERS, INC.  
Landscape Architecture & Planning

CL: Mark 101034

September 9, 2010

Mr. Matthew M. Slepín  
Senior Associate, Planner  
Chris Hart & Partners, Inc.  
115 North Market Street  
Wailuku, Hawai'i 96793

Dear Mr. Slepín:

**Subject: Early Consultation Request for Proposed Fedele Residence  
455 Front Street, Lahaina, Maui  
TMK: (2) 4-6-002:006**

Thank you for the opportunity to comment on this project. We have the following comments:

1. Please indicate the type of wastewater disposal method (sewer or IWS). If you have any questions, please contact Roland Tejano, Wastewater Engineer at 808 984-8232.
2. National Pollutant Discharge Elimination System (NPDES) permit coverage maybe required for this project. The Clean Water Branch should be contacted at 808 586-4309.
3. The noise created during the construction phase of the project may exceed the maximum allowable levels as set forth in Hawaii Administrative Rules (HAR), Chapter 11-46, "Community Noise Control." A noise permit may be required and should be obtained before the commencement of work.

It is strongly recommended that the Standard Comments found at the Department's website: <http://hawaii.gov/health/environmental/env-planning/landuse/landuse.html> be reviewed, and any comments specifically applicable to this project should be adhered to.

Mr. Matthew M. Slepín  
September 9, 2010  
Page 2

Should you have any questions, please call me at 808 984-8230 or E-mail me at [patricia.kitkowski@doh.hawaii.gov](mailto:patricia.kitkowski@doh.hawaii.gov).

Sincerely,

A handwritten signature in cursive script that reads "Patti Kitkowski".

Patti Kitkowski  
Acting District Environmental Health Program Chief

c EPO



Landscape Architecture  
City & Regional Planning  
March 21, 2011

Ms. Patti Kitkowski,  
Acting District Environmental Health Program Chief  
State of Hawaii  
Department of Health  
Maui District Health Office  
54 High Street  
Wailuku, Hawaii 96793

SUBJECT: Early Consultation Comments on the proposed Fedele Residence Improvements; 455 Front Street, Lahaina, Maui; TMK (2) 4-6-002:006

Dear Ms. Kitkowski,

This letter is in response to comments dated September 9, 2010.

1. The residence has existing sewer connections and no changes are proposed.
2. We acknowledge your information regarding National Pollutant Discharge Elimination permits and will comply with all appropriate procedures.
3. A Noise Permit will be obtained prior to construction activities if necessary.

Thank you for your comments. Please feel free to contact me with any questions or concerns.

Respectfully,

Matthew Slepina, Senior Associate

cc. Project File (CH&P Job No. 10-034)

LINDA LINGLE  
GOVERNOR



STATE OF HAWAII  
DEPARTMENT OF TRANSPORTATION  
869 PUNCHBOWL STREET  
HONOLULU, HAWAII 96813-5097

September 2, 2010

BRENNON T. MORIOKA  
DIRECTOR

Deputy Directors  
MICHAEL D. FORMBY  
FRANCIS PAUL KEENO  
JIRO A. SUMADA

IN REPLY REFER TO:

STP 8.0214

RECEIVED

SEP 10 2010

CHRIS HART & PARTNERS, INC.  
Landscape Architecture and Planning

cc: Matt 10/23/4

Mr. Matthew M. Slepín  
Senior Associate  
Chris Hart & Partners, Inc.  
115 N. Market Street  
Wailuku, Hawaii 96793-1717

Dear Mr. Slepín:

Subject: Fedele Residence Improvements  
Early Consultation for Draft Environmental Assessment (DEA)

Thank you for requesting the State Department of Transportation's (DOT) review of the subject project.

DOT understands that the applicant proposes a 3,000 square foot addition to the existing residence as well as accessory structures such as a swimming pool and pool deck. The project is located on the Front Street, Lahaina.

Given the project's location, DOT does not anticipate any significant, adverse impacts to its transportation facilities.

DOT appreciates the opportunity to provide comments. If there are any other questions, please contact Mr. David Shimokawa of the DOT Statewide Transportation Planning Office at telephone number (808) 587-2356.

Very truly yours,

A handwritten signature in black ink, appearing to be "BM", with a stylized flourish at the end.

BRENNON T. MORIOKA, Ph.D., P.E.  
Director of Transportation

LINDA LINGLE  
GOVERNOR



BRENNON T. MORIOKA  
DIRECTOR

Deputy Directors  
MICHAEL D. FORMBY  
FRANCIS PAUL KEENO  
JIRO A. SUMADA

STATE OF HAWAII  
DEPARTMENT OF TRANSPORTATION  
HIGHWAYS DIVISION  
MAUI DISTRICT  
650 PALAPALA DRIVE  
KAHULUI, HAWAII 96732-2321

IN REPLY REFER TO:  
HWY-M 2.433-10

September 1, 2010

Mr. Matthew M. Slepín, Senior Associate  
Chris Hart & Partners, Inc.  
115 N. Market Street  
Wailuku, Hawaii 96793-1717

Dear Mr. Slepín,

The Maui District Office of the State of Hawaii, Department of Transportation, Highways Division, acknowledges receipt of your letter of August 10, 2010 requesting early consultation for proposed Fedele Residence Improvements at 455 Front Street in Lahaina, TMK (2)4-6-002:006.

The project does not affect any State Highways Division roadways or right-of-ways. As such, the State Highways Division has no comments on the proposed project.

Should you have any questions or require additional information, please feel free to call myself or Project Engineer, Robert Spilker, at (808) 873-3535.

Very truly yours,

A handwritten signature in black ink, appearing to read "F. Cajigal", written over the typed name.

FERDINAND CAJIGAL  
District Engineer, Maui

RS\nsb

c: HWY-ME

CC: Matt 10634  
RECEIVED

SEP 01 2010

CHRIS HART & PARTNERS, INC.  
Landscape Architecture and Planning

LINDA LINGLE  
GOVERNOR OF HAWAII



STATE OF HAWAII  
DEPARTMENT OF LAND AND NATURAL RESOURCES

STATE HISTORIC PRESERVATION DIVISION  
601 KAMOKILA BOULEVARD, ROOM 555  
KAPOLEI, HAWAII 96707

LAURA H. THELEN  
CHAIRPERSON  
BOARD OF LAND AND NATURAL RESOURCES  
COMMISSION ON WATER RESOURCE MANAGEMENT

RUSSELL V. TSEJI  
FIRST DEPUTY

LENORE N. OHYE  
DEPUTY DIRECTOR - WATER

AQUATIC RESOURCES  
BOATING AND OCEAN RECREATION  
BUREAU OF CONVEYANCES  
COMMISSION ON WATER RESOURCE MANAGEMENT  
CONSERVATION AND COASTAL LANDS  
CONSERVATION AND RESOURCES ENFORCEMENT  
ENGINEERING  
FORESTRY AND WILDLIFE  
HISTORIC PRESERVATION  
KAHOOLAWE ISLAND RESERVE COMMISSION  
LAND  
STATE PARKS

August 25, 2010

Matthew M. Slepín, Senior Associate  
Chris Hart & Partners, Inc.  
115 N. Market Street  
Wailuku, Hawaii 96793-1717

LOG NO: 2010.1226  
DOC NO: 1008MD41  
Archaeology

Dear Mr. Slepín:

**SUBJECT: Chapter 6E-42 Historic Preservation Review –  
Request for Early Consultation on an Environmental Assessment  
Ku‘ia Ahupua‘a, Lāhainā District, Island of Maui  
TMK: (2) 4-6-002:006**

Thank you for the opportunity to comment on the aforementioned project, which we received on August 23, 2010. The owner is proposing a 3,000 square foot addition to an existing house, as well as a new pool and pool deck.

This parcel was originally LCAw. 404 and is located on the coast off Front Street in the Lāhainā Historic District. Previous work conducted on this parcel for a waterline included a recommendation from SHPD for archaeological monitoring during construction (*Log No. 2007.3721, Doc No. 0804JP23*); however, we do not appear to have a monitoring plan or report in our records. We understand that this project will entail both a draft environmental assessment and a draft environmental assessment; we look forward to reviewing both. We recommend that they include instructions requiring the submittal of an archaeological monitoring plan to SHPD for review and approval pursuant to HAR §13-279 prior to the start of any ground-altering activity.

If you have questions about this letter please contact Morgan Davis at (808) 896-0514 or via email to: [morgan.e.davis@hawaii.gov](mailto:morgan.e.davis@hawaii.gov).

Aloha,

Theresa K. Donham  
Acting Archaeology Branch Chief  
State Historic Preservation Division

CC: Matt 101034  
RECEIVED

SEP 01 2010

CHRIS HART & PARTNERS, INC.  
Landscape Architecture and Planning



Landscape Architecture  
City & Regional Planning  
March 21, 2011

Ms. Theresa Dohnam, Acting Archaeology Branch Chief  
State of Hawaii  
Department of Land and Natural Resources  
Historic Preservation Division  
Kakuhihewa Building, Room 555  
601 Kamokila Boulevard  
Kapolei, Hawaii 96707

SUBJECT: Early Consultation Comments on the proposed Fedeles Residence Improvements; 455 Front Street, Lahaina, Maui; TMK (2) 4-6-002:006

Dear Ms. Donham,

This letter is in response to comments dated August 25, 2010. Following receipt of your comments, the project archaeologist prepared and submitted an Archaeological Monitoring Plan (AMP), which was reviewed and approved by your office. A copy of the AMP approval letter will be included in the Draft EA.

Thank you your comments. Please feel free to contact me with any questions or concerns.

Respectfully,

Matthew Slepina, Senior Associate

cc. Project File (CH&P Job No. 10-034)

CHARMAINE TAVARES  
MAYOR



JEFFREY A. MURRAY  
CHIEF

ROBERT M. SHIMADA  
DEPUTY CHIEF

**COUNTY OF MAUI**  
DEPARTMENT OF FIRE AND PUBLIC SAFETY  
FIRE PREVENTION BUREAU

313 MANEA PLACE • WAILUKU, HAWAII 96793  
(808) 244-9161 • FAX (808) 244-1363

**Date** : August 30, 2010

**To** : Matthew M. Slepín  
Chris Hart & Partners, Inc.  
115 N. Market St.  
Wailuku, HI 96793

**Subject** : Proposed Fedele Residence Improvements  
Early Consultation for EA  
TMK (2) 4-6-002: 006  
455 Front St., Lahaina

Dear Matthew,

Thank you for allowing our office the opportunity to comment on this subject. At this time the Fire Prevention Bureau has no specific comments to add to the EA regarding the proposed work to be done within the Lahaina National Historic Landmark District. Our office does reserve the right to comment during the building permit process for this proposed work.

If there are any questions or comments, please feel free to contact me by mail or at 244-9161 ext. 23.

Sincerely,

A handwritten signature in black ink, appearing to read "Paul Haake".

Paul Haake  
Captain, Fire Prevention Bureau  
313 Manea Place  
Wailuku, HI 96793

CC: Matt 101 034  
RECEIVED

SEP 01 2010

CHRIS HART  
Landscape Architect



DEPARTMENT OF  
**HOUSING AND HUMAN CONCERNS**  
HOUSING DIVISION  
COUNTY OF MAUI

CHARMAINE TAVARES  
Mayor

LORI TSUHAKO  
Director

JO-ANN T. RIDAO  
Deputy Director

35 LUNALILO STREET, SUITE 102 • WAILUKU, HAWAII 96793 • PHONE (808) 270-7351 • FAX (808) 270-6284

August 30, 2010

RECEIVED

SEP 02 2010

Mr. Matthew Slepín  
Senior Associate  
Chris Hart & Partners INC.  
115 N. Market Street  
Wailuku, Hawaii 96793-1717

CHRIS HART & PARTNERS, INC.  
Landscape Architecture and Planning

*CV. Matt 101034*

Dear Mr. Slepín:

**Subject: Early Consultation Request for Proposed Fedele Residence  
Improvements; 455 Front Street, Lahaina, Maui.  
TMK (2)4-6-002:006**

The Department has reviewed the request for Early Consultation for the above subject project. Based on our review, we have determined that the subject project is not subject to Chapter 2.96, Maui County Code. The Department has no additional comments to offer at this time.

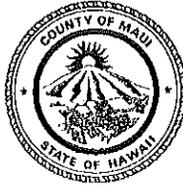
Please call Mr. Buddy Almeida of our Housing Division at (808) 270-7356 if you have any questions.

Sincerely,

WAYDE T. OSHIRO  
Housing Administrator

cc: Director of Housing and Human Concerns

CHARMAINE TAVARES  
Mayor



TAMARA HORCAJO  
Director

ZACHARY Z. HELM  
Deputy Director

(808) 270-7230  
Fax (808) 270-7934

**DEPARTMENT OF PARKS & RECREATION**

700 Hali'a Nako'a Street, Unit 2, Wailuku, Hawaii 96793

August 24, 2010

Attention: Matthew M. Slepín, Senior Associate & Land Planner  
Chris Hart & Partners, Inc.  
115 N. Market Street  
Wailuku, Hawaii 96793

**SUBJECT: Early Consultation Request for Proposed Fedele Residence  
Improvements; 455 Front Street, Lahaina, Maui, Hawaii; TMK  
(2) 4-6-002:006**

Dear Mr. Slepín:

Based on our review of the proposed Fedele residence improvements, the Parks Department does not have any comments at this time.

Thank you for the opportunity to review and comment on this matter. Please feel free to contact me or Mr. Baron Sumida, CIP Coordinator in the Parks Planning and Development Division at 270-6173 should you have any questions.

Sincerely,

A handwritten signature in cursive script that reads "Tamara Horcajo".

TAMARA HORCAJO  
Director

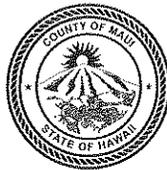
c: Patrick Matsui, Chief of Parks Planning & Development  
TH:PTM:bks

CC: matt 10/034  
**RECEIVED**

**AUG 31 2010**

CHRIS HART & PARTNERS, INC.  
Landscape Architecture and Planning

CHARMAINE TAVARES  
Mayor  
KATHLEEN ROSS AOKI  
Director  
ANN T. CUA  
Deputy Director



RECEIVED

SEP 17 2010

CHRIS HART & PARTNERS, INC.  
Landscape Architects

CC: Matt 101034

COUNTY OF MAUI  
**DEPARTMENT OF PLANNING**

September 10, 2010

Mr. Matthew M. Slepín, Senior Associate  
Chris Hart and Partners, Inc.  
115 North Market Street  
Wailuku, Hawaii 96793

Dear Mr. Slepín:

**SUBJECT: EARLY COMMENTS REGARDING THE ENVIRONMENTAL ASSESSMENT  
FOR THE PROPOSED FEDELE RESIDENCE IMPROVEMENTS LOCATED  
AT 455 FRONT STREET, LAHAINA, ISLAND OF MAUI, HAWAII;  
TMK: (2) 4-6-002:006 (RFC 2010/0123)**

The Department of Planning (Department) has the following comments in regard to the letter dated August 10, 2010 requesting comments on the anticipated Draft Environmental Assessment (DEA).

The Department understands the proposed action includes an approximately 3,000 square foot addition to the existing residence, and accessory structures such as a swimming pool and pool deck.

The Department provides the following comments on the content of the DEA:

1. Provide photos of existing views of the site, and computer generated photos of the site with the proposed development. Photos should be both from and towards the ocean.
2. Discuss shoreline access in the area and whether any will be provided on the site. Include a map indicating how public access is currently provided to the shoreline in the area, including parking and pedestrian paths; and any proposed access paths.
3. Discuss how the proposal will address threats from tsunamis, and how the proposal will comply with flood hazard regulations.
4. Provide an analysis of how the proposal is consistent with applicable design standards, regulations, and policies in the West Maui Community Plan and the Countywide Policy Plan.
5. Provide an analysis of how the proposal will impact the Lahaina National Historic Landmark District.
6. Provide an analysis of the cumulative effects that would occur if large additions were added to the existing homes in the vicinity along Front Street.

Mr. Matthew Slepín  
September 10, 2010  
Page 2

7. If the Maui Island Plan is adopted prior to the submittal of the Final Environmental Assessment (FEA), then include in the FEA an analysis of how the proposed project complies with the Maui Island Plan.

Thank you for the opportunity to comment. If you require further clarification, please contact Senior Planner Jeffrey Hunt by email at [jeff.hunt@mauicounty.gov](mailto:jeff.hunt@mauicounty.gov) or by phone at (808) 270-7821.

Sincerely,



KATHLEEN ROSS AOKI  
Planning Director

xc: Clayton I. Yoshida, AICP, Planning Program Administrator  
Jeffrey S. Hunt, AICP, Senior Planner  
EAC File  
General File

KRA:JSH:atn

K:\WP\_DOCS\PLANNING\RFC\2010\0123\_Fedele\_Residence\_EISPN\Comment\_Letter\_EISPN.doc



Landscape Architecture  
City & Regional Planning

March 21, 2011

Mr. William Spence, Director  
County of Maui  
Department of Planning  
250 South High Street  
Wailuku, Hawaii 96793

SUBJECT: Early Consultation Comments on the proposed Fedele Residence Improvements; 455 Front Street, Lahaina, Maui; TMK (2) 4-6-002:006

Dear Mr. Spence,

This letter is in response to comments dated September 10, 2010, from Ms. Kathleen Ross Aoki. We note those comments and our responses to them:

*1. Provide photos of existing views of the site, and computer generated photos of the site with the proposed development. Photos should be both from and towards the ocean.*

**Response:** The Draft Environmental Assessment (DEA) will contain photographs of the site, including views from Front Street, from the ocean-side of the property, and an aerial photograph. The property is fronted by an approximately 6 foot high stone wall all along Front Street, which effectively eliminates any scenic view corridors from that roadway. The addition to the main residence is planned for an area already occupied by the northern wing of the house as far as views to and from the shoreline are concerned. Finally, the swimming pool and deck are located outside of the shoreline setback and do not impede lateral views along the shoreline.

*2. Discuss shoreline access in the area and whether any will be provided on the site. Include a map indicating how public access is currently provided to the shoreline in the area, including parking and pedestrian paths; and any proposed access paths.*

**Response:** A public beach accessway is located approximately 150 feet to the north of the subject property at the southern end of the Lahaina Shores. A figure in the DEA will indicate this. We would add that the proposed improvements have no impact on public beach access.

*3. Discuss how the proposal will address threats from tsunamis, and how the proposal will comply with flood hazard regulations.*

**Response:** All work will comply with applicable flood zone standards, such as set forth in Chapter 19.62, "Flood Hazard Areas", Maui County Code. The proposed improvements are not anticipated the neighboring properties with regard to flood hazard potential.

*4. Provide an analysis of how the proposal is consistent with applicable design standards, regulations, and policies in the West Maui Community Plan and the Countywide Policy Plan.*

**Response:** The DEA will discuss the project's consistency with applicable design standards, regulations, and policies in the West Maui Community Plan and the Countywide Policy Plan.

*5. Provide an analysis of how the proposal will impact the Lahaina National Historic Landmark District.*

**Response:** The project site lies within the Lahaina National Historic Landmark District. However, none of the structures on site are historic or deemed to have historic significance. The proposed improvements will not impact the character of the Lahaina National Historic Landmark District nor its value in illustrating or interpreting the heritage of the of the United States.

*6. Provide an analysis of the cumulative effects that would occur if large additions were added to the existing homes in the vicinity along Front Street.*

**Response:** We note that the proposed addition to the main residence is not a large addition, being approximately 3,000 sf. As will be indicated in the DEA, *mauka* and *makai* views along Front Street are limited in the vicinity of the property due to

development and vegetation on neighboring properties, as well as the approximately 6-foot high wall running along Front Street. Were other properties in the vicinity to be improved as the subject property - without impact to view corridors and in conformance with applicable design standards, regulations, and policies - we would anticipate no substantive impacts.

*7. If the Maui Island Plan is adopted prior to the submittal of the Final Environmental Assessment (FEA), then include in the FEA an analysis of how the proposed project complies with the Maui Island Plan.*

**Response:** An analysis in regard to the Maui Island Plan will be included in the FEA should it be adopted prior to its submittal.

Thank you your comments. Please feel free to contact me with any questions or concerns.

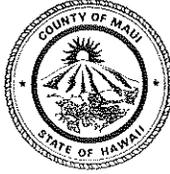
Respectfully,

A handwritten signature in black ink, appearing to read "M Slepina". The signature is fluid and cursive, with the first letter of the first name being a large, stylized "M".

Matthew Slepina, Senior Associate

cc. Project File (CH&P Job No. 10-034)

CHARMAINE TAVARES  
MAYOR



DON A. MEDEIROS  
Director  
WAYNE A. BOTEELHO  
Deputy Director  
Telephone (808) 270-7511  
Facsimile (808) 270-7505

DEPARTMENT OF TRANSPORTATION

COUNTY OF MAUI  
200 South High Street  
Wailuku, Hawaii, USA 96793-2155

August 24, 2010

Mr. Matthew Slepín  
Chris Hart & Partners Inc.  
115 N. Market Street  
Wailuku, Maui, Hawaii 96793

Subject: Proposed Fedele Residence improvements: 455 Front Street, Lahaina

Dear Mr. Slepín,

Thank you for the opportunity to comment on this project. We have no comments to make at this time.

Please feel free to contact me if you have any questions.

Sincerely,

A handwritten signature in cursive script, appearing to read "Medeiros", is written in black ink.

Don Medeiros  
Director

CC: Matt 10/03/10  
RECEIVED

AUG 31 2010

CHRIS HART & PARTNERS, INC.  
Landscape Architecture and Planning



CHARMAINE TAVARES  
MAYOR

OUR REFERENCE  
YOUR REFERENCE

# POLICE DEPARTMENT COUNTY OF MAUI

55 MAHALANI STREET  
WAILUKU, HAWAII 96793  
(808) 244-6400  
FAX (808) 244-6411



GARY A. YABUTA  
CHIEF OF POLICE

CLAYTON N.Y.W. TOM  
DEPUTY CHIEF OF POLICE

August 23, 2010

Mr. Matthew M. Slepín, Senior Associate  
Chris Hart & Partners, Inc.  
115 N. Market Street  
Wailuku, HI 96793

Dear Mr. Slepín:

SUBJECT: Early Consultation Request for Proposed Fedele Residence  
Improvements; 455 Front Street, Lahaina; TMK: (2) 4-6-002:006

This is in response to your letter dated August 10, 2010, requesting comments on  
the above subject.

We have reviewed the information submitted for the above mentioned project and  
would like to reserve our comments and recommendations until a final draft of all proposals  
have been submitted. Thank you for allowing us to review this project.

Very truly yours,

Assistant Chief Danny J. Matsuura  
for: Gary A. Yabuta  
Chief of Police

c: Kathleen Ross Aoki, Maui County Dept. of Planning

CC: Matt 10/021  
RECEIVED

AUG 26 2010

CHRIS HART & PARTNERS, INC.  
Landscape Architecture and Planning



August 24, 2010

Mr. Matthew M. Slepín, Senior Associate  
Chris Hart & Partners, Inc.  
115 North Market Street  
Wailuku, Hawaii 96793

Subject: Early Consultation Request for Proposed Fedele Residence Improvements  
455 Front Street  
Lahaina, Maui, Hawaii  
Tax Map Key: (2) 4-6-002:006

Dear Mr. Slepín,

Thank you for allowing us to comment on the Early Consultation for the subject project.

In reviewing our records and the information received, Maui Electric Company has no objections to the subject project at this time. If the customer plans to add any additional electrical load to our system, we highly encourage the customer to submit an electrical service request so that any service upgrade can be provided on a timely basis.

Should you have any questions or concerns, please call me at 871-2341.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kyle Tamori', with a long, sweeping horizontal line extending to the right.

Kyle Tamori  
Staff Engineer

RECEIVED

AUG 25 2010

CHRIS HART & PARTNERS, INC.  
Landscape Architecture and Planning

CC: Matt 101024

# **Appendix F: Agency Comment Letters**



ALAN M. ARAKAWA  
Mayor

WILLIAM R. SPENCE  
Director

MICHELE CHOUTEAU McLEAN  
Deputy Director



COUNTY OF MAUI  
**DEPARTMENT OF PLANNING**

**TRANSMITTAL**

**August 29, 2011**

<b>STATE AGENCIES</b>	
•	DAGS
•	DBEDT
•	Dept of Hawaiian Homelands
•	Dept of Health, Maui (2)
•	DLNR-Land, Maui
•	DLNR-OCCL
•	DLNR-SHPD - Oahu
•	DLNR-SHPD - Maui
•	DOE, Maui
•	DOT, Maui
•	DOT, Statewide Planning Office (4)
•	Office of Hawaiian Affairs
•	Office of Planning
<b>OTHER</b>	
•	Hawaiian Telecom (Hard Copy)
•	Maui Electric Company
•	Stanley Solamillo, Cultural Planner

<b>COUNTY AGENCIES</b>	
•	Dept of Environmental Management (2)
•	Dept of Parks & Recreation
•	Dept of Public Works (3 Hard Copies)
•	Dept of Transportation
•	Dept of Water Supply
•	Fire & Public Safety
•	Police Department
•	ZAED, Zoning & Enforcement Division

<b>PROJECT:</b>	<b>DRAFT ENVIRONMENTAL ASSESSMENT (DEA) FEDELE RESIDENCE</b>
<b>APPLICANT:</b>	<b>Mr. Joseph F. Fedele – (Consultant – Chris Hart &amp; Partners)</b>
<b>PERMIT NO.:</b>	<b>SMX 2011/0188 and EA 2011/0002</b>
<b>TMK:</b>	<b>(2) 4-6-002:006</b>
<b>STREET ADDRESS:</b>	<b>455 Front Street, Lahaina, MAUI, Hawaii 96761</b>
<b>PROJECT DESCRIPTION:</b>	<b>Improvements including approximately 3,000 square feet addition to the main house and addition of a swimming pool.</b>

**TRANSMITTED TO YOU ARE THE FOLLOWING:**

<input checked="" type="checkbox"/>	Application(s)
-------------------------------------	----------------

**THESE ARE TRANSMITTED AS CHECKED BELOW:**

<input checked="" type="checkbox"/>	For your Comment and Recommendation. Project is located within the Lahaina National Historic Landmark District and Special Management Area, Shoreline Property.
-------------------------------------	--

Please identify any comments you would like the Department of Planning to propose as conditions of project approval. Please also provide any previous comments, letters, etc. pertinent to this application.

AGENCY NAME		PHONE	
----------------	--	-------	--

Agency Transmittal – FEDELE RESIDENCE IMPROVEMENTS (SMX 2011/0188, EA 2011/0002)

August 29, 2011

Page 2

Submit your comments directly to me by September 30, 2011. A comment box is also provided to assist you. If no comment, please sign the "No Comment" box and fax to (808) 463-3867. Thank you for your time and assistance. For additional clarification, please contact me via email at [anna.benesovska@mauicounty.gov](mailto:anna.benesovska@mauicounty.gov) or at (808) 463-3867.

Sincerely,



ANNA BENESOVSKA, Staff Planner

xc: Clayton I. Yoshida, AICP, Planning Program Administrator  
Jordan E. Hart, Chris Hart & Partners, Inc.  
Anna Benesovska, Staff Planner  
Project File  
General File

AB:rm

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<b>AGENCY NAME</b>		<b>PHONE</b>	
------------------------	--	--------------	--

Agency Transmittal – FEDELE RESIDENCE IMPROVEMENTS (SMX 2011/0188, EA 2011/0002)

August 29, 2011

Page 3

<b>NO COMMENT</b>			
Signed:		Dated:	
Print Name:		Title:	

<b>COMMENT/RECOMMENDATION BOX</b>			
Signed:		Dated:	
Print Name:		Title:	



**AGENCY TRANSMITTAL RESPONSE e-FORM**  
**FOR DEPARTMENT OF PLANNING, COUNTY OF MAUI**  
**August 30, 2011**

<b>AGENCY NAME</b>	Department of Environmental Mgmt.	<b>PHONE</b>	270-8230
<b>PROJECT:</b>	Draft Environmental Assessment (DEA) Fedele Residence		
<b>APPLICANT:</b>	Mr. Joseph F. Fedele (Consultant - Chris Hart & Partners)		
<b>PERMIT NO:</b>	SMX 2011/0188 and EA 2011/0002		
<b>TMK:</b>	2-4-6-002-006		
<b>STREET ADDRESS:</b>	455 Front Street, Lahaina, Maui, HI 96761-47		
<b>PROJECT DESCRIPTION:</b>	Improvements including approx. 3,000 square feet addition to main house and addition of swimming pool		
<b>SECURITY CODE:</b>			

**COMMENTS/RECOMMENDATIONS**     **NO COMMENTS**

**WASTEWATER RECLAMATION DIVISION COMMENTS**

- a. Although wastewater system capacity is currently available as of 9/23/2011, the developer should be informed that wastewater system capacity cannot be ensured until the issuance of the building permit.
- b. Developer is not required to pay assessment fees for this area at the current time.
- c. Plans shall show the existing property sewer service cleanout near the property line. If a property sewer service cleanout does not exist, one shall be installed.
- d. Non-contact cooling water and condensate should not discharge to the County's wastewater system.
- e. Swimming pool water shall not be discharged to the County's wastewater system.

**COMMENTS/RECOMMENDATIONS**     **NO COMMENTS**

**SOLID WASTE DIVISION COMMENTS**

Include recycling and reuse as feasible in the demolition plan to be submitted to the Department.

Signed:



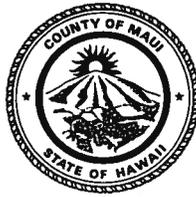
Print Name:

Michael M. Miyamoto, Deputy Director

Date 9/30/11



11522  
ALAN M. ARAKAWA  
Mayor



AD  
GLENN T. CORREA  
Director

PATRICK T. MATSUI  
Deputy Director

(808) 270-7230  
FAX (808) 270-7934

**DEPARTMENT OF PARKS & RECREATION**

700 Hali'a Nakoa Street, Unit 2, Wailuku, Hawaii 96793

DEPT. OF PLANNING  
COUNTY OF MAUI  
RECEIVED

'11 SEP 13 AM 11:26

September 7, 2011

Anna Benesovska, Staff Planner  
Department of Planning  
County of Maui  
250 South High Street  
Wailuku, Hawaii 96793

Dear Ms. Benesovska:

**SUBJECT: Draft Environmental Assessment (DEA) Fedele Residence, SMX 2011/0188 and EA 2011/0002, TMK (2) 4-6-002:006, 455 Front Street, Lahaina, Maui, Hawai'i 96761**

Thank you for the opportunity to review and comment on the subject project. The Department of Parks & Recreation has no comments at this time, and looks forward to reviewing the Environmental Assessment when it is available.

Please feel free to contact me or Robert Halvorson, Chief of Planning and Development, at 270-7931, should you have any questions.

Sincerely,

GLENN T. CORREA  
Director of Parks & Recreation

c: Clayton I. Yoshida, AICP, Planning Program Administrator  
Jordon E. Hart, Chris Hart & Partners, Inc.  
Robert Halvorson, Chief of Planning and Development

GTC:RH:bks



ALAN M. ARAKAWA  
MAYOR



JEFFREY A. MURRAY  
CHIEF

ROBERT M. SHIMADA  
DEPUTY CHIEF

**COUNTY OF MAUI**

DEPARTMENT OF FIRE AND PUBLIC SAFETY  
FIRE PREVENTION BUREAU

313 MANEA PLACE • WAILUKU, HAWAII 96793  
(808) 244-9161 • FAX (808) 244-1363

'11 SEP -8 AM 55

DEPT OF PLANNING  
COUNTY OF MAUI  
RECEIVED

**Date** : September 7, 2011

**To** : Anna Benesovska ,Staff Planner  
250 S. High Street  
Wailuku, HI 96793

**Project** : DEA Fedele Residence  
455 Front Street,Lahaina  
SMX 2011/0188 & EA 2011/0002  
(2) 4-6-002:006

Anna,

Thank you for the opportunity to comment on this project. There are no specific comments for this DEA. During the permit process we will reserve the right to comment. But looking at the location, there should be no problems with this area.

If there are any questions or comments, please feel free to contact me by mail or at 244-9161 ext. 25.

Sincerely,

A handwritten signature in blue ink that reads "Kono Davis". The signature is fluid and cursive.

Kono Davis  
Lieutenant, Fire Prevention Bureau



115193

AD

NEIL ABERCROMBIE  
GOVERNOR



BRUCE A. COPPA  
COMPTROLLER

JAN S. GOUVEIA  
DEPUTY COMPTROLLER

STATE OF HAWAII  
DEPARTMENT OF ACCOUNTING AND GENERAL SERVICES  
P.O. BOX 119, HONOLULU, HAWAII 96810-0119

11 SEP -9 P3 25

Response refer to:  
Ma-251(11)

DEPT OF PLANNING  
COUNTY OF MAUI  
RECEIVED

September 8, 2011

MEMORANDUM

TO: William R. Spence, Planning Director  
Department of Planning, County of Maui

ATTN: Anna Benesovska, Staff Planner

FROM: ~~FOR~~ Reid K. Siarot, State Land Surveyor *Reid K. Siarot*  
DAGS, Survey Division

SUBJECT: Draft Environmental Assessment (DEA) Fedele Residence  
Applicant: Mr. Joseph F. Fedele – (Consultant – Chris Hart & Partners)  
Permit No.: SMX 2011/0188 and EA 2011/0002  
TMK: 4-6-02: 06

11 SEP 12 A10:44

DEPT OF PLANNING  
COUNTY OF MAUI  
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The subject proposal has been reviewed and confirmed that no Government Survey Triangulation Stations or Benchmarks are affected. Survey has no objections to the proposed project.

Should you have any questions, please call me at 586-0390.



11/5/82

NEIL ABERCROMBIE  
GOVERNOR



KATHRYN S. MATAYOSHI  
SUPERINTENDENT

STATE OF HAWAII  
DEPARTMENT OF EDUCATION

P.O. BOX 2360  
HONOLULU, HAWAII 96804

'11 SEP 15 AM 1:55

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OFFICE OF SCHOOL FACILITIES AND SUPPORT SERVICES

September 13, 2011

Mr. William R. Spence, Director  
Department of Planning  
County of Maui  
250 South High Street  
Wailuku, Hawaii 96793

Attn: Ms. Anna Benesovska, Staff Planner

Dear Mr. Spence:

SUBJECT: Draft Environmental Assessment for the Fedele Residence  
Lahaina, Maui, TMK: 4-6-002:006, SMX 2011/0188 and EA 2011/0002

The Department of Education (DOE) has no comment or concern with the Draft Environmental Assessment for the proposed improvements to the Fedele residence. We would like to note that the King Kamehameha III Elementary School is in some proximity to the Fedele residence, so if construction were to require the temporary closing of roads, it would be useful to notify the principal of the school.

If you have any questions, please call Heidi Meeker of the Facilities Development Branch at (808) 377-8301.

Sincerely yours,

Duane Y. Kashiwai  
Public Works Administrator

DYK:jmb

c: Lindsay Ball, CAS, Hana/Lahainaluna/Lahaina/Molokai Complex Area





11 SEP 23 P12:28

STATE OF HAWAII  
DEPARTMENT OF TRANSPORTATION  
869 PUNCHBOWL STREET  
HONOLULU, HAWAII 96813-5097  
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IN REPLY REFER TO:  
STP 11-143  
STP 8.0534

September 15, 2011

Mr. William Spence  
Director  
Department of Planning  
County of Maui  
250 South High Street  
Wailuku, Hawaii 96793

Dear Mr. Spence:

Subject: Fedele Residence Improvements  
Draft Environmental Assessment (DEA)

Thank you for requesting the State Department of Transportation's (DOT) review of the subject project.

DOT understands that the applicant proposes a 3,000 square foot addition to the existing residence as well as accessory structure such as a swimming pool and pool deck. The project is located on Front Street, Lahaina.

Given the project's location, DOT does not anticipate any significant, adverse impacts to its transportation facilities.

DOT appreciates the opportunity to provide comments. If there are any other questions, please contact Mr. David Shimokawa of the DOT Statewide Transportation Planning office at telephone number (808) 831-7976.

Very truly yours,

A handwritten signature in black ink, appearing to read "Glenn M. Okimoto".

GLENN M. OKIMOTO, Ph.D.  
Director of Transportation

ET:km



NEIL ABERCROMBIE  
GOVERNOR  
STATE OF HAWAII



STATE OF HAWAII  
DEPARTMENT OF HAWAIIAN HOME LANDS

P. O. BOX 1879  
HONOLULU, HAWAII 96805

ALBERT "ALAPAKI" NAHALE-A  
CHAIRMAN  
HAWAIIAN HOMES COMMISSION

MICHELE K. KAUHANE  
DEPUTY TO THE CHAIRMAN

M. WAIALEALE SARSONA  
EXECUTIVE ASSISTANT

September 15, 2011

Ms. Anna Benesovska  
Staff Planner  
Department of Planning, Maui County  
250 South High Street  
Wailuku, Hawaii 96793

'11 SEP 27 P 1:14

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COUNTY OF MAUI  
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Aloha Ms. Benesovska:

Subject: DRAFT ENVIRONMENTAL ASSESSMENT - FEDELE RESIDENCE  
SMX 2011/0188 AND EA 2011/0002  
TMK NO. (2)4-6-002:006  
LAHAINA, MAUI, HAWAII

Thank you for the opportunity to review and provide comments on the subject matter. The Department of Hawaiian Home Lands has no comment to offer.

If you have any questions, please call our Planning Office at (808)620-9519.

Me ke aloha,

Albert "Alapaki" Nahale-a  
Chairman  
Department of Hawaiian Home Lands





September 22, 2011

Mr. Matthew M. Slepín, Senior Associate  
Chris Hart & Partners, Inc.  
115 North Market Street  
Wailuku, Hawaii 96793

Subject: Draft Environmental Assessment for Fedele Residence Improvements  
455 Front Street  
Lahaina, Maui, Hawaii  
Tax Map Key: (2) 4-6-002:006

Dear Mr. Slepín,

Thank you for allowing us to comment on the Draft Environmental Assessment for the subject project.

In reviewing our records and the information received, Maui Electric Company has no additional comments at this time.

Should you have any questions or concerns, please call me at 871-2341.

Sincerely,

Kyle Tamori  
Engineer II

RECEIVED

SEP 26 2011

CHRIS HART & PARTNERS, INC.  
Landscape Architecture and Planning

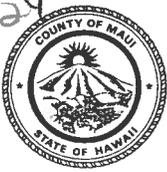
C. Jordan

101034



11/5524

13



# POLICE DEPARTMENT

## COUNTY OF MAUI



ALAN M. ARAKAWA  
MAYOR

55 MAHALANI STREET  
WAILUKU, HAWAII 96793  
(808) 244-6400  
FAX (808) 244-6411

GARY A. YABUTA  
CHIEF OF POLICE

OUR REFERENCE  
YOUR REFERENCE

CLAYTON N.Y.W. TOM  
DEPUTY CHIEF OF POLICE

September 26, 2011

### MEMORANDUM

TO : ANNA BENESOVSKA, STAFF PLANNER  
PLANNING DEPARTMENT

FROM : GARY A. YABUTA, CHIEF OF POLICE

SUBJECT : PERMIT NO. : SMX 2011/0188 and EA 2011/0002  
 TMK : (2) 4-6-002:006  
 Project  
 Name : DEA Fedele Residence  
 Applicant : Mr. Joseph F. Fedele

11 SEP 27 AM 0:23

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No major concerns or objections at this time.

Refer to enclosed comments and/or recommendations.

Thank you for giving us the opportunity to comment on this project.

Assistant Chief Victor K. Ramos  
For: GARY A. YABUTA  
Chief of Police



11/5617

ALAN M. ARAKAWA  
Mayor

DAVID C. GOODE  
Director

ROWENA M. DAGDAG-ANDAYA  
Deputy Director

Telephone: (808) 270-7845  
Fax: (808) 270-7955



COUNTY OF MAUI  
**DEPARTMENT OF PUBLIC WORKS**  
200 SOUTH HIGH STREET, ROOM NO. 434  
WAILUKU, MAUI, HAWAII 96793

RALPH NAGAMINE, L.S., P.E.  
Development Services Administration

CARY YAMASHITA, P.E.  
Engineering Division

BRIAN HASHIRO, P.E.  
Highways Division

September 26, 2011

11 OCT -3 A9  
DEPT OF PLAN  
COUNTY OF MAUI  
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*[Handwritten signature]*

MEMO TO: WILLIAM R. SPENCE, PLANNING DIRECTOR

FROM: *[Handwritten initials]* DAVID C. GOODE, DIRECTOR OF PUBLIC WORKS

SUBJECT: **DRAFT ENVIRONMENTAL ASSESSMENT IN SUPPORT OF A  
SPECIAL MANAGEMENT AREA ASSESSMENT FOR FEDELE  
RESIDENCE; TMK: (2) 4-6-002:006  
SMX 2011/0188 AND EA 2011/0002**

We reviewed the subject application and have the following comments:

Comments from the Development Services Administration:

1. Building Permit No. 65/0605 was issued on May 20, 1965, for a Dwelling/Garage. No inspection records available at this time.
2. Building Permit No. 65/0606 was issued on May 20, 1965, for two (2) bedrooms. No inspection records available at this time.
3. Building Permit No. 87/0923 was issued on April 9, 1987, for alterations (enclose existing lanai at dining room). Final inspection on May 5, 1987.
4. Building Permit No. 92/2912 was issued on December 11, 1992, for an addition to two (2) bedroom building (add living room, kitchen, bath to be accessory dwelling). Final inspection on March 30, 1993.
5. Building Permit No. 94/1371 was issued on July 12, 1994, for a carport. Final inspection on August 4, 1994.

6. Building Permit No. 98/0155 was issued on February 3, 1998, for an addition/alteration to main dwelling (enlarge powder room, alter kitchen, remove/add beams, alter master bedroom). Final inspection on November 18, 1998.
7. Building Permit No. 98/0543 was issued on April 2, 1998, for an addition (extend kitchen four [4] feet). Final inspection on November 18, 1998.
8. Building Permit Application T2010/0520 was applied for on March 17, 2010 for additions and alterations to the existing dwelling.
9. Building Permit Application T2010/0521 was applied for on March 17, 2010 for a swimming pool.

Please contact Ernie Takitani at 270-7375 to follow-up on any outstanding inspections.

Comments:

10. There is no record of a building permit for the trellis next to the main dwelling. Note that this trellis is proposed to be demolished.
11. There is no record of a building permit for the trellis area attached to the accessory dwelling. Department of Planning to verify compliance with Maui County Code, Chapter 19.35.
12. There is no record of a building permit for the BBQ roofed area which does not have the minimum setback back of six (6) feet.

If you have any questions regarding this memorandum, please call Rowena M. Dagdag-Andaya at 270-7845.

DCG:RMDA:ls

xc: Highways Division  
Engineering Division

S:\LUCA\CZM\fedele\_res\_smx\_ea\_46002006\_ls.wpd

11/5549

AD

NEIL ABERCROMBIE  
GOVERNOR OF HAWAII



LORETTA J. FUDDY, A.C.S.W., M.P.H.  
DIRECTOR OF HEALTH

LORRIN W. PANG, M.D., M.P.H.  
DISTRICT HEALTH OFFICER

**STATE OF HAWAII**  
**DEPARTMENT OF HEALTH**  
**MAUI DISTRICT HEALTH OFFICE**  
54 HIGH STREET  
WAILUKU, HAWAII 96793

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COUNTY OF MAUI  
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September 26, 2011

'11 SEP 28 P2 :20

Mr. William R. Spence  
Director  
Department of Planning  
County of Maui  
250 South High Street  
Wailuku, Hawaii 96793

Attention: Anna Benesovska

Dear Mr. Spence:

<b>Subject:</b>	<b>Draft Environmental Assessment Fedele Residence</b>
<b>Applicant:</b>	<b>Mr. Joseph F. Fedele-Consultant Chris Hart &amp; Partners</b>
<b>Permit No.:</b>	<b>SMX 2011/0188 and EA 2011/0002</b>
<b>TMK:</b>	<b>(2) 4-6-002:006</b>
<b>Project Location:</b>	<b>455 Front Street, Lahaina, Maui, Hawaii 96761</b>
<b>Project Description:</b>	<b>Improvements-approx. 3,000 sq ft addition to the main house and addition of a swimming pool</b>

Thank you for the opportunity to review this project. We have the following comments to offer:

1. National Pollutant Discharge Elimination System (NPDES) permit coverage maybe required for this project. The Clean Water Branch should be contacted at 808 586-4309.
2. The noise created during the construction phase of the project may exceed the maximum allowable levels as set forth in Hawaii Administrative Rules (HAR), Chapter 11-46, "Community Noise Control." A noise permit may be required and should be obtained before the commencement of work. The Indoor & Radiological Health Branch should be contacted at 808 586-4700.

Mr. William R. Spence  
September 26, 2011  
Page 2

It is strongly recommended that the Standard Comments found at the Department's website: <http://hawaii.gov/health/environmental/env-planning/landuse/landuse.html> be reviewed, and any comments specifically applicable to this project should be adhered to.

Should you have any questions, please call me at 808 984-8230 or E-mail me at [patricia.kitkowski@doh.hawaii.gov](mailto:patricia.kitkowski@doh.hawaii.gov).

Sincerely,



Patti Kitkowski  
District Environmental Health Program Chief

c EPO

ALAN M. ARAKAWA  
Mayor



DAVID TAYLOR, P.E.  
Director

PAUL J. MEYER  
Deputy Director

**DEPARTMENT OF WATER SUPPLY  
COUNTY OF MAUI**

200 SOUTH HIGH STREET  
WAILUKU, MAUI, HAWAII 96793-2155  
www.mauiwater.org

October 5, 2011

Ms. Anna Benesovska, Staff Planner  
Department of Planning  
County of Maui  
250 South High Street  
Wailuku HI 96793

11 OCT -7 AIO:10

DEPT OF PLANNING  
COUNTY OF MAUI  
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Re: TMK: (2) 4-6-002:006  
Permit No.: SMX 2011/0188 and EA 2011/0002  
Project Name: Fedele Residence Draft Environmental Assessment (DEA)

Dear Ms. Benesovska:

Thank you for the opportunity to comment on this DEA. We understand that the project is located in the County of Maui Special Management Area (SMA), and that project implementation will require SMA review and approval by the Maui Planning Department.

**Source Availability and Consumption**

The project area is served by the Lahaina system. The main sources of water for this portion of the Lahaina system are wells withdrawing from Launiupoko aquifer and surface water from Kanaha Stream. New source development projects include upgrades to the Lahaina and Mahinahina Water Treatment Plants, review of potential sites for groundwater wells, and raw water storage. The property is served by one 5/8-inch water meter. The applicant proposes to construct a pool and add 3,000 square feet to the main residence. Should a larger water meter be required, a meter upgrade may not be approved. In 2010 the average daily water consumption was 1,647 gallons per day.

Domestic and irrigation calculations will be required in the building permit process, as well as approved backflow preventers.

*"By Water All Things Find Life"*

### **System Infrastructure**

There is one DWS 12-inch waterline bordering the lot, running along Front Street and one fire hydrant in close proximity to the site. The applicant will be required to provide for water service and fire protection in accordance with system standards.

### **Conservation**

To alleviate demand on the Lahaina system, please find attached a conservation checklist for homes. We recommend that the following conservation measures be included in the project design and noted in the EA:

Use Non-potable Water: Use brackish water for landscaping, dust control and other non-potable purposes where feasible.

Use Climate-adapted Plants: We recommend for all landscaping of the property limiting turf areas and using native climate-adapted plants. The project is located in Plant Zone 5. Native plants adapted to the area conserve water and protect the watershed from degradation due to invasive alien species. Visit our website at <http://www.mauicounty.gov/index.aspx?NID=227> for the County of Maui Landscape and Gardening Handbook.

Eliminate Single-Pass Cooling: Single-pass, water-cooled systems should be eliminated per Maui County Code Subsection 14.21.20. Although prohibited by code, single-pass water cooling is still manufactured into some models of air conditioners, freezers, and commercial refrigerators. Such models should be avoided.

Maintain Fixtures to Prevent Leaks: A simple, regular program of repair and maintenance can prevent the loss of hundreds or even thousands of gallons a day. Regular maintenance programs should be established.

Utilize Low-Flow Fixtures and Devices: Maui County Code Subsection 16.20A.680 requires the use of low-flow water fixtures and devices in faucets, showerheads, water closets, and hose bibs. Installation of EPA *WaterSense* labeled fixtures should be considered.

- a. EPA *WaterSense* labeled high-efficiency toilets. A list of *WaterSense* certified high-efficiency toilets and other fixtures may be found at:  
<http://www.epa.gov/WaterSense/pp/index.htm>
- b. *WaterSense* labeled bathroom sink faucets. The flow rate of these fixtures does not exceed 1.5 gpm at 60 psi. (Even more efficient models are available.)

### **Pollution Prevention**

Even though no work is proposed within the shoreline setback, we note that the subject property is beachfront. Cumulative impacts of construction close to the shoreline should be considered. In terms of groundwater, the project overlies the Lainiupoko aquifer. In order to protect ground and surface water sources, we encourage Best Management Practices (BMPs) designed to minimize infiltration and runoff from construction. To address concerns regarding impacts to near shore waters as well as groundwater protection, the following mitigation

Fedele Residence Draft Environmental Assessment  
Ms. Anna Benesovska

measures should be should be included in the draft EA and implemented during construction:

- Retain ground cover until the last possible date. Stabilize denuded areas by sodding or native planting as soon as possible. Use high seeding rates to ensure rapid stand establishment.
- Disturb the smallest area possible.
- Keep run-off on site.
- Properly install and maintain erosion control barriers such as silt fencing or straw bales.
- Properly and promptly dispose of all loosened and excavated soil and debris material from drainage structure work.
- Prevent cement products, oil, fuel and other toxic substances from falling or leaching into the ground.
- No construction or toxic materials or debris should be placed where it may enter the ocean.
- Staging and storage of construction machinery and storage of debris should not take place on any sandy beach areas.
- Maintain vehicles and equipment to prevent oil or other fluids from leaking. Concrete trucks and tools used for construction should be rinsed off-site.
- Construction debris and sediment should be removed from construction areas each day that construction occurs to prevent the accumulation of sediment and other debris which may be discharged into coastal waters. Debris shall be disposed of outside the coastal zone.

Should you have any questions, please contact our Water Resources and Planning Division at 244-8550.

Sincerely,



Dave Taylor, P.E., Director  
mlb

cc: engineering division

Attachments: A Checklist of Water Conservation Ideas for Home



**Jordan Hart**

---

**From:** Anna Benesovska [Anna.Benesovska@co.maui.hi.us]  
**Sent:** Thursday, July 28, 2011 11:14 AM  
**To:** Solamillo, Stanley  
**Subject:** Re: Fedele (EA 20110002/SMX 20110188), Status Inquiry

Thanks so much Stan!  
 Anna

Anna Benesovska  
 Planner III  
 Maui County Planning Department - Current Division  
 Telephone: (808) 463-3867  
 E-mail: [anna.benesovska@co.maui.hi.us](mailto:anna.benesovska@co.maui.hi.us)

>>> Stanley Solamillo 7/28/2011 11:10 AM >>>  
 Aloha, Anna:

Not historic, not NRHP-eligible, no CRC review required...

Mahalo,

Stanley

>>> Anna Benesovska 7/28/2011 11:08 AM >>>  
 Thanks for the conformation Jordan.

**Stanley**, attached is a photograph, please concur that project does not have to go in front of the CRC.

Thanks  
 Anna

Anna Benesovska  
 Planner III  
 Maui County Planning Department - Current Division  
 Telephone: (808) 463-3867  
 E-mail: [anna.benesovska@co.maui.hi.us](mailto:anna.benesovska@co.maui.hi.us)

>>> "Jordan Hart" <[JHart@chpmaui.com](mailto:JHart@chpmaui.com)> 7/27/2011 5:04 PM >>>

Hello Anna, The all structures are less than 50 years old. Real Property Tax Records for the parcel (which original construction dates) can be reviewed here: [http://qpublic7.qpublic.net/hi\\_maui\\_display.php?KEY=460020060000](http://qpublic7.qpublic.net/hi_maui_display.php?KEY=460020060000) Jordan E. Hart Attachments: ()  
 Chris Hart & Partners, Inc. 115 North Market Street Wailuku, Maui, Hawaii 96793-1706 [www.chpmaui.com](http://www.chpmaui.com)  
 Direct: (808) 270-1563 Fax: (808) 242-1956 Email: [jhart@chpmaui.com](mailto:jhart@chpmaui.com)

From: Anna Benesovska [<mailto:Anna.Benesovska@co.maui.hi.us>]  
 Sent: Wednesday, July 27, 2011 4:46 PM  
 To: Yoshida, Clayton  
 Cc: Dack, Jeffrey; Jordan Hart; Solamillo, Stanley  
 Subject: Fwd: RE: Fedele (EA 20110002/SMX 20110188), Status Inquiry  
 Jordan, can you please confirm that the subject single-family dwelling is less than 50 years of age?

Thank you!!  
Anna

I don't think it has to go in front of CRC but I am checking with Stan.  
Thanks  
Anna

Anna Benesovska  
Planner III  
Maui County Planning Department - Current Division  
Telephone: (808) 463-3867  
E-mail: [anna.benesovska@co.maui.hi.us](mailto:anna.benesovska@co.maui.hi.us)

>>> Clayton Yoshida 7/25/2011 12:21 PM >>>  
Anna:

If the proposed action does not trigger further permitting from the Planning Commission or the CRC, the Planning Dept. could be the EA accepting authority. The Dept. could be the accepting authority under Chapter 343, HRS.

>>> Anna Benesovska 7/19/2011 11:49 AM >>>  
Clayton, could you please help me verify that we can treat this case in the same way we treated the Volcano Group Maui LLC?  
Thanks!  
Anna

Anna Benesovska  
Planner III  
Maui County Planning Department - Current Division  
Telephone: (808) 463-3867  
E-mail: [anna.benesovska@co.maui.hi.us](mailto:anna.benesovska@co.maui.hi.us)

>>> "Jordan Hart" <[JHart@chpmaui.com](mailto:JHart@chpmaui.com)> 7/15/2011 12:05 PM >>>  
Hello Anna, I am completing the requested publication form and hard copy production. I expect to have them to you early next week. Per our conversation I am requesting a determination of whether the above referenced Fedele Addition can be handled in the same way that the VOLCANO GROUP MAUI LLC., (EA 20050001) & (SMX 20050041) for 36 SPACE PARKING LOT IN LAHAINA at 741 WAINEE ST. were processed. In the Volcano Group scenario, the work for the parking lot qualified as being Exempt from an SMA Permit, and therefore, able to be reviewed and approved administratively. In the Volcano case, the Maui Planning Department, and not the Planning Commission was the accepting agency for the project. As a result public hearing(s) and meeting(s) with the Maui Planning Commission were deemed to be unnecessary. As I stated previously, the proposed action can be Exempt from development (as it is an addition to an existing single family residence). The proposed addition does not negatively impact the character of the Lahaina Historical District, where the project is located (the EA trigger). Based on the work done in preparation for the completion of the DEA, there do not appear to be any significant issues that would demand the additional process and subsequent time and monetary cost on to the property owner for completing a standard residential addition. I am hoping it can be determined by the Department that this is a reasonable proposal and can be an appropriate method for review of the Fedele residence addition.  
Thank you for your consideration. Jordan E. Hart Attachments: () Chris Hart & Partners, Inc. 115 North Market Street Wailuku, Maui, Hawaii 96793-1706 [www.chpmaui.com](http://www.chpmaui.com) Direct: (808) 270-1563 Fax: (808) 242-1956 Email: [jhart@chpmaui.com](mailto:jhart@chpmaui.com)

From: Anna Benesovska [<mailto:Anna.Benesovska@co.maui.hi.us>]

3/15/2012

Sent: Wednesday, July 06, 2011 3:52 PM

To: Jordan Hart

Subject: RE: Fedele (EA 20110002/SMX 20110188), Status Inquiry

Hi Jordan, in addition to the OEQC publication form I will need **4** more hard copies of the DEA.

1 hard copy for OEQC, 3 hard copies for Public Works.

Attached please find the Agency Transmittal Form. Agencies selected (marked with a dot) will receive copy of the DEA.

Please verify the list looks complete to you.

As soon as I obtain the 4 additional hard copies and the filled out OEQC publication form I can submit the transmittal.

Please let me know if you have any questions.

thank you!

Anna

Hi Jordan, can you please fill out the OEQC publication form and send back to me?

Thank you!!

Anna

Anna Benesovska

Planner III

Maui County Planning Department - Current Division

Telephone: (808) 463-3867

E-mail: [anna.benesovska@co.maui.hi.us](mailto:anna.benesovska@co.maui.hi.us)

>>> "Jordan Hart" <[JHart@chpmaui.com](mailto:JHart@chpmaui.com)> 6/29/2011 5:11 PM >>>

Hello Anna, I will make copies, and submit. Thank you! Jordan E. Hart Attachments: () Chris Hart & Partners, Inc.115 North Market StreetWailuku, Maui, Hawaii96793-1706 [www.chpmaui.com](http://www.chpmaui.com) Direct: (808) 270-1563Fax: (808) 242-1956Email: [jhart@chpmaui.com](mailto:jhart@chpmaui.com)

From: Anna Benesovska [<mailto:Anna.Benesovska@co.maui.hi.us>]

Sent: Wednesday, June 29, 2011 1:44 PM

To: Jordan Hart

Subject: Re: Fedele (EA 20110002/SMX 20110188), Status Inquiry

Hi Jordan, it was very nice meeting you yesterday.

We will need **28 CDs** for the Agency Transmittal.

Please let me know if you have any questions.

Thanks

Anna

Anna Benesovska

Planner III

Maui County Planning Department - Current Division

Telephone: (808) 463-3867

E-mail: [anna.benesovska@co.maui.hi.us](mailto:anna.benesovska@co.maui.hi.us)

>>> "Jordan Hart" <[JHart@chpmaui.com](mailto:JHart@chpmaui.com)> 6/23/2011 12:41 PM >>>

Hello Anna,I am completing the processing of the above referenced applications received by the Department April 29, 2011.The project is a pretty basic request for expansion of an existing single family residence and addition of a few typical amenities (pool & pool deck). The action occurs within the Lahaina Historic District,

3/15/2012

triggering an EA, while not especially anticipated to impact any of the characteristics that define the Historic District. As it is a pretty run of the mill action, I am hoping that it will be simple to complete the required process. Could you give me a projection for Agency Distribution of the Draft EA? Thank you Jordan E. Hart  
Attachments: (1) Chris Hart & Partners, Inc. 115 North Market Street Wailuku, Maui, Hawaii 96793-1706  
[www.chpmaui.com](http://www.chpmaui.com) Direct: (808) 270-1563 Fax: (808) 242-1956 Email: [jhart@chpmaui.com](mailto:jhart@chpmaui.com)

From: Matt Slepín

Sent: Thursday, June 23, 2011 12:25 PM

To: Jordan Hart

Subject: Fedele (EA/SMX), Status Inquiry

*Matthew M. Slepín, Senior Associate 115 N. Market Street Wailuku, Maui, Hawaii 96793 voice: 808.242.1955*

*x553 facsimile: 808.242.1956 direct: 808.270.1553 [www.chpmaui.com](http://www.chpmaui.com)* For use only as explicitly authorized by Chris Hart & Partners, Inc. Unauthorized duplication in any form or distribution is expressly forbidden. Any use shall be verified with hardcopy forms of same. The contents of this media are for the exclusive use of the recipient and any specifically designated consultants. This media shall be considered as a record of the data originally provided by Chris Hart & Partners, Inc. and shall remain in its original form without any modifications whatsoever. No warranty, expressed or implied, is made of any subsequent form or use of the data contained on this media. Any subsequent uses or adaptation beyond the specific purpose intended or without verification from Chris Hart & Partners, Inc. shall be solely at the users own risk and full legal responsibility.

From: Kathleen Aoki [<mailto:Kathleen.Aoki@co.maui.hi.us>]

Sent: Monday, May 23, 2011 7:25 AM

To: Matt Slepín

Subject: Fwd: Fedele Residence

Hey Matt -

Sorry - looks like there may be some confusion in our office with this permit and who its assigned to. I just looked in KIVA and I see Anna has something too with you folks for this property (an EA and a new SMX number....)

Let me get back to you.....again, so sorry.

**Jordan Hart**

---

**From:** Daniel.L.Ornellas@hawaii.gov  
**Sent:** Thursday, March 08, 2012 5:02 PM  
**To:** Jordan Hart  
**Cc:** Anna Benesovska  
**Subject:** Re: Fedele Residence (EA 20110002), Comments on DEA

The DLNR Maui District Land Office has no comment to offer, in regards to the Fedele Residence (EA 20110002), at this time.

Mahalo for your consideration of this matter,  
Daniel Ornellas  
District Land Agent

Jordan Hart <JHart@chpmaui.com>

03/08/2012 04:29 PM

To "Daniel.L.Ornellas@hawaii.gov" <Daniel.L.Ornellas@hawaii.gov>

CC Anna Benesovska <Anna.Benesovska@co.maui.hi.us>  
Subject Fedele Residence (EA 20110002), Comments on DEA

Hello Daniel,

The County of Maui Planning Department, had DLNR Land Division identified as a commenter for the Fedele Residence renovation, EA (EA 20110002) & SMA Assessment (SMX 20110188).

Essentially, the project is the expansion of an existing residence (not historically significant, constructed in 1965). The residence is located within the Lahaina National Historic Landmark District, which is the trigger for the EA. The expansion of the residence is not anticipated to affect the character of the Lahaina Historic Landmark District.

We did not receive comment from DLNR Land Division. Did your Division intend to comment further? If not, could you reply with "No Comment"?

I have attached other agency comments received and CH&P replies for your information.

I will call to follow.

Thank you

Jordan E. Hart

Attachments: (2)

3/15/2012

Chris Hart & Partners, Inc.  
115 North Market Street  
Wailuku, Maui, Hawaii  
96793-1706

[www.chpmaui.com](http://www.chpmaui.com)

Direct: (808) 270-1563

Fax: (808) 242-1956

Email: [jhart@chpmaui.com](mailto:jhart@chpmaui.com)

[attachment "Pages from FEA - (Submittal No. 1) - Agency Comments Received.pdf" deleted by Daniel L Ornellas/DLNR/StateHiUS] [attachment "Pages from FEA - (Submittal No. 1) - Replies to Agency Comments.pdf" deleted by Daniel L Ornellas/DLNR/StateHiUS]

AN M. ARAKAWA  
Mayor

WILLIAM R. SPENCE  
Director

MICHELE CHOUTEAU McLEAN  
Deputy Director



COUNTY OF MAUI

## DEPARTMENT OF PLANNING

TRANSMITTAL

August 29, 2011

STATE AGENCIES	
•	DAGS
•	DBEDT
•	Dept of Hawaiian Homelands
•	Dept of Health, Maui (2)
•	DLNR-Land, Maui
•	DLNR-OCCL
•	DLNR-SHPD - Oahu
•	DLNR-SHPD - Maui
•	DOE, Maui
•	DOT, Maui
•	DOT, Statewide Planning Office (4)
•	Office of Hawaiian Affairs
•	Office of Planning
OTHER	
•	Hawaiian Telecom (Hard Copy)
•	Maui Electric Company
•	Stanley Solamillo, Cultural Planner

COUNTY AGENCIES	
•	Dept of Environmental Management (2)
•	Dept of Parks & Recreation
•	Dept of Public Works (3 Hard Copies)
•	Dept of Transportation
•	Dept of Water Supply
•	Fire & Public Safety
•	Police Department
•	ZAED, Zoning & Enforcement Division

<b>PROJECT:</b>	<b>DRAFT ENVIRONMENTAL ASSESSMENT (DEA) FEDELE RESIDENCE</b>
<b>APPLICANT:</b>	<b>Mr. Joseph F. Fedele – (Consultant – Chris Hart &amp; Partners)</b>
<b>PERMIT NO.:</b>	<b>SMX 2011/0188 and EA 2011/0002</b>
<b>TMK:</b>	<b>(2) 4-6-002:006</b>
<b>STREET ADDRESS:</b>	<b>455 Front Street, Lahaina, MAUI, Hawaii 96761</b>
<b>PROJECT DESCRIPTION:</b>	<b>Improvements including approximately 3,000 square feet addition to the main house and addition of a swimming pool.</b>

**TRANSMITTED TO YOU ARE THE FOLLOWING:**

Application(s)

**THESE ARE TRANSMITTED AS CHECKED BELOW:**

For your Comment and Recommendation.  
Project is located within the Lahaina National Historic Landmark District and Special Management Area, Shoreline Property.

Please identify any comments you would like the Department of Planning to propose as conditions of project approval. Please also provide any previous comments, letters, etc. pertinent to this application.

RECEIVED  
9/1/11  
DOP

250 SOUTH HIGH STREET, WAILUKU, MAUI, HAWAII 96793

MAIN LINE (808) 270-7735; FACSIMILE (808) 270-7634

CURRENT DIVISION (808) 270-8205; LONG RANGE DIVISION (808) 270-7214; ZONING DIVISION (808) 270-7253

UN

<b>AGENCY NAME</b>		<b>PHONE</b>	
------------------------	--	--------------	--

Agency Transmittal – FEDELE RESIDENCE IMPROVEMENTS (SMX 2011/0188, EA 2011/0002)

August 29, 2011  
Page 2

Submit your comments directly to me by September 30, 2011. A comment box is also provided to assist you. If no comment, please sign the "No Comment" box and fax to (808) 463-3867. Thank you for your time and assistance. For additional clarification, please contact me via email at [anna.benesovska@mauicounty.gov](mailto:anna.benesovska@mauicounty.gov) or at (808) 463-3867.

Sincerely,



ANNA BENESOVSKA, Staff Planner

xc: Clayton I. Yoshida, AICP, Planning Program Administrator  
Jordan E. Hart, Chris Hart & Partners, Inc.  
Anna Benesovska, Staff Planner  
Project File  
General File

AB:rm  
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<b>AGENCY NAME</b>		<b>PHONE</b>	
------------------------	--	--------------	--

Agency Transmittal – FEDELE RESIDENCE IMPROVEMENTS (SMX 2011/0188, EA 2011/0002)

August 29, 2011

Page 3

<b>NO COMMENT</b>			
Signed:	<i>Jim Oster</i>	Dated:	9-1-11
Print Name:	JIM OSTER	Title:	ENGINEER

<b>COMMENT/RECOMMENDATION BOX</b>			
Signed:		Dated:	
Print Name:		Title:	



# **Appendix G: Replies to Agency Comments**





Landscape Architecture  
City & Regional Planning

February 9, 2012

Mr. David Taylor, P.E., Director  
Department of Water Supply  
200 S. High Street  
Wailuku, HI 96793-2155

Dear Mr. Taylor:

**Regarding:** Fedele Residence Addition, located at 455 Front Street, Lahaina, Maui, Hawaii. [TMK (2) 4-6-002: 006] (SMX 2011-0188) (EA 2011-0002)

Chris Hart & Partners provides the following information in reply to your comments on the above referenced applications, sent on October 5, 2011 (**SEE**: Attached, "Comment Letter Received, October 5, 2011"):

***1<sup>st</sup> Comment:***

*"The property is served by one 5/8-inch water meter. The applicant proposes to construct a pool and add 3,000 square feet to the main residence. Should a larger water meter be required, a meter upgrade may not be approved."*

**1<sup>st</sup> Comment Response:**

The applicant acknowledges that a water meter upgrade may not be approved.

***2<sup>nd</sup> Comment:***

*"Domestic and irrigation calculations will be required in the building permit process, as well as approved backflow preventers."*

**2<sup>nd</sup> Comment Response:**

Domestic and irrigation calculations will be provided as required during the building permit process.

***3<sup>rd</sup> Comment:***

*"To alleviate demand on the Lahaina system, please find attached a conservation checklist for homes. We recommend that the following conservation measures be included in the project design and noted in the EA:"*

**3<sup>rd</sup> Comment Response:**

The Applicant is open to conservation measures and will cooperate with all requirements of the County of Maui's SMA and Building & Grading Permit review process. Conservation measures will be noted in the Project's Final Environmental Assessment (FEA) by inclusion of the Department of Water Supply's October 5, 2011 Comment Letter, and this reply.

**4<sup>th</sup> Comment:**

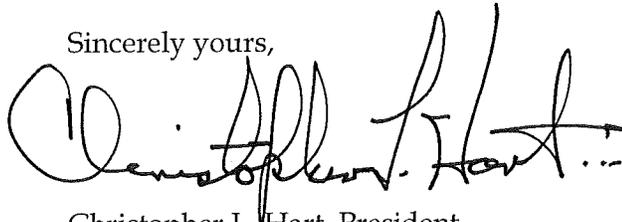
*"Even though no work is proposed within the shoreline setback, we note that the subject property is beachfront. Cumulative impacts of construction close to the shoreline should be considered. In terms of groundwater, the project overlies the Launiupoko aquifer. In order to protect ground and surface water sources, we encourage Best Management Practices (BMPs) designed to minimize infiltration and runoff from construction. To address concerns regarding impacts to near shore waters as well as groundwater protection, the following mitigation measures should be included in the draft EA and implemented during construction:"*

**4<sup>th</sup> Comment Response:**

The Applicant is open to Best Management Practices (BMPs) and will cooperate with all requirements of the County of Maui's SMA and Building & Grading Permit review process. BMPs will be noted in the Project's Final Environmental Assessment (FEA) by inclusion of the Department of Water Supply's October 5, 2011 Comment Letter, and this reply.

Thank you for your consideration. Please contact Jordan E. Hart at 270-1563 for further information.

Sincerely yours,

A handwritten signature in black ink, appearing to read "Christopher L. Hart". The signature is stylized and written over a faint, larger version of the same signature.

Christopher L. Hart, President  
Landscape Architect & Planner

Enclosures (1):

- Comment Letter Received, October 5, 2011

CC:

- Project File (10-034)

ALAN M. ARAKAWA  
Mayor



DAVID TAYLOR, P.E.  
Director

PAUL J. MEYER  
Deputy Director

**DEPARTMENT OF WATER SUPPLY**  
**COUNTY OF MAUI**  
200 SOUTH HIGH STREET  
WAILUKU, MAUI, HAWAII 96793-2155  
www.mauiwater.org

October 5, 2011

Ms. Anna Benesovska, Staff Planner  
Department of Planning  
County of Maui  
250 South High Street  
Wailuku HI 96793

DEPT OF PLANNING  
COUNTY OF MAUI  
RECEIVED  
11 OCT -7 AIO:10

Re: TMK: (2) 4-6-002:006  
Permit No.: SMX 2011/0188 and EA 2011/0002  
Project Name: Fedele Residence Draft Environmental Assessment (DEA)

Dear Ms. Benesovska:

Thank you for the opportunity to comment on this DEA. We understand that the project is located in the County of Maui Special Management Area (SMA), and that project implementation will require SMA review and approval by the Maui Planning Department.

**Source Availability and Consumption**

The project area is served by the Lahaina system. The main sources of water for this portion of the Lahaina system are wells withdrawing from Launiupoko aquifer and surface water from Kanaha Stream. New source development projects include upgrades to the Lahaina and Mahinahina Water Treatment Plants, review of potential sites for groundwater wells, and raw water storage. The property is served by one 5/8-inch water meter. The applicant proposes to construct a pool and add 3,000 square feet to the main residence. Should a larger water meter be required, a meter upgrade may not be approved. In 2010 the average daily water consumption was 1,647 gallons per day.

Domestic and irrigation calculations will be required in the building permit process, as well as approved backflow preventers.

*"By Water All Things Find Life"*

### **System Infrastructure**

There is one DWS 12-inch waterline bordering the lot, running along Front Street and one fire hydrant in close proximity to the site. The applicant will be required to provide for water service and fire protection in accordance with system standards.

### **Conservation**

To alleviate demand on the Lahaina system, please find attached a conservation checklist for homes. We recommend that the following conservation measures be included in the project design and noted in the EA:

Use Non-potable Water: Use brackish water for landscaping, dust control and other non-potable purposes where feasible.

Use Climate-adapted Plants: We recommend for all landscaping of the property limiting turf areas and using native climate-adapted plants. The project is located in Plant Zone 5. Native plants adapted to the area conserve water and protect the watershed from degradation due to invasive alien species. Visit our website at <http://www.mauicounty.gov/index.aspx?NID=227> for the County of Maui Landscape and Gardening Handbook.

Eliminate Single-Pass Cooling: Single-pass, water-cooled systems should be eliminated per Maui County Code Subsection 14.21.20. Although prohibited by code, single-pass water cooling is still manufactured into some models of air conditioners, freezers, and commercial refrigerators. Such models should be avoided.

Maintain Fixtures to Prevent Leaks: A simple, regular program of repair and maintenance can prevent the loss of hundreds or even thousands of gallons a day. Regular maintenance programs should be established.

Utilize Low-Flow Fixtures and Devices: Maui County Code Subsection 16.20A.680 requires the use of low-flow water fixtures and devices in faucets, showerheads, water closets, and hose bibs. Installation of EPA *WaterSense* labeled fixtures should be considered.

- a. EPA *WaterSense* labeled high-efficiency toilets. A list of *WaterSense* certified high-efficiency toilets and other fixtures may be found at:  
<http://www.epa.gov/WaterSense/pp/index.htm>
- b. *WaterSense* labeled bathroom sink faucets. The flow rate of these fixtures does not exceed 1.5 gpm at 60 psi. (Even more efficient models are available.)

### **Pollution Prevention**

Even though no work is proposed within the shoreline setback, we note that the subject property is beachfront. Cumulative impacts of construction close to the shoreline should be considered. In terms of groundwater, the project overlies the Lainiupoko aquifer. In order to protect ground and surface water sources, we encourage Best Management Practices (BMPs) designed to minimize infiltration and runoff from construction. To address concerns regarding impacts to near shore waters as well as groundwater protection, the following mitigation

Fedele Residence Draft Environmental Assessment  
Ms. Anna Benesovska

measures should be should be included in the draft EA and implemented during construction:

- Retain ground cover until the last possible date. Stabilize denuded areas by sodding or native planting as soon as possible. Use high seeding rates to ensure rapid stand establishment.
- Disturb the smallest area possible.
- Keep run-off on site.
- Properly install and maintain erosion control barriers such as silt fencing or straw bales.
- Properly and promptly dispose of all loosened and excavated soil and debris material from drainage structure work.
- Prevent cement products, oil, fuel and other toxic substances from falling or leaching into the ground.
- No construction or toxic materials or debris should be placed where it may enter the ocean.
- Staging and storage of construction machinery and storage of debris should not take place on any sandy beach areas.
- Maintain vehicles and equipment to prevent oil or other fluids from leaking. Concrete trucks and tools used for construction should be rinsed off-site.
- Construction debris and sediment should be removed from construction areas each day that construction occurs to prevent the accumulation of sediment and other debris which may be discharged into coastal waters. Debris shall be disposed of outside the coastal zone.

Should you have any questions, please contact our Water Resources and Planning Division at 244-8550.

Sincerely,



Dave Taylor, P.E., Director  
mlb

cc: engineering division

Attachments: A Checklist of Water Conservation Ideas for Home





Landscape Architecture  
City & Regional Planning

February 9, 2012

Mr. David C. Goode, Director  
Department of Public Works  
200 S. High St., Room 434  
Wailuku, HI 96793

Dear Mr. Goode:

**Regarding:** Fedele Residence Addition, located at 455 Front Street, Lahaina, Maui, Hawaii. [TMK (2) 4-6-002: 006] (SMX 2011-0188) (EA 2011-0002)

Chris Hart & Partners provides the following information in reply to your comments on the above referenced applications, sent on September 26, 2011 (**SEE**: Attached, "Comment Letter Received, September 26, 2011"):

**8<sup>th</sup> Comment:**

*"Building Permit Application T2010/0520 was applied for on March 17, 2010 for additional and alterations to the existing dwelling."*

**9<sup>th</sup> Comment:**

*"Building Permit Application T2010/0521 was applied for on March 17, 2010 for a swimming pool."*

*"Please contact Ernie Takitani at 270-7375 to follow-up on any outstanding inspections."*

**8<sup>th</sup> & 9<sup>th</sup> Comment Response:**

T2010/0520 & T2010/0521 are Building Permit Applications for the project scope outlined in the Land Uses Applications for (SMX 2011-0188) & (EA 2011-0002).

Following the completion and acceptance of a Final Environmental Assessment (FEA) Finding of No Significant Impact (FONSI) and Special Management Area Exemption (SMX) for the above referenced applications, and the issuance of Building Permits for T2010/0520 & T2010/0521; during and following the

completion of the construction process, the Applicant's representative will contact the Building Inspector's Office to complete all required inspections.

**10<sup>th</sup> Comment:**

*"There is no record of a building permit for the trellis next to the main dwelling. Note that this trellis is proposed to be demolished."*

**10<sup>th</sup> Comment Response:**

The Applicant will cooperate with the Department of Planning and the Department of Public Works if additional actions are required for the trellis prior to demolition.

**11<sup>th</sup> Comment:**

*"There is no record of a building permit for the trellis area attached to the accessory dwelling. Department of Planning to verify compliance with Maui County Code, Chapter 19.35."*

**11<sup>th</sup> Comment Response:**

The Applicant will take action to resolve any outstanding issues relating to the accessory dwelling trellis at the direction of the Department of Planning and the Department of Public Works. Potential options for resolution include, providing records of proper Permits, obtaining an After-The-Fact Permit as part of the proposed renovation scope, or removal of the structure completely.

**12<sup>th</sup> Comment:**

*"There is no record of a building permit for the BBQ roofed area which does not have the minimum setback of six (6) feet."*

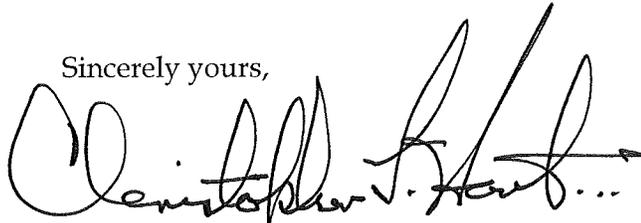
**12<sup>th</sup> Comment Response:**

It is our understanding that the approximately 82 Square Foot BBQ would not normally require a building permit to install.

Because a BBQ is customary and appurtenant to the principal residential use, it is our understanding that the encroachment into the side yard setback can be acceptable, pursuant to the attached MEMO to the Department of Planning, dated May 19, 2006 relating to Structures in the Building Setback Area (**SEE**: Attached, "MEMO to the Department of Planning Staff, dated May 19, 2006 relating to Structures in the Building Setback Area").

Thank you for your consideration. Please contact Jordan E. Hart at 270-1563 for further information.

Sincerely yours,

A handwritten signature in black ink, appearing to read "Christopher L. Hart". The signature is stylized with large, flowing loops and a long horizontal stroke at the end that tapers into a point.

Christopher L. Hart, President  
Landscape Architect & Planner

Enclosures (2):

- Comment Letter Received, September 26, 2011
- MEMO to the Department of Planning, dated May 19, 2006 relating to Structures in the Building Setback Area,

CC:

- Project File (10-034)



41/5617

ALAN M. ARAKAWA  
Mayor

DAVID C. GOODE  
Director

ROWENA M. DAGDAG-ANDAYA  
Deputy Director

Telephone: (808) 270-7845  
Fax: (808) 270-7955



COUNTY OF MAUI  
**DEPARTMENT OF PUBLIC WORKS**  
200 SOUTH HIGH STREET, ROOM NO. 434  
WAILUKU, MAUI, HAWAII 96793

RALPH NAGAMINE, L.S., P.E.  
Development Services Administration

CARY YAMASHITA, P.E.  
Engineering Division

BRIAN HASHIRO, P.E.  
Highways Division

September 26, 2011

11 OCT -3 19  
DEPT. OF PLANNING  
COUNTY OF MAUI  
RECEIVED  
*[Handwritten signature]*

MEMO TO: WILLIAM R. SPENCE, PLANNING DIRECTOR

FROM: *by* DAVID C. GOODE, DIRECTOR OF PUBLIC WORKS

SUBJECT: **DRAFT ENVIRONMENTAL ASSESSMENT IN SUPPORT OF A  
SPECIAL MANAGEMENT AREA ASSESSMENT FOR FEDELE  
RESIDENCE; TMK: (2) 4-6-002:006  
SMX 2011/0188 AND EA 2011/0002**

We reviewed the subject application and have the following comments:

Comments from the Development Services Administration:

1. Building Permit No. 65/0605 was issued on May 20, 1965, for a Dwelling/Garage. No inspection records available at this time.
2. Building Permit No. 65/0606 was issued on May 20, 1965, for two (2) bedrooms. No inspection records available at this time.
3. Building Permit No. 87/0923 was issued on April 9, 1987, for alterations (enclose existing lanai at dining room). Final inspection on May 5, 1987.
4. Building Permit No. 92/2912 was issued on December 11, 1992, for an addition to two (2) bedroom building (add living room, kitchen, bath to be accessory dwelling). Final inspection on March 30, 1993.
5. Building Permit No. 94/1371 was issued on July 12, 1994, for a carport. Final inspection on August 4, 1994.

6. Building Permit No. 98/0155 was issued on February 3, 1998, for an addition/alteration to main dwelling (enlarge powder room, alter kitchen, remove/add beams, alter master bedroom). Final inspection on November 18, 1998.
7. Building Permit No. 98/0543 was issued on April 2, 1998, for an addition (extend kitchen four [4] feet). Final inspection on November 18, 1998.
8. Building Permit Application T2010/0520 was applied for on March 17, 2010 for additions and alterations to the existing dwelling.
9. Building Permit Application T2010/0521 was applied for on March 17, 2010 for a swimming pool.

Please contact Ernie Takitani at 270-7375 to follow-up on any outstanding inspections.

Comments:

10. There is no record of a building permit for the trellis next to the main dwelling. Note that this trellis is proposed to be demolished.
11. There is no record of a building permit for the trellis area attached to the accessory dwelling. Department of Planning to verify compliance with Maui County Code, Chapter 19.35.
12. There is no record of a building permit for the BBQ roofed area which does not have the minimum setback back of six (6) feet.

If you have any questions regarding this memorandum, please call Rowena M. Dagdag-Andaya at 270-7845.

DCG:RMDA:ls

xc: Highways Division  
Engineering Division

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TRUCK IN THE COURTYARD  
#8743954

ALAN M. ARAKAWA  
Mayor  
MICHAEL W. FOLEY  
Director  
WAYNE A. BOTEILINO  
Deputy Director



COUNTY OF MAUI  
DEPARTMENT OF PLANNING

May 19, 2006

MEMO TO: DEPARTMENT OF PLANNING STAFF

MILTON ARAKAWA, Director  
Department of Public Works and Environmental Management

FROM: MICHAEL W. FOLEY, Director  
Department of Planning

*Mike Foley*

SUBJECT: STRUCTURES IN THE BUILDING SETBACK AREA

I. BACKGROUND

Maui County Code, Chapter 19.04.040, defines "Yard" as "an open space on a lot unoccupied and unobstructed from ground upward by any structure except as otherwise provided in this article. Wherever in this article an access yard, front yard, rear yard or side yard of a stated number of feet is required, such expression shall be deemed to mean that the yard shall have a minimum depth of the number of feet so specified." We have encountered circumstances where equipment such as water heaters, gas tanks, air conditioning units, trash enclosures, etc. are located in the setback area.

II. APPLICABLE PROVISIONS

Maui County Code, §19.04.040 defines "Structures" as "a combination of materials to form a construction for use, occupancy, or ornamentation whether installed on, above or below the surface of land or water".

Maui County Code, §19.04.040 defines "Yard", in part, as "an open space on a lot unoccupied and unobstructed from the ground upward by any structure".

Maui County Code, §19.04.040 defines "Front Yard" as "a yard extending across a full width of the lot, the depth of which shall be the least distance between the front lot line and the front of the main building".

Maui County Code, §19.04.040 defines "Rear Yard" as "a yard extending across a full width of the lot between the main building and the rear lot line. The depth of the required rear yard shall be measured from the nearest part of a main building at a ninety-degree angle from the building to the nearest point of the rear lot line".

250 SOUTH HIGH STREET, WAILUKU, MAUI, HAWAII 96793  
PLANNING DIVISION (808) 270-7283 ZONING DIVISION (808) 270-7283 FACILITY (808) 270-7283

MAY 8 11

Memo to Department of Planning Staff  
Milton Arakawa, Director of Public Works  
and Environmental Management

May 19, 2006

Page 2

Maui County Code, §19.04.040 defines "Side yard" as "a yard between the main building and the side lot line, extending from the front yard or front lot line where no front yard is required, to the rear yard or rear lot lines. The width of the required side yard shall be measured from the nearest point of the side lot line toward the nearest part of the main building".

**III. DISCUSSION**

There have been many instances where equipment are incidental, customary and appurtenant to the main dwelling, such as air-conditioning units, gas tanks, water heaters, pool equipment, etc. and are located in the setback area. Relocating these equipment can be costly, unnecessary, and impractical.

The Maui County Code does not allow any structures in the setback area. This policy seeks to clarify the structure definition and to allow equipment which is customary and incidental to the principal building to remain in the building setback area. Equipment oftentimes are not considered structures because they are not occupied nor classified as being ornamental.

**IV. DEPARTMENT POLICY AND CONCLUSIONS**

This policy is to permit minor utility equipment and their enclosure in the yard setback area subject to the following.

1. Equipment such as, water heaters, pool pumps, gas tanks, washing machines and dryers, air-conditioning units, landscape features, and trash enclosures must be incidental, customary and appurtenant to a principal use.
2. Wall enclosures for the equipment may be allowed provided they do not exceed the height of the equipment and is not more than 4 feet in height.
3. Any wall enclosure shall be uncovered and unroofed.
4. A minimum of 3 feet wide yard access from the equipment and wall enclosure to the building or property line shall be maintained.
5. Exceptions to the above may be granted for just cause.



Landscape Architecture  
City & Regional Planning

February 9, 2012

Ms. Patti Kitkowski  
District Environmental Health Program Chief  
Department of Health  
54 High Street  
Wailuku, HI 96793

Dear Ms. Kitkowski:

**Regarding:** Fedele Residence Addition, located at 455 Front Street, Lahaina, Maui, Hawaii. [TMK (2) 4-6-002: 006] (SMX 2011-0188) (EA 2011-0002)

Chris Hart & Partners provides the following information in reply to your comments on the above referenced applications, sent on September 26, 2011:

***1<sup>st</sup> Comment:***

*“National Pollutant Discharge Elimination System (NPDES) permit coverage may be required for this project. The Clean Water Branch should be contacted at 808 586-4309”*

**1<sup>st</sup> Comment Response:**

The Applicant will contact the Clean Water Branch to determine if an NPDES permit is required for the work proposed in the above referenced Applications.

***2<sup>nd</sup> Comment:***

*“The noise created during the construction phase of the project may exceed the maximum allowable levels as set forth in HAR, Chapter 11-46, ‘Community Noise Control.’ A noise permit may be required and should be obtained before the commencement of work.”*

**2<sup>nd</sup> Comment Response:**

If required, a noise permit will be obtained before the commencement of work.

Thank you for your consideration. Please contact Jordan E. Hart at 270-1563 for further information.

Sincerely yours,  
  
Christopher L. Hart, President  
Landscape Architect & Planner

Enclosures (1):

- DOH Comment Letter dated, September 26, 2011

CC:

- Project File (10-034)

11/5569

AD

NEIL ABERCROMBIE  
GOVERNOR OF HAWAII



LORETTA J. FUDDY, A.C.S.W., M.P.H.  
DIRECTOR OF HEALTH

LORRIN W. PANG, M.D., M.P.H.  
DISTRICT HEALTH OFFICER

**STATE OF HAWAII**  
**DEPARTMENT OF HEALTH**  
**MAUI DISTRICT HEALTH OFFICE**  
54 HIGH STREET  
WAILUKU, HAWAII 96793

DEPT OF PLANNING  
COUNTY OF MAUI  
RECEIVED

September 26, 2011

'11 SEP 28 P 2 :20

Mr. William R. Spence  
Director  
Department of Planning  
County of Maui  
250 South High Street  
Wailuku, Hawaii 96793

Attention: Anna Benesovska

Dear Mr. Spence:

**Subject:** Draft Environmental Assessment Fedele Residence  
**Applicant:** Mr. Joseph F. Fedele-Consultant Chris Hart & Partners  
**Permit No.:** SMX 2011/0188 and EA 2011/0002  
**TMK:** (2) 4-6-002:006  
**Project Location:** 455 Front Street, Lahaina, Maui, Hawaii 96761  
**Project Description:** Improvements-approx. 3,000 sq ft addition to the main house and addition of a swimming pool

Thank you for the opportunity to review this project. We have the following comments to offer:

1. National Pollutant Discharge Elimination System (NPDES) permit coverage maybe required for this project. The Clean Water Branch should be contacted at 808 586-4309.
2. The noise created during the construction phase of the project may exceed the maximum allowable levels as set forth in Hawaii Administrative Rules (HAR), Chapter 11-46, "Community Noise Control." A noise permit may be required and should be obtained before the commencement of work. The Indoor & Radiological Health Branch should be contacted at 808 586-4700.





Landscape Architecture  
City & Regional Planning

February 9, 2012

Mr. Michael M. Miyamoto, Deputy Director  
Department of Environmental Management  
200 S. High St., Room 434  
Wailuku, HI 96793

Dear Mr. Miyamoto:

**Regarding:** Fedele Residence Addition, located at 455 Front Street, Lahaina, Maui, Hawaii. [TMK (2) 4-6-002: 006] (SMX 2011-0188) (EA 2011-0002)

Chris Hart & Partners provides the following information in reply to your comments on the above referenced applications, dated August 30, 2011 (See: Attached, "2011-08-30, Itr FROM - DEM, Agency Comments"):

***1<sup>st</sup> Comment:***

*"a. Although wastewater system capacity is currently available as of 9/23/2011, the developer should be informed that wastewater system capacity cannot be ensured until the issuance of the building permit."*

**1<sup>st</sup> Comment Response:**

The Applicant acknowledges that capacity cannot be ensured until the issuance of building permits.

***2<sup>nd</sup> Comment:***

*"b. Developer is not required to pay assessment fees for this area at the current time."*

**2<sup>nd</sup> Comment Response:**

No response necessary.

***3<sup>rd</sup> Comment:***

*"c. Plans shall show the existing property sewer service cleanout near the property line. If a property sewer service cleanout does not exist, one shall be installed."*

**3<sup>rd</sup> Comment Response:**

Building permit plans will show an existing or proposed sewer service cleanout near the property line.

**4<sup>th</sup> Comment:**

*"d. Non-contact cooling water and condensate should not discharge to the County's wastewater system."*

**4<sup>th</sup> Comment Response:**

The Project will not discharge non-contact cooling water and condensate into the County's wastewater system.

**5<sup>th</sup> Comment:**

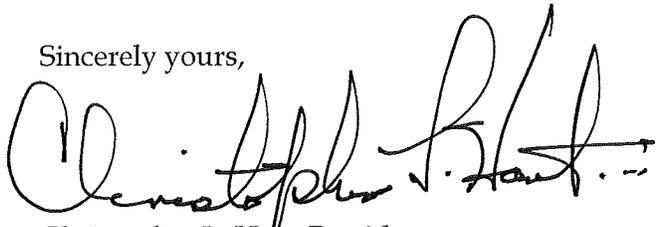
*"e. Swimming pool water shall not be discharged to the County's wastewater system."*

**5<sup>th</sup> Comment Response:**

The Project will not discharge swimming pool water into the County's wastewater system.

Thank you for your consideration. Please contact Jordan E. Hart at 270-1563 for further information.

Sincerely yours,

A handwritten signature in black ink, appearing to read "Christopher L. Hart". The signature is stylized and cursive, with a long horizontal stroke at the end.

Christopher L. Hart, President  
Landscape Architect & Planner

Enclosures (1):

- 2011-08-30, ltr FROM - DEM, Agency Comments

CC:

- Project File (10-034)

**AGENCY TRANSMITTAL RESPONSE e-FORM**  
**FOR DEPARTMENT OF PLANNING, COUNTY OF MAUI**  
 August 30, 2011

<b>AGENCY NAME</b>	Department of Environmental Mgmt.	<b>PHONE</b>	270-8230
<b>PROJECT:</b> <b>APPLICANT:</b> <b>PERMIT NO:</b> <b>TMK:</b> <b>STREET ADDRESS:</b> <b>PROJECT DESCRIPTION:</b> <b>SECURITY CODE:</b>	Draft Environmental Assessment (DEA) - Fedele Residence Mr. Joseph F. Fedele (Consultant - Chris Hart & Partners) SMX 2011/0188 and EA 2011/0002 2-4-6-002-006 455 Front Street, Lahaina, Maui, HI 96762 :47 Improvements including approx. 3,000 square feet addition to main house and addition of swimming pool		
<input checked="" type="checkbox"/> <b>COMMENTS/RECOMMENDATIONS</b> <input type="checkbox"/> <b>NO COMMENTS</b>			
<b>WASTEWATER RECLAMATION DIVISION COMMENTS</b> a. Although wastewater system capacity is currently available as of 9/23/2011, the developer should be informed that wastewater system capacity cannot be ensured until the issuance of the building permit. b. Developer is not required to pay assessment fees for this area at the current time. c. Plans shall show the existing property sewer service cleanout near the property line. If a property sewer service cleanout does not exist, one shall be installed. d. Non-contact cooling water and condensate should not discharge to the County's wastewater system. e. Swimming pool water shall not be discharged to the County's wastewater system.			
<input checked="" type="checkbox"/> <b>COMMENTS/RECOMMENDATIONS</b> <input type="checkbox"/> <b>NO COMMENTS</b>			
<b>SOLID WASTE DIVISION COMMENTS</b> Include recycling and reuse as feasible in the demolition plan to be submitted to the Department.			
<b>Signed:</b>			
<b>Print Name:</b>	Michael M. Miyamoto, Deputy Director	<b>Date</b>	9/30/11





Landscape Architecture  
City & Regional Planning

February 10, 2012

Mr. Duane Y. Kashiwai, Public Works Administrator  
Department of Education  
PO BOX 2360  
Honolulu, HI 96804

Dear Mr. Kashiwai:

**Regarding:** Fedele Residence Addition, located at 455 Front Street, Lahaina, Maui, Hawaii. [TMK (2) 4-6-002: 006] (SMX 2011-0188) (EA 2011-0002)

Chris Hart & Partners provides the following information in reply to your comments on the above referenced applications, sent on September 13, 2011 (**SEE:** Attached, "Comment Letter Received, September 13, 2011"):

**1<sup>st</sup> Comment:**

*"We would like to note that the King Kamehameha III Elementary School is in some proximity to the Fedele residence, so if construction were to require the temporary closing of roads, it would be useful to notify the principal of the school."*

**1<sup>st</sup> Comment Response:**

If construction is to require the temporary closing of roads, the applicant will notify the principal of the school.

Thank you for your consideration. Please contact Jordan E. Hart at 270-1563 for further information.

Sincerely yours,



Christopher L. Hart, President  
Landscape Architect & Planner

Enclosures (1):

- Comment Letter Received, September 13, 2011

CC:

- Project File (10-034)



11/5282

NEIL ABERCROMBIE  
GOVERNOR



KATHRYN S. MATAYOSHI  
SUPERINTENDENT

STATE OF HAWAI'I  
DEPARTMENT OF EDUCATION  
P.O. BOX 2360  
HONOLULU, HAWAI'I 96804

'11 SEP 15 AM 11:55

DEPT OF PLANNING  
COUNTY OF MAUI  
RECEIVED

OFFICE OF SCHOOL FACILITIES AND SUPPORT SERVICES

September 13, 2011

Mr. William R. Spence, Director  
Department of Planning  
County of Maui  
250 South High Street  
Wailuku, Hawai'i 96793

Attn: Ms. Anna Benesovska, Staff Planner

Dear Mr. Spence:

SUBJECT: Draft Environmental Assessment for the Fedele Residence  
Lahaina, Maui, TMK: 4-6-002:006, SMX 2011/0188 and EA 2011/0002

The Department of Education (DOE) has no comment or concern with the Draft Environmental Assessment for the proposed improvements to the Fedele residence. We would like to note that the King Kamehameha III Elementary School is in some proximity to the Fedele residence, so if construction were to require the temporary closing of roads, it would be useful to notify the principal of the school.

If you have any questions, please call Heidi Meeker of the Facilities Development Branch at (808) 377-8301.

Sincerely yours,

Duane Y. Kashiwai  
Public Works Administrator

DYK:jmb

c: Lindsay Ball, CAS, Hana/Lahainaluna/Lahaina/Molokai Complex Area

