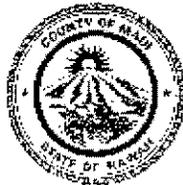


CHARMAINE TAVARES
Mayor

TAMARA HORCAJO
Director

ZACHARY Z. HELM
Deputy Director

(808) 270-7230
Fax (808) 270-7934



JAN - 8 2009

DEPARTMENT OF PARKS AND RECREATION

700 Hali'a Nako'a Street, Unit 2, Wailuku, Hawaii 96793

December 9, 2008

RECEIVED
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HONOLULU, HAWAII

Katherine Kealoha, Director
State of Hawai'i
Office of Environmental Quality Control
235 South Beretania Street, Suite 702
Honolulu, Hawai'i 96813

Subject: Chapter 343, Hawai'i Revised Statutes, Environmental Assessment
for the Proposed Improvements at the Binhi At Ani Filipino Community
Center (TMK 2-3-8-007:124) Kahului, Maui, Hawai'i

Dear Ms. Kealoha:

The Department of Parks and Recreation, County of Maui, has reviewed the comments received during the 30-day public comment period which began on July 8, 2008. The agency has determined that this project will not have significant environmental effects and has issued a Finding of No Significant Impact (FONSI). Please publish notice of availability for the project in the next available OEQC Environmental Notice.

We have enclosed a completed OEQC Publication Form, a project summary, two (2) copies of the Final EA, and a pdf copy of the Final EA on CD. Please contact Rowena Dagdag of Munekiyo & Hiraga, Inc. at 244-2015 if you have any questions.

Sincerely,

A handwritten signature in cursive script that reads "Tamara Horcajo".

Tamara Horcajo
Director

Enclosure

cc: Norma Barroga, Binhi At Ani
Rowena Dagdag, Munekiyo & Hiraga, Inc.

Final Environmental Assessment

BINHI AT ANI FILIPINO COMMUNITY CENTER EXPANSION PROJECT, KAHULUI, MAUI, HAWAII TMK (2) 3-8-007:124

Prepared for:

Binhi At Ani

December 2008



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Preface

The Binhi At Ani, a 501(c)(3) not-for-profit organization, proposes the development of a second story conference room and related first floor improvements at the existing Binhi At Ani Filipino Community Center (also known as the Maui Community Center) on an approximately 2.0-acre site. The project is located in Kahului on land identified by TMK (2) 3-8-007:124.

In order to implement the project, State funds administered by the County of Maui, Department of Parks and Recreation will be required. The use of State funding is a trigger for Chapter 343, Hawai'i Revised Statutes (HRS). As such, a Draft Environmental Assessment (EA) has been prepared pursuant to Chapter 343, HRS, and Chapter 200 of Title 11, Administrative Rules, Environmental Impact Statement Rules. This EA documents the project's technical characteristics and environmental impacts, and advances findings and conclusions relative to the significance of the project.

Executive Summary

Project Name: Binhi At Ani Filipino Community Center Proposed Second Floor Conference Room and Related Improvements

Type of Document: Final Environmental Assessment

Legal Authority: Chapter 343, Hawai`i Revised Statutes

Agency Determination: Finding of No Significant Impact

Applicable Environmental Assessment Review “trigger”: Use of State Funds

Location: Island of Maui
Kahului, Maui
TMK (2) 3-8-007:124

Applicant: Norma Barroga, President
Binhi at Ani
780 Onehe`e Avenue
Kahului, Hawai`i 96732

Owner: Binhi At Ani
780 Onehe`e Avenue
Kahului, Hawai`i 96732

Accepting Authority: County of Maui
Department of Parks and Recreation
700 Halia Nako Street, Unit 2
Wailuku, Hawai`i 96793

Agent: Munekiyo & Hiraga, Inc.
305 High Street, Suite 104
Wailuku, Hawai`i 96793
Contact: Rowena Dagdag
Phone No.: (808) 244-2015

Project Summary: The Binhi At Ani proposes the construction of a second floor addition for use as a conference room and related improvements to the first floor conference room and office rooms. The second floor addition will consist of a 2,011 square foot conference room, storage space, hallway and elevator, and a stairway for a total of 2,871 square feet.

I. PROJECT OVERVIEW

I. PROJECT OVERVIEW

A. PROPERTY LOCATION, EXISTING USE AND LAND OWNERSHIP

Binhi At Ani, a non-profit charitable organization, proposes the construction of a second story addition and related first floor improvements to the existing Binhi At Ani Filipino Community Center (BAFCC) on approximately 2.0 acres of land at TMK (2) 3-8-007:124, Kahului, Maui. See **Figure 1**. The project site is accessed via Onehe`e Avenue off of Papa Avenue and is located across from Maui Waena Intermediate School. See **Figure 2**.

The existing one-story facility is approximately 11,063 square feet in size and includes a large hall, outdoor pavilion, restrooms, kitchen, a conference room, offices for administrative purposes, and 94 parking stalls. The center's capacity for occupancy is 464 persons. See **Figure 3** and **Figure 4**.

The subject property is located within the limits of the State Land Use "Urban" district. The Wailuku-Kahului Community Plan and County zoning designate the subject property for "Public-Quasi/Public" use. The subject property is not located within the limits of Maui's Special Management Area.

The landowner for the property is Binhi At Ani. The Binhi At Ani is a non-profit charitable organization that operates the community center. The BAFCC is used for recreational gatherings, classes and meetings. The County of Maui utilizes the large hall during the weekdays as a satellite center for the Kaunoa Senior Services serving approximately thirty (30) seniors. Several groups conduct martial arts classes, hula classes, and exercise sessions in the evenings and on weekends. Organizations use the existing conference room for meetings or small gatherings of up to twenty (20) people. The center's main hall is used for parties, banquets, and other large events. These events typically occur in the evening on weekends.

B. PROPOSED ACTION

In response to a growing demand for recreation and meeting facilities, the Binhi At Ani initiated an expansion and improvement project in November 2006. See **Figure 5**, **Figure 6**, and **Figure 7**. The total cost of the project, using both privately sourced funds as well as State funding, is estimated at \$950,000.00.

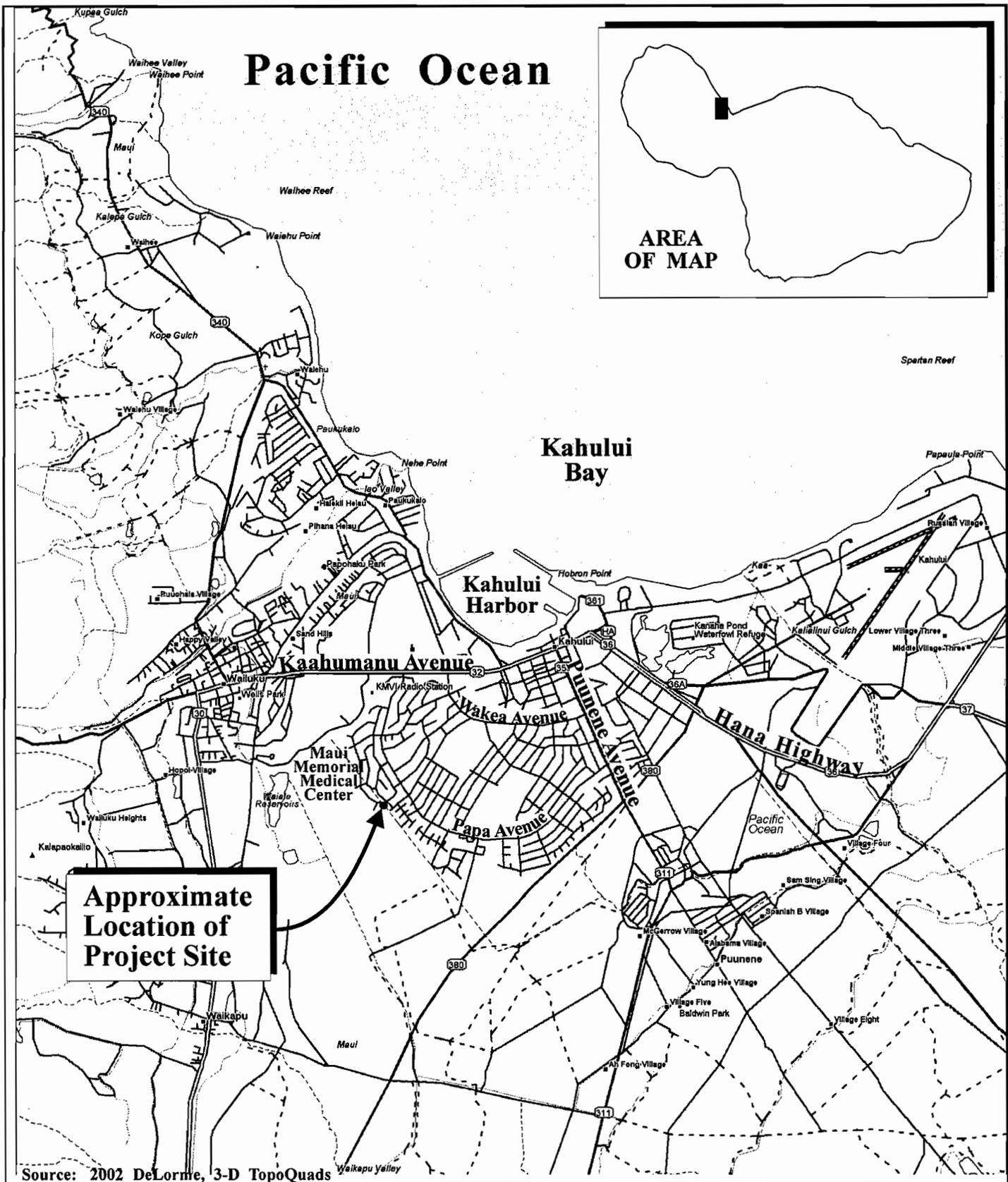
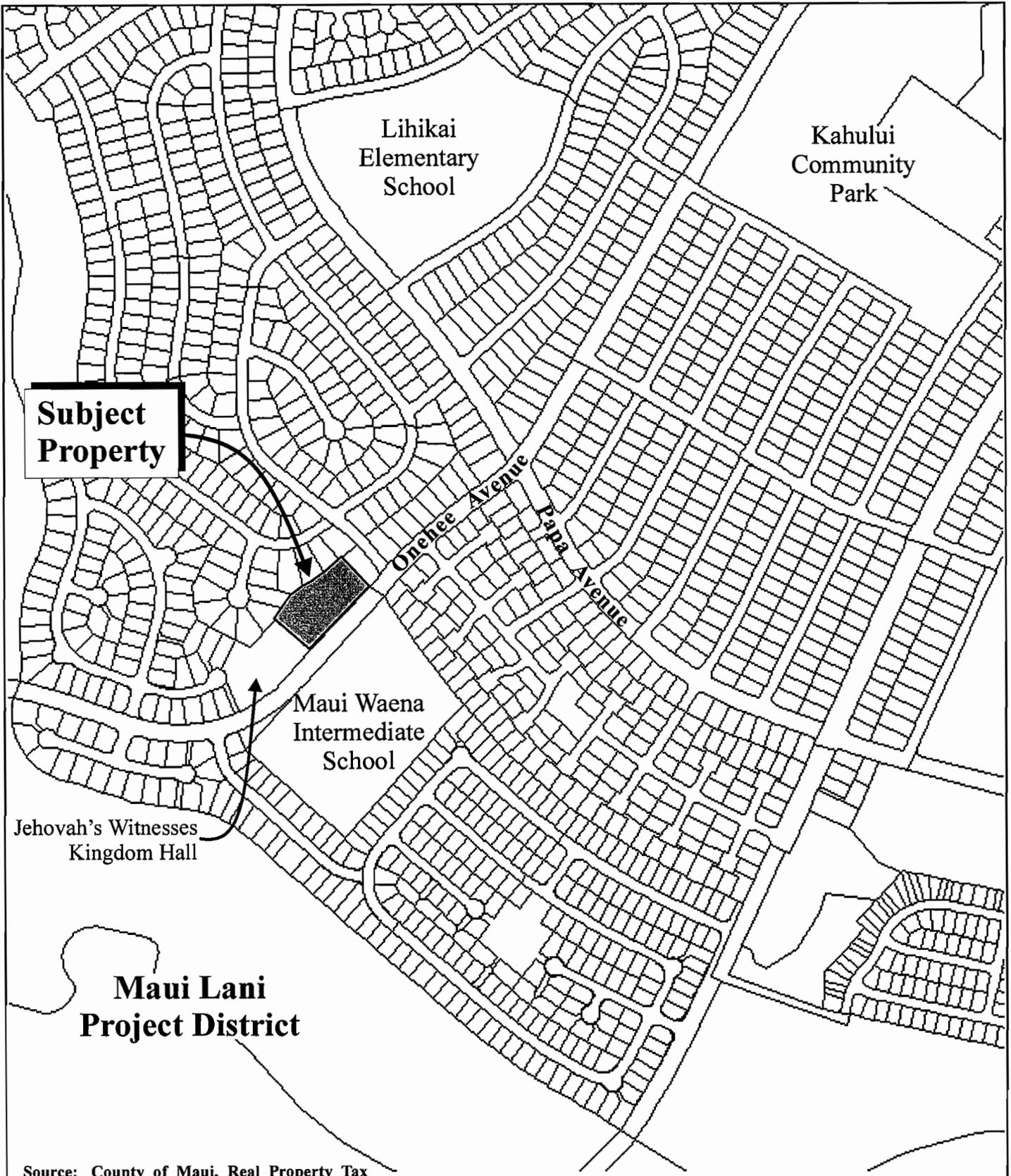


Figure 1 Proposed Binhi At Ani Filipino Community Center Expansion Regional Location Map

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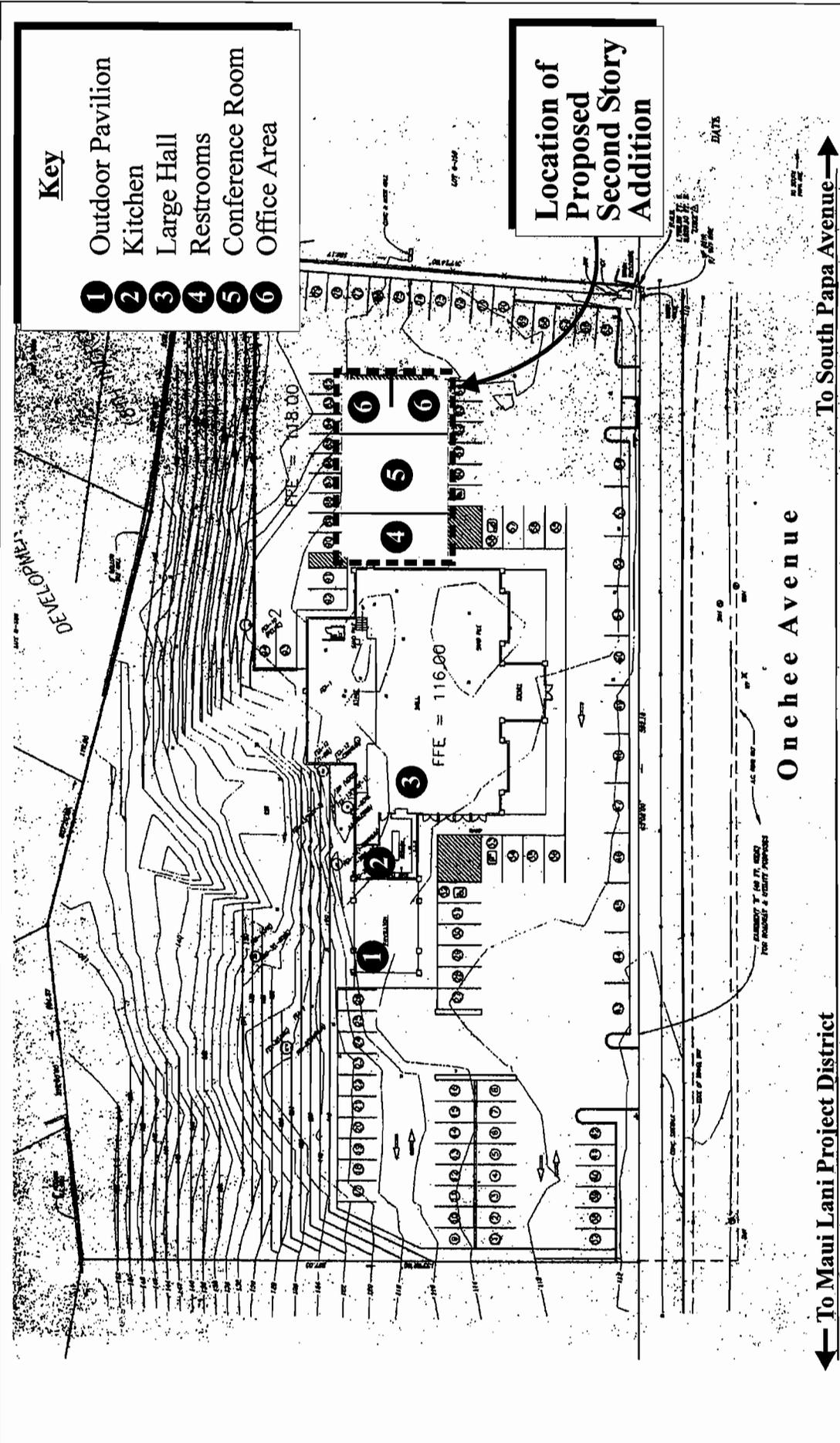


Source: County of Maui, Real Property Tax

Figure 2 Proposed Binhi At Ani Filipino Community Center Expansion Site Location Map

NOT TO SCALE





Source: Wayne Arakaki Engineering

Figure 3



Proposed Binhi at Ani Filipino
Community Center Expansion
Existing Site Plan

NOT TO SCALE

Prepared for: Binhi at Ani



MUNEKIYO & HIRAGA, INC.

BinhiAtAni/CommCtrAdd/siteplan/HUDEA



Binhi At Ani Community Center Facing Maui Waena Intermediate School

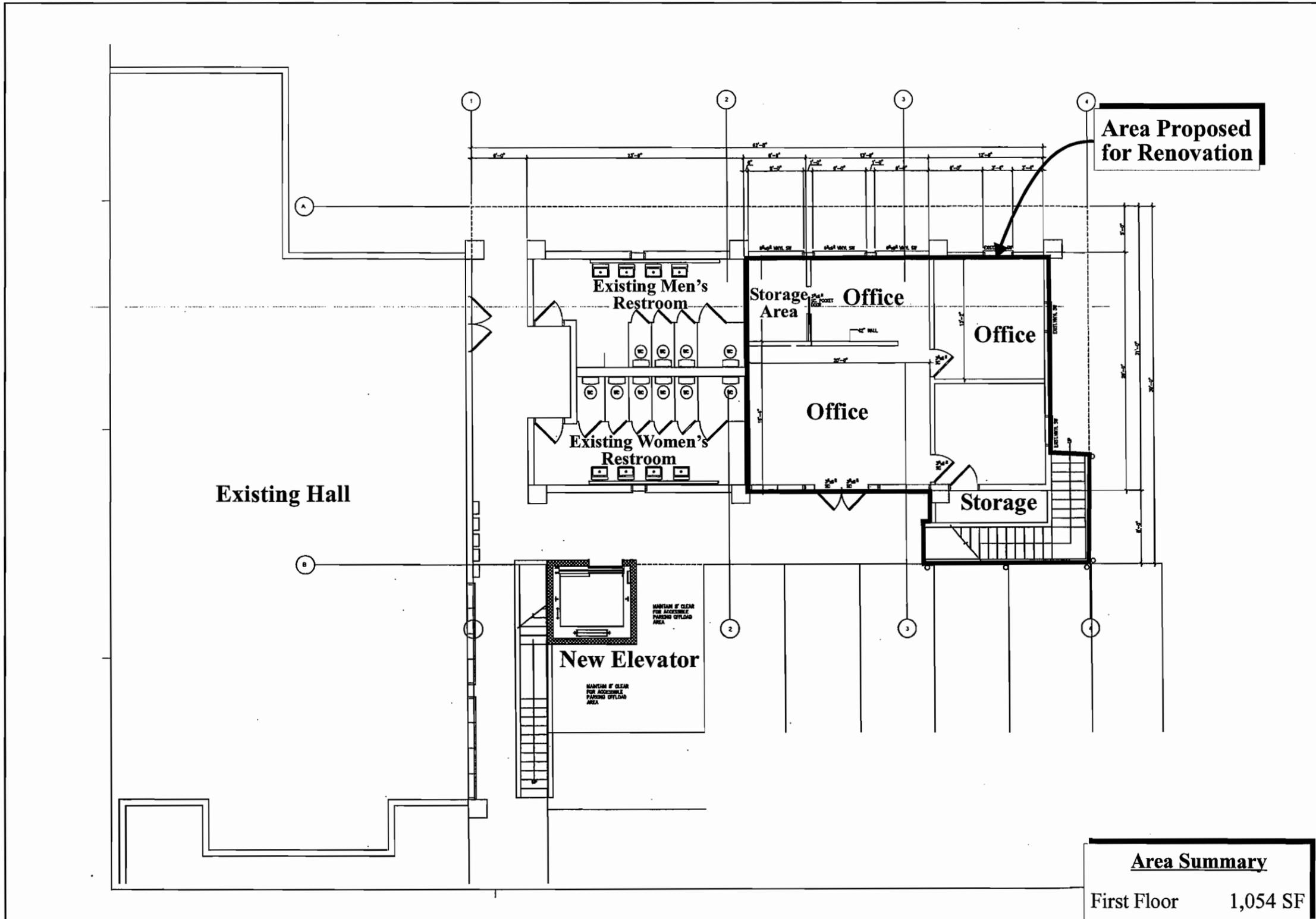


Location of Proposed Second Story Addition

Source: Rowena Dagdag

**Figure 4 Proposed Binhi At Ani Filipino
Community Center Expansion
Site Photographs**

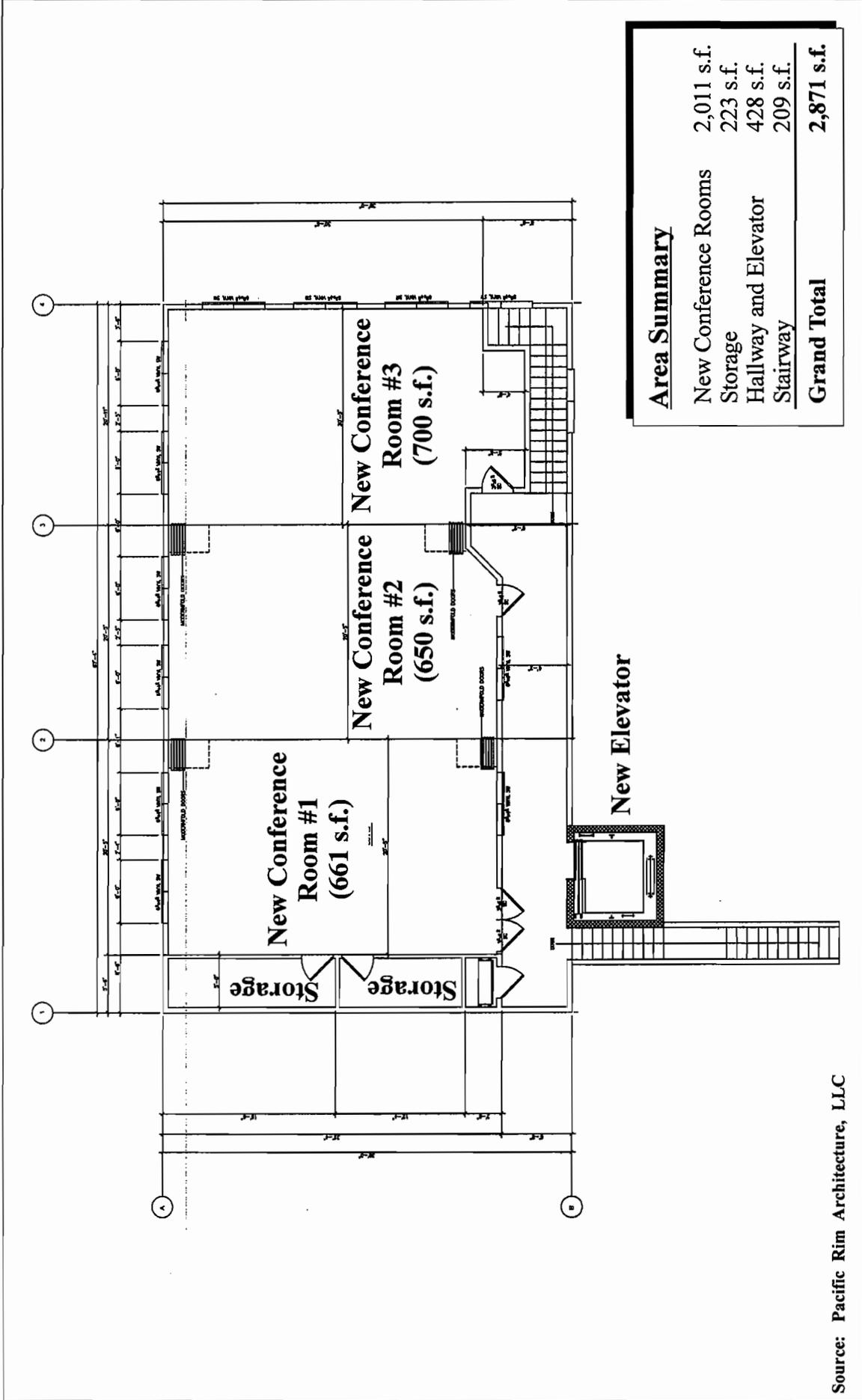
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Source: Pacific Rim Architecture, LLC

Figure 5 Proposed Binhi At Ani Filipino Community Center Expansion
Proposed Floor Plan - First Floor

NOT TO SCALE



Area Summary

New Conference Rooms	2,011 s.f.
Storage	223 s.f.
Hallway and Elevator	428 s.f.
Stairway	209 s.f.
Grand Total	2,871 s.f.

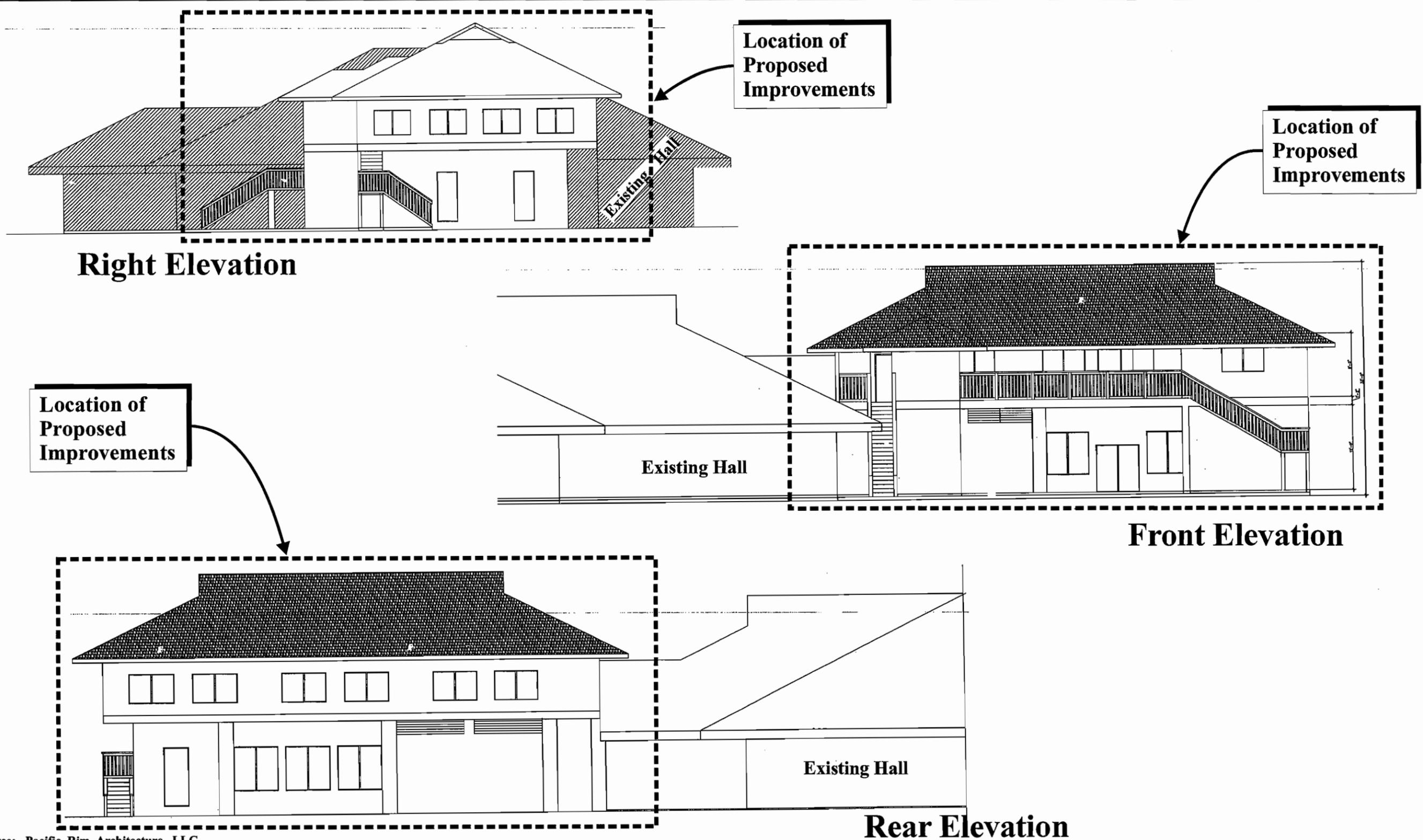
Source: Pacific Rim Architecture, LLC

Figure 6 Proposed Binhi At Ani Community Center Expansion NOT TO SCALE
Proposed Floor Plan - Second Floor



Prepared for: Binhi At Ani





Source: Pacific Rim Architecture, LLC

Figure 7

Proposed Binhi At Ani Filipino Community Center Expansion
Building Elevations

NOT TO SCALE

The expansion and improvement project includes the following project components:

1. Construction of a second story conference room approximately 2,011 square feet (sq. ft.) located on the eastern wing of the facility, that can be partitioned into three (3) smaller rooms accommodating approximately 134 persons in total. Related improvements involve the installation of an elevator for persons with disabilities. The total area of the second story addition is approximately 2,871 sq. ft.
2. Modification of the existing first floor conference room and office space to support the addition of a second story conference room.
3. Construction of new storage rooms for supplies on the first and second floors.

The purpose of this environmental assessment is to specifically address the new second floor conference room as State funding will be utilized for the implementation of this proposed action.

The proposed conference room will be predominantly utilized as an assembly area and will provide recreational space for activities at the Binhi At Ani Filipino Community Center (BAFCC). The conference room is anticipated to be used by groups and organizations who wish to hold meetings, workshops, seminars, and classes for up to 50 people. Use of the new conference room will be made available to the public between the hours of 8:00 a.m. to 5:00 p.m. on weekdays, weekends, and on holidays. The scheduling of functions and activities will be monitored to ensure that sufficient parking will be made available onsite.

Schematic architectural plans for the proposed conference room and first floor renovation have been included in this EA. There will be no parking lost as a result of the expansion project. The center will maintain the existing 94 onsite parking stalls. See **Appendix "A"**. An additional 90 parking stalls are provided across the street at Maui Waena Intermediate School for overflow parking. The BAFCC currently has an agreement in place with the school regarding the use of the school's parking lot during non-school hours.

C. PROJECT NEED

At present, the BAFCC allows for usage of the large hall and open space pavillion from 7:00 a.m. to 10:00 p.m. Groups utilizing the large hall or open space pavillion sign an agreement which includes a policy on sound levels. The facility renters are required to keep noise at a reasonable level and to end any amplified sound at 10:00 p.m.

The demand for community centers and meeting spaces in Central Maui is currently increasing due to demographic influences. The BAFCC helps alleviate this growing public demand for community centers for meetings, gatherings, and recreation uses in Central Maui.

The Binhi At Ani is now seeking to expand and improve its facilities through the implementation of the proposed action so that it can effectively develop the operating capacity to meet existing and future levels of demand.

D. APPROVALS REQUIRED

Inasmuch as State funds will be used for the proposed action, this environmental assessment will be prepared and processed in accordance with Chapter 343, Hawai`i Revised Statutes (HRS). Similarly, since Federal funds will also be used for the proposed action, a U.S. Department of Housing and Urban Development (HUD) EA will be prepared and processed in accordance with the National Environmental Policy Act (NEPA). The County of Maui has determined that its Department of Parks and Recreation will be the approving and determination agency for the Chapter 343, HRS EA.

**II. DESCRIPTION OF THE
EXISTING
ENVIRONMENT, AND
IMPACT AND
MITIGATION
CONSIDERATIONS**

II. DESCRIPTION OF THE EXISTING ENVIRONMENT, AND IMPACT AND MITIGATION CONSIDERATIONS

A. PHYSICAL SETTING

1. Surrounding Land Uses

a. Existing Conditions

The subject property is located in the midst of the Kahului urban fabric, along Onehe'e Avenue, and is surrounded by single-family residences and within the vicinity of other public/quasi-public uses. Directly across from the Binhi At Ani Center is Maui Waena Intermediate School. The Jehovah's Witnesses Kingdom Hall neighbors the subject property to the south. The Kahului Community Center and Park, Hale Mahaolu Senior Housing, Queen Ka'ahumanu Shopping Center, Maui Land and Pineapple Cannery, and small commercial outlets and offices are located northeast of the project site. The Binhi At Ani is used for family and recreational gatherings, classes, and meetings.

b. Potential Impacts and Mitigation Measures

The proposed action will increase the opportunity for recreational and meeting space in the Central Maui area. The project is compatible with existing land uses in the area, including public/quasi-public uses. No adverse impacts to surrounding land uses are anticipated as a result of project implementation. It is noted that groups utilizing the facility are required to end their events at 10:00 p.m. The outdoor lights are programmed to turn off at 11:00 p.m. to prevent facility users from extending their stay at the center.

2. Climate

a. Existing Conditions

Like most areas of Hawai'i, Maui's climate is relatively uniform year round. Characteristic of Hawai'i's climate, the project site experiences mild and uniform temperatures year round, moderate humidity and a relatively consistent northeasterly tradewind. Variation in climate on the island is largely left to local terrain.

Average temperatures at the project site (based on temperatures recorded at Kahului Airport) range from lows in the 60's to highs in the 80's. August is historically the warmest month, while January and February are the coolest. Rainfall at the project site averages approximately 20 inches per year. Winds in the Kahului region are predominantly out of the north-northeast and northeast.

b. Potential Impacts and Mitigation Measures

The proposed project will not affect climatic conditions in the area. The proposed structure and improvements have a low profile and are not anticipated to alter wind patterns.

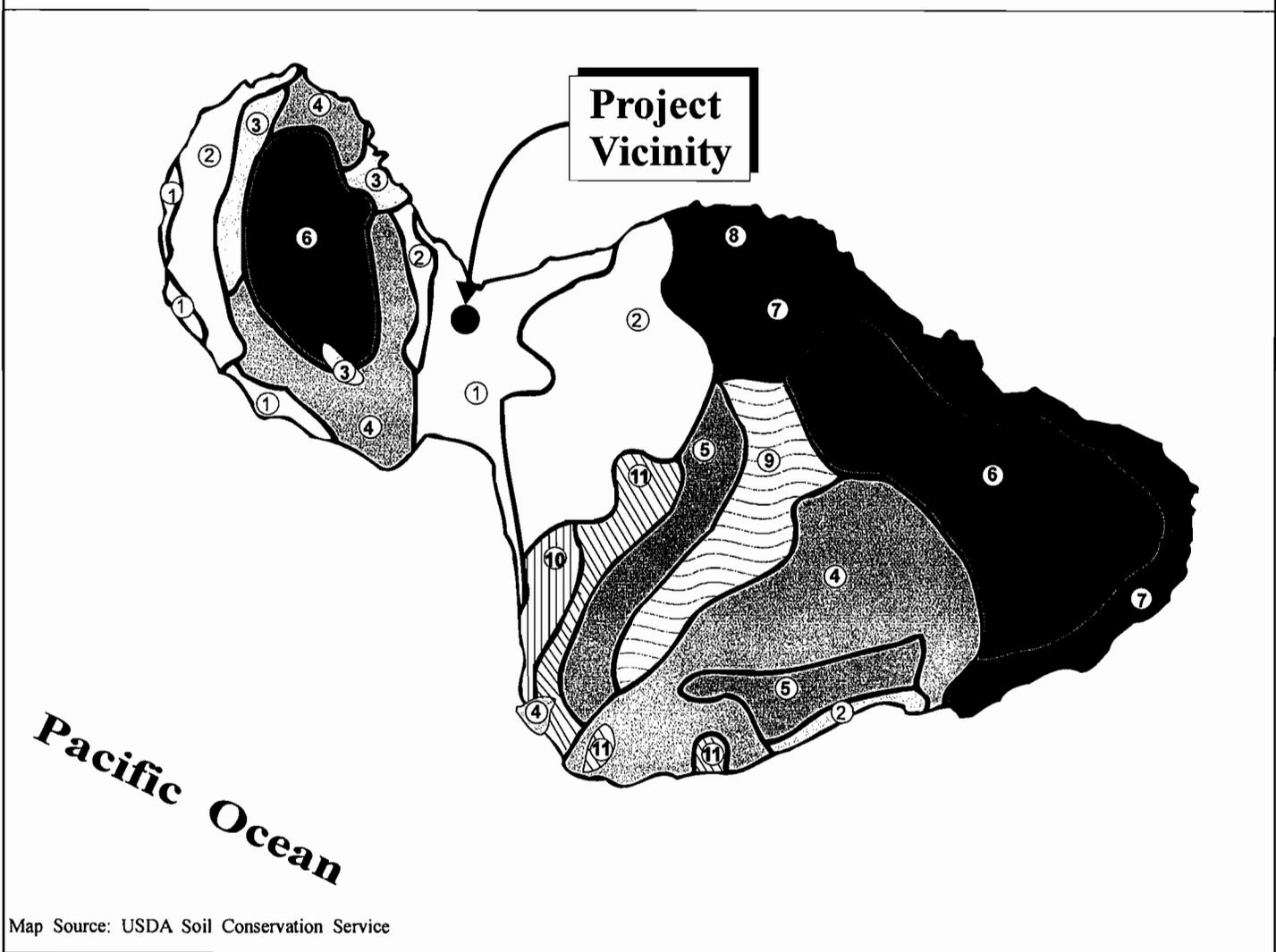
3. Topography and Soils

a. Existing Conditions

The site is located on Maui's flat central isthmus. The property ranges in elevations for 6 feet to 8 feet above mean sea level (amsl). Underlying the site and surrounding lands is soil belonging to the Pulehu-Ewa-Jaucas association which is characterized as having deep, nearly level to moderate slope, with well drained soils that have moderately fine to coarse texture. See **Figure 8**. The soil types specific to the project site is Puuone Sand (PZUE). See **Figure 9**. PZUE soils predominate in the Kahului region and are typified by a sandy surface layer underlain by cemented sand (Soil Conservation Service, 1972).

LEGEND

- | | |
|--|--|
| ① Pulehu-Ewa-Jaucas association | ⑦ Hana-Makaalae-Kailua association |
| ② Waiakoa-Keahua-Molokai association | ⑧ Pauwela-Haiku association |
| ③ Honolua-Olelo association | ⑨ Laumaia-Kaipoipoi-Olinda association |
| ④ Rock land-Rough mountainous land association | ⑩ Keawakapu-Makena association |
| ⑤ Puu Pa-Kula-Pane association | ⑪ Kamaole-Oanapuka association |
| ⑥ Hydrandepts-Tropaquods association | |



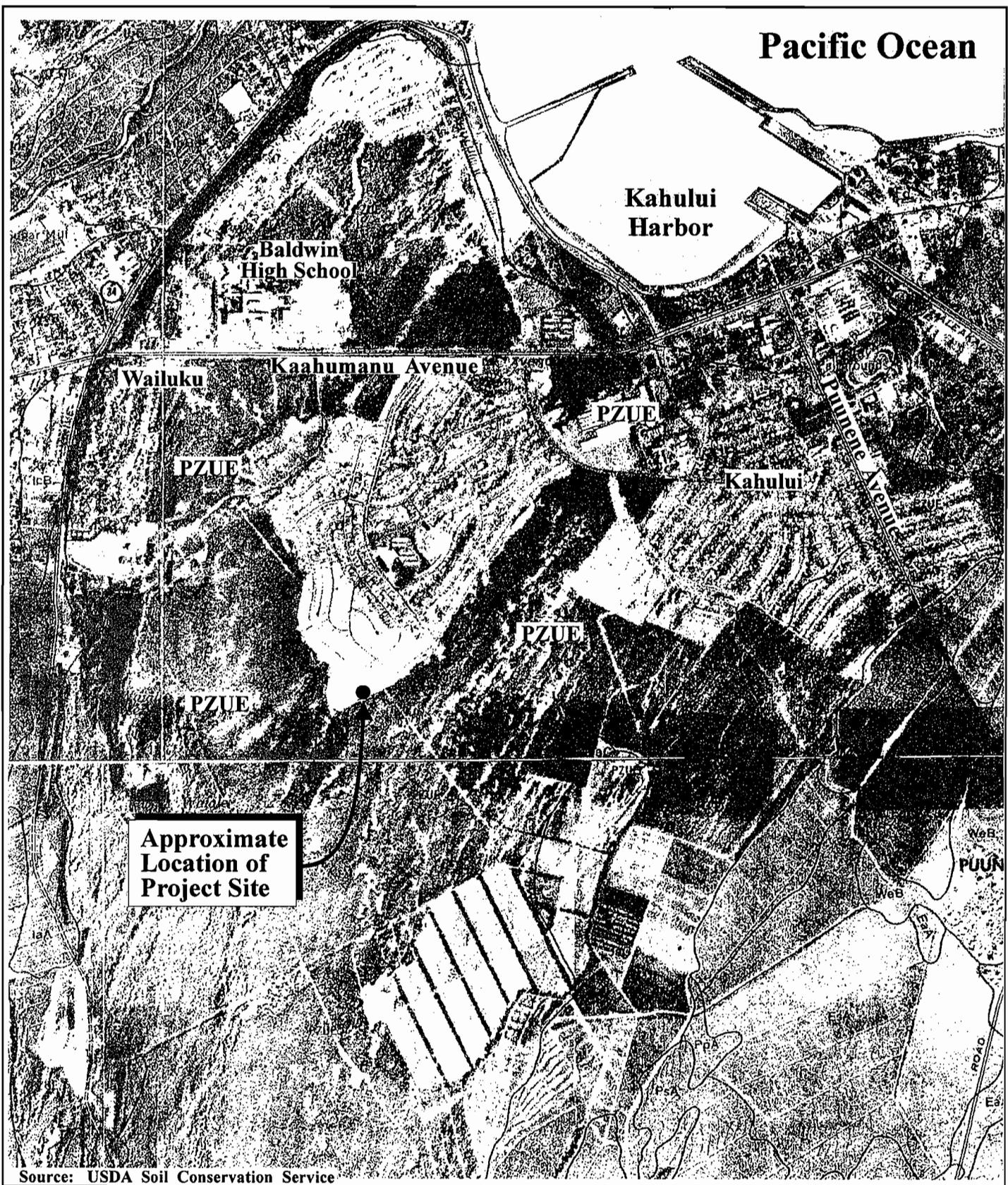
Map Source: USDA Soil Conservation Service

Figure 8

Proposed Binhi At Ani Filipino
Community Center Expansion
Soil Association Map

NOT TO SCALE





Source: USDA Soil Conservation Service

Figure 9

Proposed Binhi At Ani Filipino
Community Center Expansion
Soil Classification Map

NOT TO SCALE



MUNEKIYO HIRAGA, INC.

Prepared for: Binhi At Ani

The project site is currently developed and slopes in an east to west direction ranging in elevation from approximately 112 feet above mean sea level(amsl) at the southwest corner of the property to 140 feet amsl at the northeast corner.

The Land Study Bureau’s Detailed Land Classification Map and the State Agricultural Lands of Importance Map designate the subject property for “Urban” use.

b. Potential Impacts and Mitigation Measures

The proposed project is not anticipated to adversely affect topography and soil characteristics. The site is already established for urban and public/quasi-public uses and, therefore, will not adversely impact soil suitability and characteristics related to agricultural resources. No additional site grading is required for the second story addition.

4. Flood and Tsunami Hazard

a. Existing Conditions

Lands underlying the subject property are located within Flood Zone C, areas of minimal flooding. See **Figure 10**.

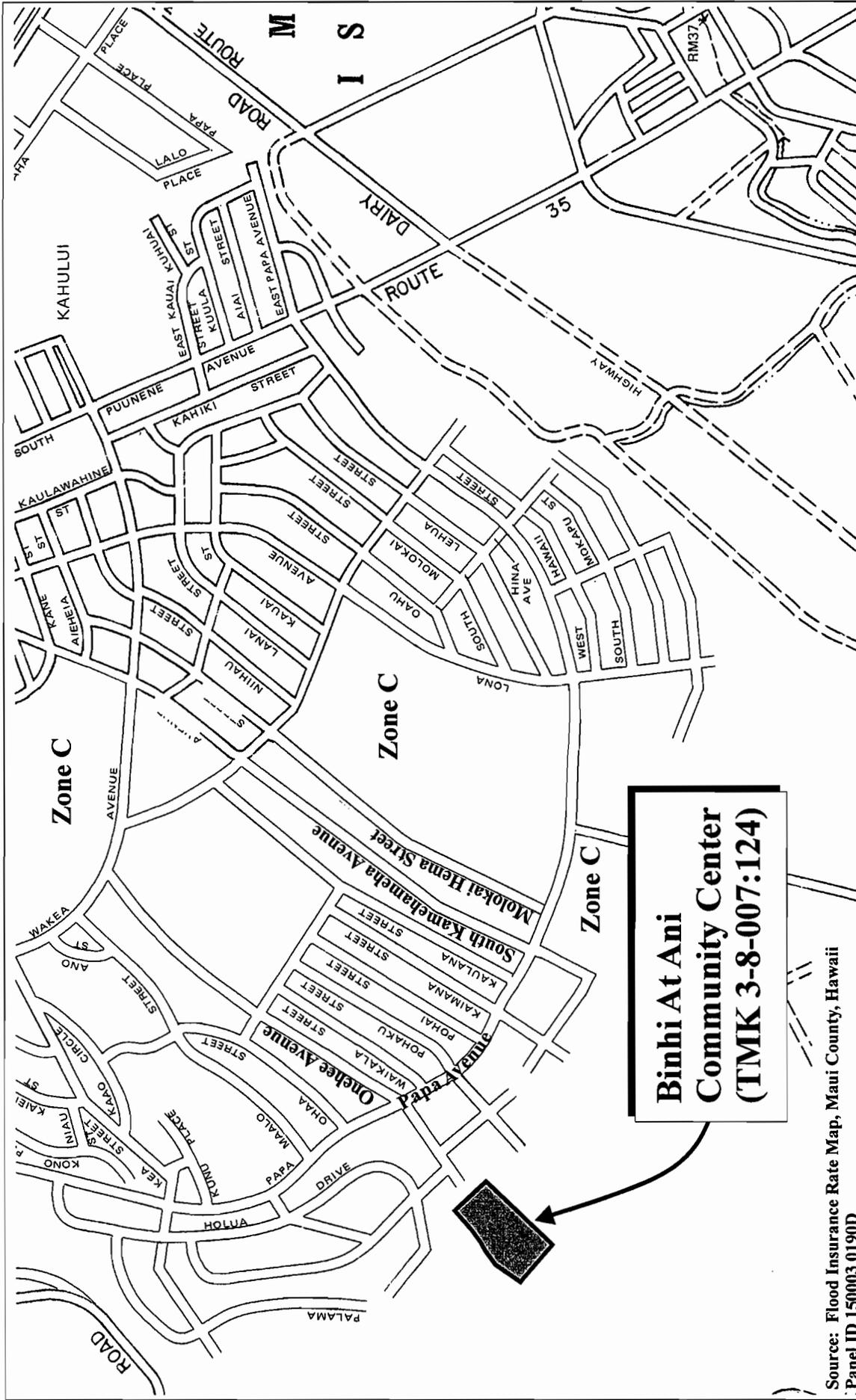
b. Potential Impacts and Mitigation Measures

The project site is not a shoreline property, nor is it situated near streams, wetland areas or other areas which may pose flooding concerns. The proposed second floor addition will not create adverse flooding impacts.

5. Flora and Fauna

a. Existing Conditions

The subject property is vegetated with introduced groundcover species and landscaped with crown flower trees, small shrubs, and flowerbeds. Surrounding the project site to the east, west, north and south are urbanized areas of Kahului. There are no known rare, endangered or threatened species of plants within the project site.



Source: Flood Insurance Rate Map, Maui County, Hawaii
 Panel ID 150003 0190D

Figure 10

Proposed Binhi At Ani Filipino Community Center Expansion Flood Insurance Rate Map



Prepared for: Binhi At Ani

BinhiAtAniCommCtrAdd\FIRM

Fauna and avifauna are also characteristic of urban areas. Fauna typically found in the vicinity include mongoose, rats, dogs and cats. Avifauna include the Common Mynah, Spotted Dove, Barred Dove, Japanese White-Eye Cardinal, Red-Crested Cardinal, and House Sparrow. There are no known rare or endangered species of fauna or avifauna found at the project site.

b. Potential Impacts and Mitigation Measures

The proposed action will occur on a parcel which has been fully developed. The proposed project is not anticipated to affect any rare, endangered or threatened species of flora or fauna. There are no streams, wetlands, or other potentially sensitive habitat areas in the project vicinity.

The United States Fish and Wildlife Service (USF&WS) noted potential impacts to seabirds and the native Hawaiian goose which may traverse on to the project site during construction activities. To mitigate potential impacts, applicable Best Management Practices, as recommended by the USF&WS, will be implemented during construction.

6. Archaeological Resources

a. Existing Conditions

The subject property was cleared and graded in connection with previous site development work. Archaeological monitoring of the subject property was carried out by Archaeological Services Hawai'i (ASH) during the construction of the community center facility in 2001 to 2004.

During the archaeological monitoring program, numerous burial features and scatters of human remains were identified. Due to the findings at the project site, the layout of the community center building, retaining walls, and parking stalls were redesigned to accommodate preservation in place for the primary burial features that were identified during the monitoring.

The proposed construction plan for the community center expansion calls for the installation of three (3) footings ranging from 4.0 ft. to 5.0 ft. deep and an addition to the second floor. The footings will be placed within the northeast parking lot adjacent to the existing office. The excavations will be situated

within an area that has been previously graded and where no historic properties were identified during construction.

b. Potential Impacts and Mitigation Measures

The subject property had been altered by construction and development of the existing community center. The proposed construction will occur within the limits of the existing community center facility. Minimal ground altering activities will be executed as part of construction. As such, archaeological monitoring has been recommended to be carried out during the installation of ground footings.

The applicant's archaeology consultant has prepared an Archaeological Monitoring Plan and submitted it to the State Historic Preservation Division (SHPD) for review and approval. See **Appendix "B"**. The Archaeological Monitoring Plan was accepted by the SHPD on May 30, 2008. See **Appendix "B-1"**.

The proposed second story addition requires minimal excavations for three (3) footings that are situated within the northeast parking lot. No human skeletal remains were identified in this area during the initial construction of the community center building. However, due to the previous identification and documentation of subsurface features at the project site, additional burial features may be present within the project area. Archaeological monitoring, in accordance with the SHPD-approved monitoring plan, will be implemented at the project site during all ground altering activities associated with the construction work. Should any archaeological remains or cultural materials be encountered during construction and excavation activities, work in the vicinity of the find will be stopped and the SHPD and the Maui/Lana'i Island Burial Council will be contacted to establish appropriate mitigation measures in accordance with Chapter 6E, Hawai'i Revised Statutes and the accepted Archaeological Monitoring Plan prepared by Archaeological Services Hawai'i.

7. Cultural Resources

a. Existing Conditions

The project area is located in the Wailuku ahupua`a, a traditional land division extending from the mountain to the sea. Wailuku, which means "water of killing" (Pukui and Curtis, 1974), was the political and military power on Maui during the seventeenth and eighteen centuries. Wailuku was considered to be one of the most fertile areas for agriculture and became an economically important district during the pre-historic and protohistoric period. The Iao Valley had extensive agricultural development in the upper reaches and large agricultural terraces were also developed in the lower river basins. Permanent settlements were established around the agricultural areas, as well as near Kahului Harbor and surrounding coastal areas.

During the Mahele of 1848, which divided the lands among government, royalty, and commoners, Wailuku ahupua`a was declared Crown Land, and awarded to Princess Ruth Ke`elikolani (LCA 7713, Apana 23). Princess Ke`elikolani, great-granddaughter of Kamehameha and Victoria Kamamalu, was the last of the royal descendants to own this land (Pantaleo and Sinoto, 1995). By 1865, Wailuku Sugar Company began leasing Crown Lands in the Wailuku ahupua`a in the vicinity of Lower Main Street and the Iao Stream to grow sugar cane. In 1882, the eastern portion of the Wailuku ahupua`a was awarded to Claus Spreckels as Grant 3343, totaling 24,000 acres to grow sugar cane. Only a southern portion of the Wailuku ahupua`a, south of Kamehameha Avenue, was cultivated in sugar cane (Pantaleo and Sinoto, 1995). Sugar cane was never cultivated in major portions of the Wailuku Sand Hills, surrounding the project site.

The results from archaeological studies conducted in the vicinity of the project site by Barrera (1976), Neller (1984), Rotunno and Cleghorn (1990), and Rotunno-Hazuka et al, (1994), indicate a general absence of evidence of traditional Hawaiian cultural activities other than for burial purposes. Surface structural remains have been non-existent and the occurrence of midden and artifacts have been limited to the fringe areas, just beyond the project district boundaries, in the transition zone between the Wailuku Sand Hills and the surrounding areas (Sinoto, 1995).

An interview was conducted with Mrs. Felisita “Fely” Dumayas during the preparation of the Draft EA to obtain a broader range of cultural resource perspectives in and around the proposed project area.

Felisita Dumayas

The interview with Felisita Dumayas was carried out on June 12, 2007 in Kahului.

Mrs. Dumayas was born in Pahala, Ka`u on the Big Island in 1943 and given the name Felisita Cera by her parents Mariano Cera and Elizabeth Palau Cera. She currently works as an office assistant at the Binhi At Ani Filipino Community Center.

Mrs. Dumayas is of Filipino and Native Hawaiian ancestry. Her father was born and raised in the Philippines and immigrated to Hawai`i when he was 17 years old to work as a laborer in the sugar cane plantations on Maui and the Big Island. He was a coffee picker in Kona before moving to Oahu to harvest pineapple.

Mrs. Dumayas’ mother was Native Hawaiian and is originally from Waipahu, Oahu. Although she spent most of her early years on Oahu, she eventually moved to Kona, Hawai`i to work as a nurse maid for a doctor. Mrs. Dumayas’ mother and father met in Kona.

Mrs. Dumayas moved to Maui in 1963 with her husband and children. When asked about why her family moved to Maui, she stated that the island offered the type of lifestyle that she and her husband wanted for their family. Mrs. Dumayas has lived in the Kahului area since 1965. Her first home in Kahului, on Pohaku Street, is located approximately 2,500 feet from the Binhi At Ani Filipino Community Center.

Mrs. Dumayas reported that the Kahului area was a relatively flat area in the 1960’s. She remembers that during the construction of her family’s home, construction workers would unearth large, smooth rocks that resembled river rocks. Mrs. Dumayas felt that the name of her street “Pohaku” exemplified the findings of the large rocks. The Hawaiian word pohaku is translated as rock in English. Mrs. Dumayas also stated that at times, and most especially

at night, she could hear running water under the property and felt that perhaps the Iao River flowed through Kahului at one point in time.

Mrs. Dumayas said that many of her neighbors were of Japanese, Chinese and Filipino ancestry. She also stated that at one point, Onehee Street stopped at the intersection of Lalani Circle. Anything beyond Lalani Circle was covered with Kiawe trees.

Throughout the 60's, the 70's and the 80's, Mrs. Dumayas and her husband were actively involved in the Kahului Filipino Community Association (KFCA). Mrs. Dumayas noted that the KFCA membership was comprised of Kahului residents from the 6th to the 11th increments. She stated that the organization coordinated many Filipino events, such as the annual Barrio Fiesta celebration on Memorial Day weekend, the Miss Sampaguita Coronation, and Rizal Day celebration. Mrs. Dumayas added that the Miss Sampaguita Coronation was an annual fundraiser that raised funds for scholarships.

Mrs. Dumayas said that many of the KFCA functions were held at the Lihikai School Cafeteria since the facility was in the center of the community. According to Mrs. Dumayas, KFCA members dreamed of having their own Filipino community center and worked hard during fundraiser events to raise funds to buy land and construct a building of their own. They would save money every year to get this accomplished. The organization was young and vibrant, and sought help from members of the community and from local businesses. Mrs. Dumayas noted that while the cost of land got very expensive, the organization did not give up on their dream of having a Filipino community center.

Mrs. Dumayas stated that in the 1980's, some of the members of the KFCA became involved in a movement to develop a Filipino themed community center. Hence, the Binhi At Ani non-profit organization was established. A Binhi At Ani Filipino Community center task force was formed and its members were instrumental in seeking assistance from the community to find land for a community center. Land was eventually donated by Alexander and Baldwin, Inc., and groundbreaking for the center was done in 2000.

Mrs. Dumayas said that she was aware of the finding of cultural matter or `iwi at the property site during the initial grading of the property. She said that the finding of `iwi became more of a concern to her as she did more research on her Native Hawaiian background. Mrs. Dumayas said that she was not aware of any cultural practices or gathering on or near the site prior to the construction of the community center. The land had been previously impacted by the Maui Lani Residential development, Maui Waena Intermediate School, as well as the construction of the Binhi At Ani Filipino Community Center.

Since the center's opening, there have been many cultural classes offered to the community. The community center is a hub of activity with two (2) hula halau (hula schools) offering hula classes in the evenings, two (2) martial arts schools holding classes on the weekdays and weekend, and the offering of senior activities by the County of Maui during the weekdays. Mrs. Dumayas also notes that the community center provides community groups and families with space to hold meetings or host large parties and gatherings.

One of Mrs. Dumayas' concerns about the area is the eroding of the sandy hill behind the center. She said that the sand is not stabilized because there's not enough grass or plant material to keep the sand from shifting. She is currently seeking assistance from Native Hawaiian groups who can provide input on the types of native plants that can thrive on this sandy area.

Mrs. Dumayas said that she would like to see a plaque placed somewhere near the outdoor pavilion that explains some of the area's cultural background. She hopes that the plaque could be a way to educate the center's visitors about how to treat the sand dune area and to show respect for the land that the center stands on. She said that children often climb the hill, and she hopes that there will be no climbing of the hill, only those who are cleaning it. She hopes that there are plans to make the hill beautiful and that the landscape plans incorporate native Hawaiian plants that are non-poisonous.

In closing, Mrs. Dumayas stated that she felt the Filipino community was fortunate to have been offered land to build a community center. She felt that the Filipinos got this because they are loving people who know how to take care of the environment.

b. **Potential Impacts and Mitigation Measures**

Based on the background research and findings of the archaeological assessment report, along with the interview with Mrs. Dumayas, it is anticipated that the proposed project will not have an impact on cultural resources.

In order to mitigate any unforeseen impacts on cultural resources, archaeological monitoring shall be undertaken during the installation of ground footings.

8. **Air Quality and Noise**

a. **Existing Conditions**

The Wailuku-Kahului region is not exposed to adverse air quality conditions. Point sources, such as the Maui Electric Power Plant and Hawaiian Commercial and Sugar Company's Pu'unene Mill and non-point sources such as automobile emissions, are not significant to generate high concentrations of pollutants. The relatively high quality of air can also be attributed to the region's exposure to tradewinds which quickly disperse concentrations of emissions. This rapid dispersion is evident during burning of sugar cane in fields located to the southeast of the Kahului residential core.

Existing background noise levels are primarily attributable to traffic noise along Onehe'e Avenue and aircraft noise from operations at Kahului Airport. Noise sources within the project area also include large events from the BAFCC.

b. **Potential Impacts and Mitigation Measures**

Construction activities for the proposed action is limited to the second floor addition of the BAFCC. Construction noise and associated fugitive dust will be expected during this phase of work. The scope of construction does not involve extraordinary construction methods such as pile driving or excavation which are more significant in terms of noise and dust generation. However, a Best Management Practices (BMP) plan will be developed and implemented to minimize impacts related to construction noise, dust, and debris, as well as the use of heavy equipment and vehicles in the area.

Activities and gatherings in the existing hall are limited to hours between 7:00 a.m. to 10:00 p.m., with an additional hour for facility users to clean until 11:00 p.m. Conference room users will be allowed to use the room between the hours of 8:00 a.m. to 5:00 p.m. on weekdays, weekends, and holidays. The effects of noise generated from events at the BAFCC will be brief and its effects temporary. As previously stated, groups utilizing the facilities in the BAFCC sign an agreement which includes a policy on sound levels. Facility renters are required to keep noise at a reasonable level and to end amplified sound at 10:00 p.m.

9. **Visual Resources**

a. **Existing Conditions**

The subject property is located in the midst of Kahului's commercial core. Beyond the surrounding developed lands are the West Maui Mountains and Haleakala. There are no significant view corridors in the vicinity of the subject property.

b. **Potential Impacts and Mitigation Measures**

As viewed from the subject property, Haleakala is visible to the east and Iao Valley and the West Maui Mountains to the west.

The second story addition will be architecturally designed to be compatible with the existing community center facility and surrounding environment.

The subject property is not part of a scenic corridor and will not affect views from inland vantage points. Accordingly, the proposed project is not anticipated to have an adverse impact upon the visual character of the surrounding area.

B. SOCIO-ECONOMIC ENVIRONMENT

1. Population

a. Existing Conditions

The population in the County of Maui has exhibited relatively steady growth over the last decade. The resident population of Maui County in 1990 was estimated at 100,504. The year 2000 population was estimated at 128,241, which is a 28 percent increase over 1990 (DBEDT, Hawai'i Census 2000). The resident population for the year 2010 is projected to be 151,300 (Maui County Planning Department, June 2006).

The estimated 1990 population of the Wailuku-Kahului region was 32,816. The region's population shows an increase to 41,503 in the year 2000 (Maui County Planning Department, June 2006). By the year 2010, population is anticipated to increase to 51,312 (Maui County Planning Department, June 2006).

b. Potential Impacts and Mitigation Measures

The proposed project is not considered a population generator and is not anticipated to have an adverse impact on population parameters.

2. Economy

a. Existing Conditions

The Kahului region is the island's center of commerce. Combined with neighboring Wailuku, the region's economic character encompasses a broad range of commercial, service, and governmental activities. In addition, the region is surrounded by significant agricultural acreages primarily in sugar cane cultivation. The vast expanse of agricultural land, managed by Hawaiian Commercial & Sugar (HC&S), is considered a key component of the local economy.

b. Potential Impacts and Mitigation Measures

The proposed action is anticipated to have a positive effect during the construction phase of development as expenditures for construction and related support services are made.

C. PUBLIC SERVICES

1. Recreational Facilities

a. Existing Conditions

The Wailuku-Kahului region encompasses a full range of recreational opportunities, including shoreline and boating activities at the Kahului Harbor and adjoining beach parks, and individual and organized athletic activities offered at numerous County parks and the War Memorial Complex. The subject property is in close proximity to Kahului Community Center and the Kokua Swimming Pool. The Kahului Community Park features additional facilities, which include a baseball field, jogging path, gateball field, soccer field, tennis courts, and a playground. Other recreational facilities in the vicinity include Keopuolani Park, Kanaha Beach Park, Wailuku Community Center and Iao Valley State Park.

The Binhi At Ani estimates that approximately 35 senior citizens and County of Maui employees utilize the center's main hall for congregate meal service and activities on Mondays and Wednesdays between the hours of 8:00 a.m. to 1:00 p.m. Seniors participating in the activities at the center utilize public transportation offered by Maui Economic Opportunity, the Maui Bus, or rely on personal vehicles.

b. Potential Impacts and Mitigation Measures

The proposed project is not considered significant in terms of population generation. While the proposed conference room's capacity is 134 persons, the use of the room will be monitored to ensure that sufficient onsite parking is provided. Users of the conference room will be required to submit an application form and use agreement prior to using the room to ensure that there is no overflow of people using the center's facilities at any given time. The proposed project will not place any new demands on recreational

activities in the project area. The proposed addition of a conference room will provide additional space for community members and organizations to hold meetings and small gatherings. It will serve as a benefit for the community and alleviate the growing demand for additional activity and meeting space in Central Maui.

2. Police and Fire Protection

a. Existing Conditions

Police protection for the Wailuku-Kahului region is provided by the County Police Department headquartered at the Wailuku Station, approximately a mile west of the subject property. The region is served by the Department's Central Maui patrol.

Fire prevention, suppression, and protection services for the Wailuku-Kahului region is provided by the County Department of Fire and Public Safety's Kahului Station which is located approximately one (1) mile south of the subject site. The Wailuku Station, located in Wailuku Town, is approximately 1.5 miles west of the site.

b. Potential Impacts and Mitigation Measures

Police and fire protection services are not expected to be adversely impacted by the proposed project. The proposed project will not affect the service capabilities for emergency services.

3. Solid Waste

a. Existing Conditions

Single-family residential solid waste collection service is provided by the County of Maui on a once-a-week or twice-a-week basis. Residential solid waste collected by County crews are disposed at the County's Central Maui Landfill, located four (4) miles southeast of the Kahului Airport. In addition to County-collected refuse, the Central Maui Landfill accepts commercial waste from private collection companies.

b. Potential Impacts and Mitigation Measures

As applicable, a solid waste management plan will be developed in coordination with the Solid Waste Division of the County Department of Environmental Management (DEM) for the disposal of construction waste material generated by the project. The BAFCC is currently served by a private solid waste collection service, and is not expected to affect County services or infrastructure capacities for solid waste.

4. Health Care

a. Existing Conditions

Maui Memorial Medical Center, the only major medical facility on the island, services the Wailuku-Kahului region. Acute, general and emergency care services are provided by the 231-bed facility. In addition, numerous privately operated medical/dental clinics and offices, including the Kaiser Permanente facility within the Maui Lani Project District, are located in the area to serve the region's residents.

b. Potential Impacts and Mitigation Measures

The proposed project is not anticipated to increase the service demands placed upon emergency health care services.

5. Education

a. Existing Conditions

The Wailuku-Kahului region is served by the State Department of Education's public school system, as well as several privately operated schools accommodating elementary, intermediate and high school students. Department of Education facilities in the Kahului area include Lihikai and Kahului Schools (Grades K-5), Maui High School (Grades 9-12) and Pomaika'i Elementary School in Maui Lani expected to open in July, 2007. Existing facilities in the Wailuku area include Wailuku Elementary School (Grades K-5), Iao Intermediate School (Grades 6-8), and Baldwin High School (Grades 9-12). Maui Community College, a branch of the University of Hawai'i, serves as the island's principal institution of higher education. Maui Waena Intermediate School (Grades 6-8) is located directly across from

the BAFCC and provides additional parking for BAFCC events of over 200 guests in the evening or on the weekends. The school provides an additional 90 parking stalls for guests attending an event at the BAFCC.

b. Potential Impacts and Mitigation Measures

The proposed project is not considered significant in terms of population generation. As such, the proposed project will not adversely affect enrollments or locations of educational facilities. BAFCC renters wishing to utilize the Maui Waena Intermediate School parking area are required to complete an application form and agree to all rules and regulations set by the Department of Education. Parking on the street fronting the BAFCC and Maui Waena Intermediate School is prohibited, and center guests are required to utilize the stalls in the parking lots.

D. INFRASTRUCTURE

1. Roadways, Wastewater, Electrical, Telephone and Cable Television Systems

a. Existing Conditions

Access to the project site is provided via Onehe`e Avenue off of Papa Avenue. Onehe`e Avenue is a predominately two-way County of Maui roadway, oriented in the northeast direction that provides access to residential properties and Kahului Community Park located south of the project site. Onehe`e Avenue also provides access to Queen Ka`ahumanu Shopping Center, located immediately to the north. Papa Avenue intersects with Onehe`e Avenue. Papa Avenue is a two-way, two-lane roadway oriented in the west-east direction providing access to residential areas.

The County of Maui provides a wastewater collection system for the area. The collection system carries wastewater to the Wailuku-Kahului Wastewater Reclamation Facility located to the north of the project site on Amala Place.

The County of Maui, Department of Water Supply provides water service for the Kahului Town area. The water system includes reservoirs and a network of distribution lines. The main source of water for this system are the Iao and Waihee Aquifers, the Iao tunnel, and the Iao Waikapu ditch. Existing distribution lines adjoining the site include a 18-inch water main along

Onehee Avenue. The existing facility is serviced by a 1.5-inch water meter that has a capacity of 100 gallons per minute (gpm). Fire protection is provided by the two (2) fire hydrants across Onehee Avenue. Additionally, the building has a sprinkler system that is supplied by the 18-inch waterline via a 4-inch double check detector assembly and 4-inch waterline. Existing fire hydrants along both streets provide fire protection for the area.

Maui Electric Company, Hawaiian Telcom and Time Warner Oceanic Cable provide electrical, telephone, and cable television services, respectively, for the area.

b. Potential Impacts and Mitigation Measures

Given the limited scope of the project, adverse effects to the foregoing infrastructure systems are not anticipated.

There are no new water fixtures being added with the second floor addition. The water meter size requirement for the BAFCC will remain unchanged. Wastewater generation is not anticipated to increase substantially as a result of the proposed new conference room.

Traffic associated with the second story expansion is similarly not anticipated to be significant, as use of the conference room will generally not coincide with peak hour of weekday traffic. The morning peak hour of traffic generally occurs between 7:00 a.m. and 8:00 a.m. In the afternoon, the peak hour of traffic generally occurs between the hours of 1:45 p.m. and 3:00 p.m. The peak hours of traffic are attributed to the drop-off and pick-up of students across the street at Maui Waena Intermediate School.

It is anticipated that the conference room will be made available between the hours of 8:00 a.m. and 5:00 p.m. on the weekdays and on the weekends. As stated previously, the scheduling of functions and activities will be monitored to ensure that there is no overflow of people utilizing the center's main hall and conference room for events and activities, and that sufficient parking is available onsite.

Traffic volumes during the weekdays are anticipated to remain the same. This is primarily due to the fact that center users, which include seniors, rely

on group transportation, such as those offered by Maui Economic Opportunity and the Maui Bus.

2. Drainage

a. Existing Conditions

There are underground storage chambers under the paved parking area which were installed during the construction of the existing facility. The existing drainage facility also includes catch basins (grated drain inlets) to collect onsite storm waters that will be conveyed to the storage chambers by underground pipes. The storage chambers were sized to retain the 50-year, 1-hour rainfall volume increase generated by the existing improvements over the original runoff volume. Retention of the volume increase is in conformance with the requirements of the Maui County Drainage Standards in order that the development will not cause adverse drainage effects on adjacent and downstream properties. See **Appendix “C”**.

b. Potential Impacts and Mitigation Measures

There is no recommended drainage improvement for the proposed project. The second floor addition will be built on top the west wing of the existing building. There will be no addition of impervious areas and no increase of storm runoff and change of drainage flow pattern. The proposed second floor addition will not have adverse drainage effects on adjacent and downstream properties. Existing onsite drainage conditions and flow patterns will not be altered.

III. RELATIONSHIP TO GOVERNMENTAL PLANS, POLICIES AND CONTROLS

III. RELATIONSHIP TO GOVERNMENTAL PLANS, POLICIES AND CONTROLS

A. STATE LAND USE DISTRICTS

Chapter 205, Hawai'i Revised Statutes, relating to the Land Use Commission, establishes the four (4) major land use districts in which all lands in the State are placed. These districts are designated "Urban", "Rural", "Agricultural", and "Conservation". The subject property is located within the "Urban" district. See **Figure 11**. The proposed use of the property is consistent with "Urban" district provisions.

B. MAUI COUNTY GENERAL PLAN

The Maui County General Plan (1990 Update) sets forth broad objectives and policies to help guide the long-range development of the County. As stated in the Maui County Charter,

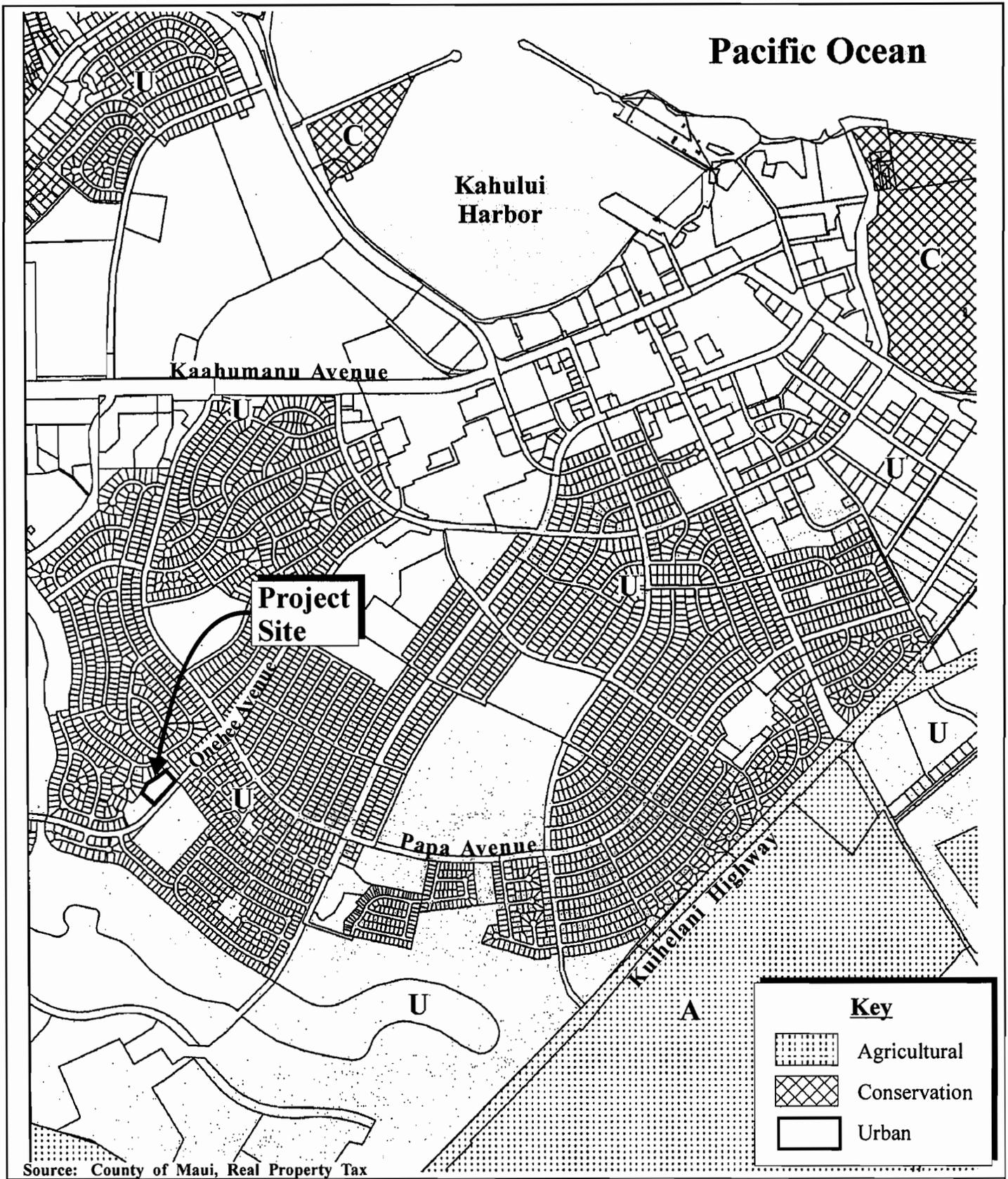
The general plan shall indicate desired population and physical development patterns for each island and region within the county; shall address the unique problems and needs of each island and region; shall explain the opportunities and the social, economic, and environmental consequences related to potential developments; and shall set forth the desired sequence, patterns, and characteristics of future developments. The general plan shall identify objectives to be achieved, and priorities, policies, and implementing actions to be pursued with respect to population density, land use maps, land use regulations, transportation systems, public and community facility locations, water and sewage systems, visitor destinations, urban design, and other matters related to development.

The proposed action is in keeping with the following General Plan objectives and policies:

CULTURAL RESOURCES

Objective:

To preserve for present and future generations the opportunity to know and experience the arts, culture and history of Maui County.



Source: County of Maui, Real Property Tax

Figure 11 Proposed Binhi At Ani Filipino
Community Center Expansion
State Land Use District Designations

NOT TO SCALE



Policy:

Expand the opportunity for large groups to experience and participate in the arts.

PUBLIC UTILITIES AND FACILITIES

Objective:

To improve the quality and availability of public facilities throughout Maui County.

Policy:

Encourage the design of multi-purpose public facilities accessible to all age groups and the handicapped.

Continue the development of community centers throughout the County.

Seek improvement in the maintenance and operation of public facilities.

RECREATION AND OPEN SPACE

Objective:

To provide high-quality recreational facilities to meet the present and future needs of our residents of all ages and physical ability.

Policy:

Maintain and upgrade existing recreational facilities to meet community needs.

- Maintain recreational facilities for both active and passive pursuits
- Develop facilities that will meet the different recreational needs of the various communities
- Develop multi-purpose recreational facilities

C. WAILUKU-KAHULUI COMMUNITY PLAN

The subject parcel is located in the Wailuku-Kahului Community Plan region which is one (1) of nine (9) Community Plan regions established in the County of Maui. Planning for each region is guided by the respective Community Plans, which are designed to implement the Maui County General Plan. Each Community Plan contains recommendations and

standards which guide the sequencing, patterns and characteristics of future development in the region.

The Wailuku-Kahului Community Plan was adopted by the County of Maui through Ordinance No. 3061 which took effect on May 30, 2002.

Land use guidelines are set forth by the Wailuku-Kahului Community Plan Land Use Map. See **Figure 12**. The subject property is designated “Public-Quasi/Public” by the Community Plan.

The proposed project is also consistent with the following policy recommendations in the Wailuku-Kahului Community Plan.

SOCIAL INFRASTRUCTURE

Goal

- Develop and maintain an efficient and responsive system of public services which promotes a safe, healthy and enjoyable lifestyle, accommodates the needs of young, elderly, disabled and disadvantaged persons, and offers opportunities for self improvement and community well being.

RECREATION

Objectives and Policies

- Provide park and recreation areas as an integral part of project district specifications which will accommodate the needs of population growth.
- Provide for a major regional multi-purpose center for the planning district to accommodate resident needs for banquet and meeting facilities with adequate parking.

D. COUNTY ZONING

The subject property is designated “P-1, Public/Quasi-Public District” by Maui County zoning. The existing use of the property for a community center is in accordance with permitted uses listed under the P-1, Public/Quasi-Public District” zoning. The proposed second story addition to allow for needed recreational areas is permitted under County zoning.

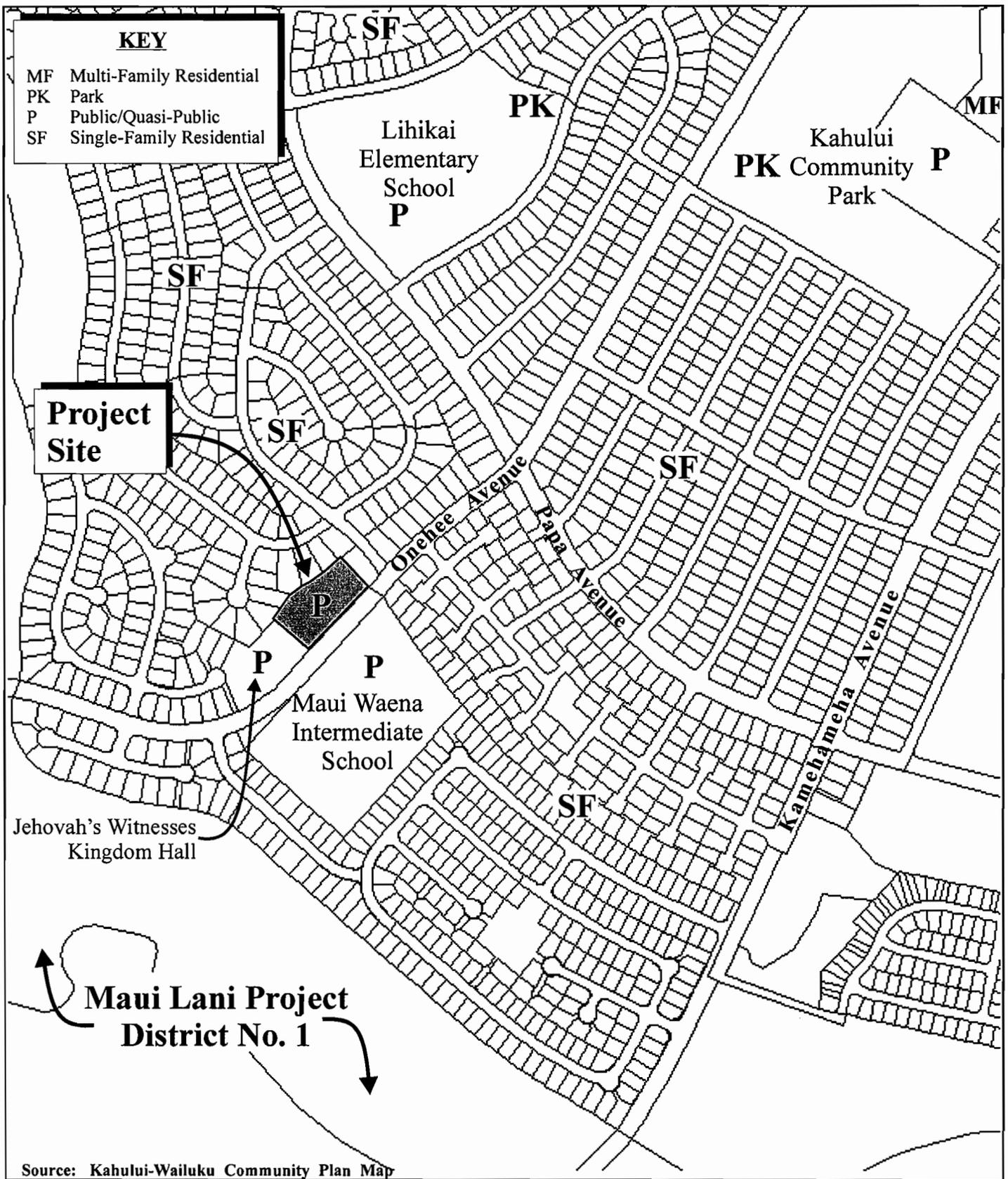


Figure 12 Proposed Binhi At Ani Filipino Community Center Expansion Community Plan Map

NOT TO SCALE



E. COASTAL ZONE MANAGEMENT OBJECTIVES AND POLICIES

Pursuant to Chapter 205A, Hawai'i Revised Statutes, projects are evaluated with respect to Coastal Zone Management (CZM) objectives, policies and guidelines. It is noted that while the subject property is not located within the County of Maui's Special Management Area, the project's relationship to applicable coastal zone management considerations have been reviewed and assessed.

(1) Recreational Resources

Objective:

Provide coastal recreational opportunities accessible to the public.

Policies:

- (A) Improve coordination and funding of coastal recreational planning and management; and
- (B) Provide adequate, accessible, and diverse recreational opportunities in the coastal zone management area by:
 - (i) Protecting coastal resources uniquely suited for recreational activities that cannot be provided in other areas;
 - (ii) Requiring replacement of coastal resources having significant recreational value, including but not limited to surfing sites, fishponds, and sand beaches, when such resources will be unavoidably damaged by development; or requiring reasonable monetary compensation to the state for recreation when replacement is not feasible or desirable;
 - (iii) Providing and managing adequate public access, consistent with conservation of natural resources, to and along shorelines with recreational value;
 - (iv) Providing an adequate supply of shoreline parks and other recreational facilities suitable for public recreation;
 - (v) Ensuring public recreational use of county, state, and federally owned or controlled shoreline lands and waters having recreational value consistent with public safety standards and conservation of natural resources;

- (vi) Adopting water quality standards and regulating point and non-point sources of pollution to protect, and where feasible, restore the recreational value of coastal waters;
- (vii) Developing new shoreline recreational opportunities, where appropriate, such as artificial lagoons, artificial beaches, and artificial reefs for surfing and fishing; and
- (viii) Encouraging reasonable dedication of shoreline areas with recreational value for public use as part of discretionary approvals or permits by the land use commission, board of land and natural resources, county planning commissions; and crediting such dedication against the requirements of Section 46-6, HRS.

Response: The proposed project is not located near the shoreline and is not anticipated to adversely impact existing coastal or inland recreational resources.

(2) **Historic Resources**

Objective:

Protect, preserve and, where desirable, restore those natural and manmade historic and prehistoric resources in the coastal zone management area that are significant in Hawaiian and American history and culture.

Policies:

- (A) Identify and analyze significant archeological resources;
- (B) Maximize information retention through preservation of remains and artifacts or salvage operations; and
- (C) Support state goals for protection, restoration, interpretation, and display of historic resources.

Response: The project site has been previously disturbed in connection with the development of the existing BAFCC. As previously noted, excavation of footings will be needed to structurally support the construction of the second floor addition. Archaeological monitoring will be implemented during the footing excavation phase of work. Should any archaeological remains or cultural materials be encountered during construction and excavation activities, work in the vicinity of the find will be stopped and the SHPD will be contacted to establish appropriate mitigation measures in accordance with Chapter 6E, Hawai'i Revised Statutes.

(3) **Scenic and Open Space Resources**

Objective:

Protect, preserve and, where desirable, restore or improve the quality of coastal scenic and open space resources.

Policies:

- (A) Identify valued scenic resources in the coastal zone management area;
- (B) Ensure that new developments are compatible with their visual environment by designing and locating such developments to minimize the alteration of natural landforms and existing public views to and along the shoreline;
- (C) Preserve, maintain, and, where desirable, improve and restore shoreline open space and scenic resources; and
- (D) Encourage those developments which are not coastal dependent to locate in inland areas.

Response: The proposed project will not adversely impact the region's scenic or open space resources. Proposed architectural and landscape design parameters for the second story addition and related improvements will be compatible with the surrounding architecture and character of the Kahului region.

(4) **Coastal Ecosystems**

Objective:

Protect valuable coastal ecosystems, including reefs, from disruption and minimize adverse impacts on all coastal ecosystems.

Policies:

- (A) Improve the technical basis for natural resource management;
- (B) Preserve valuable coastal ecosystems, including reefs, of significant biological or economic importance;

- (C) Minimize disruption or degradation of coastal water ecosystems by effective regulation of stream diversions, channelization, and similar land and water uses, recognizing competing water needs; and
- (D) Promote water quantity and quality planning and management practices which reflect the tolerance of fresh water and marine ecosystems and prohibit land and water uses which violate state water quality standards.

Response: The proposed improvements are not expected to adversely impact coastal ecosystems. The project will comply with applicable County drainage provisions.

(5) **Economic Uses**

Objective:

Provide public or private facilities and improvements important to the State's economy in suitable locations.

Policies:

- (A) Concentrate coastal dependent development in appropriate areas;
- (B) Ensure that coastal dependent development such as harbors and ports, and coastal related development such as visitor facilities and energy generating facilities, are located, designed, and constructed to minimize adverse social, visual, and environmental impacts in the coastal zone management area; and
- (C) Direct the location and expansion of coastal dependent developments to areas presently designated and used for such developments and permit reasonable long-term growth at such areas, and permit coastal dependent development outside of presently designated areas when:
 - (i) Use of presently designated locations is not feasible;
 - (ii) Adverse environmental effects are minimized; and
 - (iii) The development is important to the State's economy.

Response: The proposed project is designed to provide additional conference room and meeting space for residents. The proposed project is not anticipated to generate adverse economic impacts. The project is not coastal dependent and is located approximately one (1) mile from Kahului Harbor.

(6) **Coastal Hazards**

Objective:

Reduce hazard to life and property from tsunami, storm waves, stream flooding, erosion, subsidence and pollution.

Policies:

- (A) Develop and communicate adequate information about storm wave, tsunami, flood, erosion, subsidence, and point and nonpoint source pollution hazards;
- (B) Control development in areas subject to storm wave, tsunami, flood, erosion, hurricane, wind, subsidence, and point and nonpoint pollution hazards;
- (C) Ensure that developments comply with requirements of the Federal Flood Insurance Program;
- (D) Prevent coastal flooding from inland projects; and
- (E) Develop a coastal point and nonpoint source pollution control program.

Response: The location of the proposed second story addition falls within Zone C, an area of minimal flooding. No significant adverse drainage impacts to downstream properties will result from the proposed project.

(7) **Managing Development**

Objective:

Improve the development review process, communication, and public participation in the management of coastal resources and hazards.

Policies:

- (A) Use, implement, and enforce existing law effectively to the maximum extent possible in managing present and future coastal zone development;
- (B) Facilitate timely processing of applications for development permits and resolve overlapping of conflicting permit requirements; and

- (C) Communicate the potential short and long-term impacts of proposed significant coastal developments early in their life-cycle and in terms understandable to the public to facilitate public participation in the planning and review process.

Response: Applicable State and County requirements will be adhered to during the design and construction of the proposed project. Communication and public participation will be promoted through the Chapter 343, HRS processes.

(8) **Public Participation**

Objective:

Stimulate public awareness, education, and participation in coastal management.

Policies:

- (A) Maintain a public advisory body to identify coastal management problems and to provide policy advice and assistance to the coastal zone management program;
- (B) Disseminate information on coastal management issues by means of educational materials, published reports, staff contact, and public workshops for persons and organizations concerned with coastal-related issues, developments, and government activities; and
- (C) Organize workshops, policy dialogues, and site-specific mediations to respond to coastal issues and conflicts.

Response: Opportunities for agency and public review of the proposed action are provided through the notification, review and comment processes of the EA requirements of Chapter 343, HRS.

(9) **Beach Protection**

Objective:

Protect beaches for public use and recreation.

Policies:

- (A) Locate new structures inland from the shoreline setback to conserve open space and to minimize loss of improvements due to erosion;
- (B) Prohibit construction of private erosion-protection structures seaward of the shoreline, except when they result in improved aesthetic and engineering solutions to erosion at the sites and do not interfere with existing recreational and waterline activities; and
- (C) Minimize the construction of public erosion-protection structures seaward of the shoreline.

Response: The proposed project will not involve construction in the vicinity of shoreline areas. The proposed project is not anticipated to have an adverse effect on local beach environments.

(10) Marine Resources

Objective:

Implement the State's ocean resources management plan.

Policies:

- (A) Exercise an overall conservation ethic, and practice stewardship in the protection, use, and development of marine and coastal resources;
- (B) Assure that the use and development of marine and coastal resources are ecologically and environmentally sound and economically beneficial;
- (C) Coordinate the management of marine and coastal resources and activities management to improve effectiveness and efficiency;
- (D) Assert and articulate the interests of the State as a partner with federal agencies in the sound management of ocean resources within the United States exclusive economic zone;
- (E) Promote research, study, and understanding of ocean processes, marine life, and other ocean resources in order to acquire and inventory information necessary to understand how ocean development activities relate to and impact upon ocean and coastal resources; and

- (F) Encourage research and development of new, innovative technologies for exploring, using, or protecting marine and coastal resources.

Response: The proposed project is not located adjacent to any beach or shoreline. The proposed project, therefore, is not anticipated to have adverse effects upon marine and coastal resources in the project vicinity.

In addition to the foregoing objectives and policies, SMA permit review criteria pursuant to Act 224 (2005) provides that:

No special management area use permit or special management area minor permit shall be granted for structures that allow artificial light from floodlights, uplights, or spotlights used for decorative or aesthetic purposes when the light:

- (1) Directly illuminates the shoreline and ocean waters;
or*
- (2) Is directed to travel across property boundaries toward the shoreline and ocean waters.*

Response: The proposed project is not located on or near the shoreline. The proposed project lighting will be shielded, down lighting.

**IV. SUMMARY OF
ADVERSE
ENVIRONMENTAL
EFFECTS WHICH
CANNOT BE AVOIDED**

IV. SUMMARY OF ADVERSE ENVIRONMENTAL EFFECTS WHICH CANNOT BE AVOIDED

The proposed second story addition and related improvements will result in some construction-related impacts as described in Chapter II, Description of the Existing Environment and Impact and Mitigation Considerations. Potential effects include noise generated impacts occurring from construction activities. In addition, there may be temporary air quality impacts associated with dust generated from construction activities, and exhaust emissions discharged by construction equipment. However, these impacts are anticipated to be temporary and will be mitigated through the use of appropriate BMPs. Implementation of the proposed project is not anticipated to create long-term adverse environmental effects.

V. ALTERNATIVES TO THE PROPOSED ACTION

V. ALTERNATIVES TO THE PROPOSED ACTION

A. NO ACTION ALTERNATIVE

The “no action” alternative would require the Binhi At Ani to continue operating with less than adequate recreational/assembly space. This alternative is not deemed a viable option and has not been considered, as it would effectively limit Binhi At Ani’s ability to meet the community’s growing need for meeting spaces.

B. DEFERRED ACTION ALTERNATIVE

A deferred action alternative would have similar consequences to the “no action” alternative in terms of not being able to meet the community’s growing need for more recreational/assembly space. This alternative could result in potentially higher development costs due to increases in labor and material costs.

C. ALTERNATIVE DESIGNS

Alternative locations on the same property for an additional conference room at the project site were considered but discounted due to site spatial constraints. Steep slopes and burials previously identified on portions of the project site present challenges in constructing any improvements on the property. Additionally, the use of a chair-lift was considered as a means of accommodating persons with disabilities and to comply with the Americans with Disabilities Act (ADA). This alternative was not deemed as a viable option due to the configuration of the proposed stairwell. As such, the installation of an elevator is proposed to meet requirements of the ADA and to enable persons with disabilities access to the second floor. The proposed action represents the preferred alternative.

VI. IRREVERSIBLE AND IRRETRIEVABLE COMMITMENTS OF RESOURCES

VI. IRREVERSIBLE AND IRRETRIEVABLE COMMITMENTS OF RESOURCES

The proposed action would involve a commitment of fuel, labor, funding and material resources. The use of these resources when weighed against the expected benefit to be derived from the project, is not considered an adverse commitment.

VII. SIGNIFICANCE CRITERIA ASSESSMENT

VII. SIGNIFICANCE CRITERIA ASSESSMENT

The "Significance Criteria", Section 12 of the Administrative Rules, Title 11, Chapter 200, "Environmental Impact Statement Rules", were reviewed and analyzed to determine whether the proposed project will have significant impacts to the environment. The following criteria and preliminary analysis are provided. Involves an irrevocable commitment to loss or destruction of any natural or cultural resource.

1. **No irrevocable commitment to loss or destruction of any natural or cultural resource.**

The project will not result in any adverse environmental impacts. There are no known, rare threatened, or endangered species of flora, fauna or avifauna located within the project site. The project site has been previously disturbed in connection with the development of the existing BAFCC. As previously noted, excavation of footings will be needed to structurally support the construction of the second floor addition. Archaeological monitoring will be implemented during the footing excavation phase of work. Should any archaeological remains or cultural materials be encountered during construction and excavation activities, work in the vicinity of the find will be stopped and the SHPD will be contacted to establish appropriate mitigation measures in accordance with Chapter 6E, Hawai'i Revised Statutes.

2. **Curtails the range of beneficial uses of the environment.**

The proposed project and the commitment of land resources is not anticipated to curtail the range of beneficial uses of the environment. The current use of the site as a community center is compatible with surrounding urbanized uses. Environmental impacts associated with the proposed action are not deemed adverse.

3. **Conflicts with the state's long-term environmental policies or goals and guidelines as expressed in chapter 344, HRS, and any revisions thereof and amendments thereto, court decisions, or executive orders.**

The State's Environmental Policy and Guidelines are set forth in Chapter 344, Hawai'i Revised Statutes. The proposed action does not contravene provisions of Chapter 344, Hawai'i Revised Statutes.

4. **Substantially affects the economic welfare, social welfare, and cultural practices of the community or State.**

The proposed project will have a beneficial impact on the local economy during construction. The primary social welfare benefit is the addition of multi-purpose activity and meeting space in the Central Maui area.

5. **Substantially affects public health.**

No adverse impacts to the public's health and welfare are anticipated as a result of the proposed project. The proposed action will benefit public welfare by accommodating resident needs for additional activity and meeting space.

6. **Involves substantial secondary impacts, such as population changes or effects on public facilities.**

No significant population changes are anticipated as a result of the proposed project.

From a land use standpoint, the proposed project is in keeping with the objectives, policies, and implementing actions of the Wailuku-Kahului Community Plan. The proposed project complements and is compatible with surrounding land uses.

No adverse impacts to water and wastewater capacities and facilities are anticipated.

7. **Involves a substantial degradation of environmental quality.**

During the construction phase of the project, there will be short-term air quality and noise impacts as a result of the project. In the long term, effects upon air quality and ambient noise levels should be minimal. The project is not anticipated to significantly affect the open space and scenic character of the area.

No substantial degradation of environmental quality resulting from the project is anticipated.

8. **Is individually limited but cumulatively has considerable effect upon the environment or involves a commitment for larger actions.**

The proposed action does not represent a commitment to larger actions. In addition, the proposed action is not expected to result in cumulative impacts that would adversely affect the environment.

9. **Substantially affects a rare, threatened, or endangered species, or its habitat.**

The project site is located in an existing developed residential neighborhood. A middle school is located to the east of the project site, and a church is located on the site's western boundary. There are no known rare, endangered or threatened species of plants within the vicinity of the project site. Best Management Practices recommended by the U.S. Fish and Wildlife Service will be implemented as applicable, to address potential impacts to native flora and avifauna.

10. **Detrimentially affects air or water quality or ambient noise levels.**

Construction activities will result in short-term air quality and noise impacts. Noise impacts will occur primarily from construction-related activities. It is anticipated that construction will be limited to daylight working hours. Water quality is not expected to be affected.

In the long term, the project is not anticipated to have a significant impact on air and water quality.

11. **Affects or is likely to suffer damage by being located in an environmentally sensitive area such as a flood plain, tsunami zone, beach, erosion-prone area, geologically hazardous land, estuary, fresh water, or coastal waters.**

The project is not located within and would not affect environmentally sensitive areas. The project site is not subject to flooding or tsunami inundation according to the Flood Insurance Rate Maps. Soils underlying the project site are not considered to be erosion-prone. There are no geologically hazardous lands, estuaries, or coastal waters within or adjacent to the project site.

12. **Substantially affects scenic vistas and viewplanes identified in county or state plans or studies.**

The project site is not identified as a scenic vista or viewplane. The proposed project will not affect scenic corridors and coastal scenic and open space resources.

13. **Requires substantial energy consumption.**

The proposed project will involve the short-term commitment of fuel for equipment, vehicles, and machinery during construction activities. However, this use is not anticipated to result in a substantial consumption of energy resources. In the long

term, the project will create some additional demand for electricity. However, this demand is not deemed substantial or excessive within the context of the region's overall energy consumption.

Based on the foregoing findings, the proposed action has been determined to meet the standards of a Finding of No Significant Impact (FONSI) under Chapter 343, HRS.

VIII. LIST OF PERMITS AND APPROVALS

VIII. LIST OF PERMITS AND APPROVALS

The following permits and approvals will be required prior to the implementation of the project.

County of Maui

1. Building permit

State of Hawai'i

1. Finding of No Significant Impact (FONSI) Determination pursuant to Chapter 343, HRS.

Federal

1. U.S. Department of Housing and Urban Development (HUD) Environmental Assessment

**IX. AGENCIES
CONSULTED DURING THE
PREPARATION OF THE
DRAFT ENVIRONMENTAL
ASSESSMENT; LETTERS
RECEIVED AND
RESPONSES TO
SUBSTANTIVE
COMMENTS**

IX. AGENCIES CONSULTED DURING THE PREPARATION OF THE DRAFT ENVIRONMENTAL ASSESSMENT; LETTERS RECEIVED AND RESPONSES TO SUBSTANTIVE COMMENTS

The following agencies were consulted during the preparation of the Draft Environmental Assessment. Agency comments received during the early consultation phase, as well as responses to substantive comments are included in this section.

- | | |
|--|---|
| <p>1. Ranae Ganske-Cerizo, Soil Conservationist
Natural Resources Conservation Service
U.S. Department of Agriculture
210 Imi Kala Street, Suite 209
Wailuku, Hawai`i 96793-2100</p> | <p>6. Theodore E. Liu, Director
State of Hawai`i
Department of Business, Economic Development
& Tourism
P.O. Box 2359
Honolulu, Hawai`i 96804</p> |
| <p>2. George Young
Chief, Regulatory Branch
U.S. Department of the Army
U.S. Army Engineer District, Honolulu
Regulatory Branch
Building 230
Fort Shafter, Hawai`i 96858-5440</p> | <p>7. Patricia Hamamoto, Superintendent
State of Hawai`i
Department of Education
P.O. Box 2360
Honolulu, Hawai`i 96804</p> |
| <p>3. Gordon Furutani, Field Office Director
U. S. Department of Housing and Urban
Development
500 Ala Moana Boulevard, Suite 3A
Honolulu, Hawai`i 96813-4918</p> | <p>8. Heidi Meeker
Planning Section
Office of Business Services
Department of Education
809 Eighth Avenue
Honolulu, Hawai`i 96816</p> |
| <p>4. Patrick Leonard
Field Supervisor
U. S. Fish and Wildlife Service
300 Ala Moana Blvd., Rm. 3-122
Box 50088
Honolulu, Hawai`i 96813</p> | <p>cc: Ken Nomura, Complex Area
Superintendent (Central/Upcountry Maui)</p> |
| <p>5. Patricia Port
U. S. Department of Interior
Regional Environmental Officer
Environmental Policy and Compliance
Oakland Region
Jackson Center One
1111 Jackson Street, Suite 520
Oakland, California 94607</p> | <p>9. Micah Kane, Chairman
Department of Hawaiian Home Lands
P. O. Box 1879
Honolulu, Hawai`i 96805</p> |
| | <p>10. Chiyome Fukino, M.D., Director
State of Hawai`i
Department of Health
919 Ala Moana Blvd., Room 300
Honolulu, Hawai`i 96814</p> |

11. Alec Wong, P.E., Acting Chief
Clean Water Branch
State of Hawai'i
Department of Health
919 Ala Moana Blvd., Room 300
Honolulu, Hawai'i 96814
12. Herbert Matsubayashi
District Environmental Health
Program Chief
State of Hawai'i
Department of Health
54 High Street
Wailuku, Hawai'i 96793
13. Peter Young, Chairperson
State of Hawai'i
Department of Land and Natural
Resources
P. O. Box 621
Honolulu, Hawai'i 96809
14. Melanie Chinen, Administrator
State of Hawai'i
Department of Land and Natural
Resources
State Historic Preservation Division
601 Kamokila Blvd., Room 555
Kapolei, Hawai'i 96707
15. Barry Fukunaga, Director
State of Hawai'i
Department of Transportation
869 Punchbowl Street
Honolulu, Hawai'i 96813
- cc: Fred Cajigal
16. Genevieve Salmonson, Director
Office Of Environmental Quality Control
235 S. Beretania Street, Suite 702
Honolulu, Hawai'i 96813
17. Clyde Namu'o, Administrator
Office of Hawaiian Affairs
711 Kapiolani Boulevard, Suite 500
Honolulu, Hawai'i 96813
18. Laura Thielen, Director
State of Hawai'i
Office of Planning
P.O. Box 2359
Honolulu, Hawai'i 96804
19. Gen Inuma, Administrator
Maui Civil Defense Agency
200 South High Street
Wailuku, Hawai'i 96793
20. Carl Kaupololo, Chief
County of Maui
Department of Fire
and Public Safety
200 Dairy Road
Kahului, Hawai'i 96732
21. Vanessa A. Medeiros, Director
County of Maui
Department of Housing and
Human Concerns
200 South High Street
Wailuku, Hawai'i 96793
22. Tamara Horcajo, Director
County of Maui
Department of Parks and Recreation
700 Halia Nako Street, Unit 2
Wailuku, Hawai'i 96793
23. Jeffrey Hunt, Director
County of Maui
Department of Planning
250 South High Street
Wailuku, Hawai'i 96793
24. Thomas Phillips, Chief
County of Maui
Police Department
55 Mahalani Street
Wailuku, Hawai'i 96793
25. Milton Arakawa, Director
County of Maui
Department of Public Works
and Environmental Management
200 South High Street
Wailuku, Hawai'i 96793
26. Donald Medeiros, Director
County of Maui
Department of Transportation
200 South High Street
Wailuku, Hawai'i 96793

27. Jeffrey Eng, Director
County of Maui
Department of Water Supply
200 South High Street
Wailuku, Hawai'i 96793
28. Hawaiian Telcom
60 South Church Street
Wailuku, Hawai'i 96793
29. Neal Shinyama, Manager – Engineering
Maui Electric Company, Ltd.
P.O. Box 398
Kahului, Hawai'i 96733

APR 24 2007



REPLY TO
ATTENTION OF

DEPARTMENT OF THE ARMY
U. S. ARMY ENGINEER DISTRICT, HONOLULU
FT. SHAFTER, HAWAII 96858-5440

April 23, 2007

Regulatory Branch

File No. **POH-2007-155**

Munekiyo & Hiraga, Inc.
Attn: Ms. Rowena M. Dagdag
Myounghee Noh & Associates, LLC
305 High Street, Suite 104
Wailuku, Hawaii 96793

Dear Ms. Dagdag:

This responds to your Pre-Assessment Consultation letter dated April 10, 2007, for the proposed Improvements to the Binhi At Ani Community Center, Kahului, Maui, Hawaii (TMK 2-3-8-7:124). We have reviewed the project information you provided with respect to the Corps' authority to issue Department of the Army (DA) permits pursuant to Section 10 of the Rivers and Harbors Act of 1899 (33 USC 403) and Section 404 of the Clean Water Act (33 USC 1344).

All work or structures in or affecting the course, condition, location or capacity of navigable waters, including tidal wetlands, require DA authorization pursuant to Section 10. In addition, activities involving the discharge of dredged or fill material into waters of the United States, including adjacent wetlands, require a DA permit pursuant to Section 404.

Your letter, site plan, site photographs, and other available site information indicate that the project area consists entirely of uplands. Based on this understanding, I have determined that the project would not involve any activity in areas subject to the regulatory authority of the Corps; therefore, a DA permit will not be required.

Should you have questions concerning this determination, please contact Mr. Peter Galloway via e-mail (peter.c.galloway@usace.army.mil); by telephone at (808) 438-8416; or by fax at (808) 438-4060. Written inquiries should cite the file number above and be sent to: Regulatory Branch (CEPOH-EC-R/P. Galloway); U.S. Army Engineer District, Honolulu; Building 230; Fort Shafter, Hawaii 96858-5440.

Sincerely,


George P. Young, P.E.
Chief, Regulatory Branch

MAY 02 2007

LINDA LINGLE
GOVERNOR

PATRICIA HAMAMOTO
SUPERINTENDENT



STATE OF HAWAII
DEPARTMENT OF EDUCATION
P.O. BOX 2360
HONOLULU, HAWAII 96804

OFFICE OF THE SUPERINTENDENT

May 1, 2007

Mr. Rowena Dagdag, Planner
Munekiyo & Hiraga Inc.
305 High Street, Suite 104
Wailuku, Hawaii 96793

Dear Ms. Dagdag:

Subject: Early Consultation on Improvements to the Binhi
At Ani Community Center, Kahului, Maui

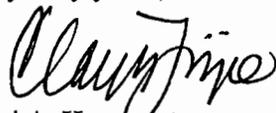
The Department of Education (DOE) will be interested in the Environmental Assessment (EA) of the Binhi At Ani Community Center (Center) as it is located directly across Onehee Street from Maui Waena Intermediate School.

We expect that the EA will describe the activities of the Community Center including estimated numbers of people gathering, the activities that will take place at the center, and the times these activities will take place. We would like to know if the expansion involves more activities on the site during school hours. We would also like to know if there is presently sufficient parking for the Center activities and how the expansion might affect parking.

Finally, please describe any traffic changes being considered. Any traffic studies conducted for the EA should take into consideration school-related traffic including students on foot or bicycle coming from, or going to, school.

We would appreciate information on these and any other possible impact the Center's expansion might have on the school. Thank you for the opportunity to raise these early considerations. If you have any questions, please call Heidi Meeker of the Facilities Development Branch at (808) 733-4862.

Very truly yours,


Patricia Hamamoto
Superintendent

PH:jmb

c: Randolph Moore, Assistant Superintendent, OBS
Duane Kashiwai, Public Works Administrator, FDB
Ken Nomura, Baldwin/Kekaulike/Maui Complex Areas



MICHAEL T. MUNEKIYO
GWEN OHASHI HIRAGA
MITSURU "MICH" HIRANO
KARLYNN FUKUDA

MARK ALEXANDER ROY
KYLE GINDOZA

June 19, 2008

Patricia Hamamoto, Superintendent
State of Hawai'i
Department of Education
P.O. Box 2360
Honolulu, Hawai'i 96804

SUBJECT: Proposed Expansion at Binhi At Ani Filipino Community Center,
TMK (2) 3-8-007:124, Kahului, Maui

Dear Ms. Hamamoto:

Thank you for your letter dated May 1, 2007 commenting on the subject project. On behalf of the applicant, Binhi At Ani, we wish to provide the following information in response to your comments in the order presented in the memorandum.

1. The Draft Environmental Assessment (EA) will describe the activities of the Binhi At Ani Filipino Community Center (BAFCC) and will include an estimate of the number of people who utilize the center during weekday and weekend events.
2. The proposed second story expansion to the BAFCC will offer much needed conference room space for small groups and organizations. The operations at the BAFCC during school hours are expected to remain the same.

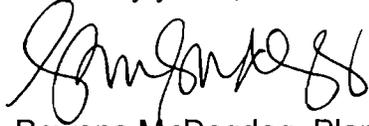
Parking is presently sufficient for BAFCC activities. Scheduling of meetings and activities at the BAFCC will be monitored to ensure that parking will be sufficient for the number of people gathered at the center. In some instances, however, additional parking is accommodated by the Maui Waena Intermediate School parking lot for activities that occur in the evenings or on the weekends when school is not in session. Those wishing to utilize the school's parking lot are required to complete an application form with the school and agree to all rules and regulations set by the Department of Education. On-street parking fronting the Binhi At Ani and Maui Waena Intermediate School is prohibited.

3. Operations at the BAFCC are expected to remain the same. Given the limited scope of the project, adverse effects to traffic are not anticipated.

Patricia Hamamoto, Superintendent
June 19, 2008
Page 2

A copy of the Draft Environmental Assessment will be provided to your office for review and comment. If there are any questions, please do not hesitate to call me at (808) 244-2015.

Very truly yours,



Rowena M. Dagdag, Planner

RMD:tn

cc: Norma Barroga, Binhi At Ani

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APR 23 2007

LINDA LINGLE
GOVERNOR
STATE OF HAWAII



MICAH A. KANE
CHAIRMAN
HAWAIIAN HOMES COMMISSION

BEN HENDERSON
DEPUTY TO THE CHAIRMAN

KAULANA H. PARK
EXECUTIVE ASSISTANT

STATE OF HAWAII
DEPARTMENT OF HAWAIIAN HOME LANDS

P.O. BOX 1879

HONOLULU, HAWAII 96805

April 19, 2007

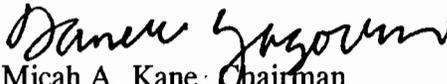
Ms. Rowena M. Dagdag, Planner
Munekiyo & Hiraga, Inc.
305 High Street, Suite 104
Wailuku, Hawaii 96793

Dear Ms. Dagdag:

Thank you for the opportunity to participate in the pre-assessment consultation phase of an environmental assessment for improvement renovations proposed by the Binhi at Ani organization on an existing community center in Kahului, Maui. The Department of Hawaiian Home Lands has no comments and future consultation on this project is not necessary.

Should you have any questions, please call the Planning Office at (808) 586-3836.

Aloha and mahalo,


Micah A. Kane, Chairman
Hawaiian Homes Commission

fu

LINDA LINGLE
GOVERNOR OF HAWAII



STATE OF HAWAII
DEPARTMENT OF HEALTH
P.O. BOX 3378
HONOLULU, HAWAII 96801-3378

MAY 15 2007

CHIYOME L. FUKINO, M.D.
DIRECTOR OF HEALTH

In reply, please refer to:
EMD / CWB

05035PKP.07

May 11, 2007

Ms. Rowena Dagdag
Planner
Munekiyo & Hiraga, Inc.
305 High Street, Suite 104
Wailuku, Hawaii 96793

Dear Ms. Dagdag:

Subject: Pre-Assessment Consultation Request for the Proposed Improvements to the Binhi At Ani Community Center, Kahului, Maui, Hawaii

The Department of Health, Clean Water Branch (CWB), has reviewed the subject document and offers these comments on your project. Please note that our review is based solely on the information provided in the subject document and its compliance with Hawaii Administrative Rules (HAR), Chapters 11-54 and 11-55. You may be responsible for fulfilling additional requirements related to our program. We recommend that you also read our standard comments on our website at <http://www.hawaii.gov/health/environmental/env-planning/landuse/CWB-standardcomment.pdf>.

1. Although it appears that National Pollutant Discharge Elimination System permit coverage is not required for this project, storm water discharges to State waters must comply with the State's Water Quality Standards.
2. Process wastewater discharges, including concrete and paint wash water, are strictly prohibited.
3. Noncompliance with water quality requirements contained in HAR, Chapter 11-54, and/or permitting requirements, specified in HAR, Chapter 11-55, may be subject to penalties of \$25,000 per day per violation.

Ms. Rowena Dagdag

May 11, 2007

Page 2

If you have any questions, please visit our website at <http://www.hawaii.gov/health/environmental/water/cleanwater/index.html>, or contact the Engineering Section, CWB, at (808) 586-4309.

Sincerely,

A handwritten signature in black ink that reads "Alec Wong". The signature is written in a cursive style with a large initial "A".

ALEC WONG, P.E., CHIEF
Clean Water Branch

KP:np



MICHAEL T. MUNEKIYO
GWEN OHASHI HIRAGA
MITSURU "MICH" HIRANO
KARLYNN FUKUDA

MARK ALEXANDER ROY
KYLE GINOZA

June 19, 2008

Alec Wong, P.E., Chief
State of Hawai'i
Clean Water Branch
Department of Health
P.O. Box 3378
Honolulu, Hawai'i 96801-3378

SUBJECT: Proposed Expansion at Binhi At Ani Filipino Community Center,
TMK (2) 3-8-007:124, Kahului, Maui

Dear Mr. Wong:

Thank you for your letter of May 11, 2007 responding to our request for early consultation comments for the proposed Binhi At Ani Filipino Community Center improvements at TMK (2) 3-8-007:124, Kahului, Maui. On behalf of the applicant, Binhi At Ani, we would like to provide the following information in response to your comments

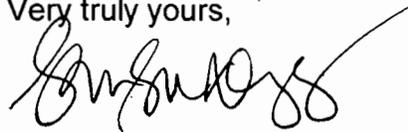
1. The applicant acknowledges that National Pollutant Discharge Elimination System (NPDES) permit coverage is not required for this project, but will comply with the requirements of the State's Water Quality Standards relating to storm water discharges.
2. The applicant notes your comment relating to the prohibition of process water discharges. Your comment letter will be forwarded to the project architect for their information in the planning of the proposed expansion.
3. The applicant understands and will comply with the requirements of Hawaii Administrative Rules (HAR), Sections 11-54 and 11-55.

Thank you again for your input. A copy of the Draft Environmental Assessment will be provided to your office for review and comments.

Alec Wong, P.E., Chief
June 19, 2008
Page 2

Please feel free to contact me, should you have any comments or questions at (808) 244-2015.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Rowena M. Dagdag', with a long, sweeping flourish extending to the right.

Rowena M. Dagdag, Planner

RMD:tn

cc: Norma Barroga, Binhi At Ani

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MAY 08 2007

LINDA LINGLE
GOVERNOR OF HAWAII



CHIYOME L. FUKINO, M. D.
DIRECTOR OF HEALTH

LORRIN W. PANG, M. D., M. P. H.
DISTRICT HEALTH OFFICER

STATE OF HAWAII
DEPARTMENT OF HEALTH
MAUI DISTRICT HEALTH OFFICE
54 HIGH STREET
WAILUKU, MAUI, HAWAII 96793-2102

May 7, 2007

Ms. Rowena Dagdag
Planner
Munekiyo & Hiraga, Inc.
305 High Street, Suite 104
Wailuku, Hawai'i 96793

Dear Ms. Dagdag:

Subject: **Pre-Assessment Consultation Request for Improvements to
the Binhi At Ani Community Center**
TMK: (2) 3-8-007: 124

Thank you for the opportunity to comment on the proposed improvements to the Binhi At Ani Community Center. The following comments are offered:

1. The noise created during the construction phase of the project may exceed the maximum allowable levels as set forth in Hawaii Administrative Rules (HAR), Chapter 11-46, "Community Noise Control". A noise permit may be required and should be obtained before the commencement of work.
2. HAR, Chapter 11-46 sets maximum allowable sound levels from stationary equipment such as compressors and HVAC equipment. The attenuation of noise from these sources may depend on the location and placement of these types of equipment. This should be taken into consideration during the planning, design, and construction of the building and installation of these types of equipment.

Should you have any questions, please call me at 808 984-8230.

Sincerely,

A handwritten signature in black ink, appearing to read "H. Matsubayashi".

Herbert S. Matsubayashi
District Environmental Health Program Chief



MICHAEL T. MUNEKIYO
GWEN OHASHI HIRAGA
MITSURU "MICH" HIRANO
KARLYNN FUKUDA

MARK ALEXANDER ROY
KYLE GINOZA

June 19, 2008

Herbert S. Matsubayashi, Chief
District Environmental Health Program
State of Hawai'i
Maui District Office
54 High Street
Wailuku, Hawai'i 96793

SUBJECT: Proposed Expansion at Binhi At Ani Filipino Community Center
TMK (2) 3-8-007:124, Kahului, Maui

Dear Mr. Matsubayashi:

Thank you for your letter of May 7, 2007 responding to our request for early consultation comments for the proposed expansion of the Binhi At Ani Filipino Community Center at TMK (2) 3-8-007:124, Kahului, Maui. On behalf of the applicant, Binhi At Ani, we would like to provide the following information in response to your comments.

1. The applicant acknowledges your comment regarding the possible need for a noise permit during construction. The Binhi At Ani will ensure that applicable permits are secured, prior to the start of construction.
2. The applicant acknowledges your comment in regards to maximum sound levels for stationary equipment. Your comment has been forwarded to the architect for their information in the planning and design of the proposed second story addition to the Binhi At Ani Filipino Community Center.

A copy of the Draft Environmental Assessment will be provided to your office for review and comment during the 30-day public review period.

Herbert S. Matsubayashi, Chief
June 19, 2008
Page 2

Please feel free to contact me should you have any comments or questions at 244-2015.

Very truly yours,



Rowena M. Dagdag, Planner

RMD:tn
cc: Norma Barroga, Binhi At Ani
F:\DATA\BinhiAtAni\CommCtrAdd\DOHdearesp.ltr.wpd

APR 17 2007

LINDA LINGLE
GOVERNOR OF HAWAII



STATE OF HAWAII
DEPARTMENT OF LAND AND NATURAL RESOURCES
LAND DIVISION

POST OFFICE BOX 621
HONOLULU, HAWAII 96809

PETER T. YOUNG
CHAIRPERSON
BOARD OF LAND AND NATURAL RESOURCES
COMMISSION ON WATER RESOURCE MANAGEMENT

ROBERT K. MASUDA
DEPUTY DIRECTOR

AQUATIC RESOURCES
BOATING AND OCEAN RECREATION
BUREAU OF CONVEYANCES
COMMISSION ON WATER RESOURCE MANAGEMENT
CONSERVATION AND COASTAL LANDS
CONSERVATION AND RESOURCES ENFORCEMENT
ENGINEERING
FORESTRY AND WILDLIFE
HISTORIC PRESERVATION
KAHOOLAWE ISLAND RESERVE COMMISSION
LAND
STATE PARKS

April 13, 2007

Munekiyō & Hiraga, Inc.
305 High Street Suite 104
Wailuku, Hawaii 96793

Attention: Ms. Rowena M. Dagdag

Gentlemen:

Subject: Pre-Assessment Consultation Request for the Proposed Improvements to the Binhi At Ani Community Center, Kahului, Maui, Tax Map Key; (2) 3-8-7:124

Thank you for the opportunity to review and comment on the subject matter. The Department of Land and Natural Resources has no comment to offer on the subject matter. Should you have any questions, please feel free to call our office at 587-0433. Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read "Russell Y. Tsuji".

Russell Y. Tsuji
Administrator

LINDA LINGLE
GOVERNOR



STATE OF HAWAII
DEPARTMENT OF TRANSPORTATION
869 PUNCHBOWL STREET
HONOLULU, HAWAII 96813-5097

MAY 03 2007
BARRY FUKUNAGA
INTERIM DIRECTOR

Deputy Directors
FRANCIS PAUL KEENO
BRENNON T. MORIOKA
BRIAN H. SEKIGUCHI

IN REPLY REFER TO:

STP 8.2470

April 30, 2007

Ms. Rowena M. Dagdag, Planner
Munekiyo & Hiraga, Inc.
305 High Street, Suite 104
Wailuku, Hawaii 96793

Dear Ms. Dagdag:

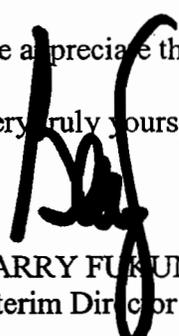
Subject: Binhi At Ani Community Center
Pre-Assessment Consultation for Proposed Improvements
TMK: (2) 3-8-007: 124

Thank you for your notification on the renovation plans for the subject community center.

The proposed renovation is not anticipated to affect our State highway facilities.

We appreciate the opportunity to provide comments.

Very truly yours,


BARRY FUKUNAGA
Interim Director of Transportation

APR 14 2007

CHARMAINE TAVARES
MAYOR



CARL M. KAUPALOLO
CHIEF

NEAL A. BAL
DEPUTY CHIEF

COUNTY OF MAUI
DEPARTMENT OF FIRE AND PUBLIC SAFETY
FIRE PREVENTION BUREAU

780 ALUA STREET
WAILUKU, HAWAII 96793
(808) 244-9161
FAX (808) 244-1363

April 14, 2007

Munekiyō & Hiraga, Inc.
Attention: Ms. Rowena M. Dagdag
305 High Street, Suite 104
Wailuku, HI 96793

Subject: Pre-Assessment Consultation Request for Binhi At Ani Community Center
(2)3-8-007:124 Onehee Avenue, Kahului, Maui

Dear Ms. Dagdag,

At this time, our office does not have any particular concerns regarding the future plans to expand the facility. Our office will look at the detailed plans during the building permit process.

We will be contacting the facility soon to schedule a regular fire inspection as required every two years. Please feel free to contact Lt. Scott English at 244-9161 if there are any questions or concerns regarding the future expansion.

Sincerely,

A handwritten signature in black ink, appearing to read "Valeriano F. Martin".

Valeriano F. Martin
Captain
Fire Prevention Bureau



MICHAEL T. MUNEKIYO
GWEN DHASHI HIRAGA
MITSURU "MICH" HIRANO
KARLYNN FUKUDA

MARK ALEXANDER ROY
KYLE GINOZA
June 19, 2008

Captain Valeriano F. Martin
County of Maui
Department of Fire and Public Safety
Fire Prevention Bureau
780 Alua Street
Wailuku, Hawai'i 96793

SUBJECT: Proposed Expansion at Binhi At Ani Filipino Community Center,
TMK (2) 3-8-007:124, Kahului, Maui

Dear Captain Martin:

Thank you for your letter dated April 14, 2007, commenting on the proposed expansion of the Binhi At Ani Filipino Community Center in Kahului Maui. The applicant acknowledges that your office will conduct a review of the project plans during the building permit process.

We will forward your letter to the Binhi At Ani Board of Directors who will coordinate the scheduling of a regular fire inspection at the center with your office.

Thank you again for your input. A copy of the Draft Environmental Assessment will be provided to your office for review and comment.

Please feel free to contact me, should you have any comments or questions at 244-2015.

Very truly yours,

Rowena M. Dagdag, Planner

RMD:tn

cc: Norma Barroga, Binhi At Ani

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CHARMAINE TAVARES
Mayor



MAY 02 2007
TAMARA HORCAJO
Director

ZACHARY Z. HELM
Deputy Director

(808) 270-7230
Fax (808) 270-7934

DEPARTMENT OF PARKS & RECREATION

700 Hali'a Nakoa Street, Unit 2, Wailuku, Hawaii 96793

April 20, 2007

Ms. Rowena M. Dagdag
Munekiyo & Hiraga, Inc.
305 High Street, Suite 104
Wailuku, HI 96793

Dear Ms. Dagdag:

SUBJECT: Pre-Assessment Consultation Request for the Proposed Improvements to the Binhi At Ani Community Center, TMK: 3-8-007:124, Kahului

We have no objections to the proposed actions and are in support of the project.

Thank you for the opportunity to review and comment. Please contact me or Mr. Patrick Matsui, Chief of Planning and Development, at 270-7387 if there are any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Tamara Horcajo".

TAMARA HORCAJO
Director of Parks and Recreation

Xc: Patrick Matsui, Chief of Planning and Development

TH:PM:do

CHARMAINE TAVARES
Mayor

MAY 18 2007

JEFFREY S. HUNT
Director

COLLEEN M. SUYAMA
Deputy Director



COUNTY OF MAUI
DEPARTMENT OF PLANNING

May 18, 2007

Ms. Rowena M. Dagdag
Munekiyo & Hiraga, Inc.
305 High Street, Suite 104
Wailuku, Hawaii 96793

Dear Ms. Dagdag:

RE: Pre-Assessment Consultation Comments in Preparation of a Draft Environmental Assessment for the Proposed Improvements to the Binhi At Ani Community Center, Located at TMK: 3-8-007:124, Kahului, Island of Maui, Hawaii (EAC 2007/0011)

The Maui Planning Department (Department) is in receipt of your request for pre-consultation comments regarding the proposed construction of a 2,150 square feet, second floor addition which will be utilized for a conference room and related amenities, as well as renovations to the existing first floor conference room and office areas.

Based on the foregoing, the Department provides the following comments:

1. The subject parcel has a State Land Use District designation of Urban, Community Plan designation of Public/Quasi-Public, and a Zoning District designation of P-1 Public/Quasi-Public;
2. The Maui Department of Parks and Recreation should be the accepting authority for Chapter 343, HRS compliance;
3. Discuss the existing parking capacity for the Community Center, and what impacts are foreseen in relation to on-site parking capacity with the second-floor addition.; and
4. Discuss what measures will be taken to mitigate construction-related impacts on the residential lots which abut the subject parcel to the north and west.

Ms. Rowena Dagdag
May 18, 2007
Page 2

Thank you for the opportunity to comment. Please include the Department on the distribution list for the Draft EA. Should you require further clarification, please contact Dan Shupack, Staff Planner at dan.shupack@mauicounty.gov or at 270-5517.

Sincerely,



JEFFREY S. HUNT, AICP
Planning Director

JSH:DBS:bg

c: Colleen M. Suyama, Deputy Planning Director
Clayton I. Yoshida, AICP, Planning Program Administrator
Dan Shupack, Staff Planner
Project File
General File
K:\WP_DOCS\PLANNING\EAC\2007\0011_BinhiAtAni_Improvements\PreConsultComments.wpd



MICHAEL T. MUNEKIYO
GWEN D. HIRAGA
MITSURU HIRAGA
KAROLYN FUKUDA

MARK ALEXANDER
KYLE GIBBS
June 24, 2008

Jeffrey Hunt, Director
County of Maui
Department of Planning
250 South High Street
Wailuku, Hawai'i 96793

**SUBJECT: Proposed Expansion at Binhi At Ani Filipino Community Center,
TMK (2) 3-8-007:124, Kahului, Maui**

Dear Mr. Hunt:

Thank you for your letter dated May 18, 2007 commenting on the subject project. On behalf of the applicant, Binhi At Ani, we wish to provide the following information in response to your comments in the order presented in the memorandum.

1. We acknowledge the land use designations and zoning for the subject parcel.
2. We have also acknowledged that the County of Maui, Department of Parks and Recreation will be the accepting authority for Chapter 343, HRS compliance;
3. The Binhi At Ani Filipino Community Center (BAFCC) currently provides 94 paved on-site parking stalls. The addition of a second floor conference room would require five (5) additional parking spaces. Maui Waena Intermediate School provides additional parking for BAFCC events of over 200 guests in the evening or on weekends.

A discussion regarding the existing parking capacity for the community center and impacts in relation to the second floor addition will be included in the Draft Environmental Assessment (EA).

4. Construction activities for the proposed action are limited to the second floor addition of the Binhi At Ani Filipino Community Center. Construction noise and associated fugitive dust are expected during this phase of work. Construction-related impacts on neighboring residential lots and mitigation measures regarding air quality and noise will be discussed and assessed in the Draft EA, as requested.

A copy of the Draft EA will be provided to your office for review and comment.

Jeffrey Hunt, Director
June 24, 2008
Page 2

Please feel free to contact me should you have any comments or questions at 244-2015.

Very truly yours,



Rowena M. Dagdag, Planner

RMD:tn

cc: Norma Barroga, Binhi At Ani

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TO : THOMAS PHILLIPS, CHIEF OF POLICE, COUNTY OF MAUI
VIA : CHANNELS
FROM : SCOTT Y. MIGITA, ADMINISTRATIVE SERGEANT, WAILUKU PATROL
SUBJECT : PRE-ASSESSMENT CONSULTATION REQUEST FOR THE PROPOSED IMPROVEMENTS TO THE BINHI AT ANI COMMUNITY CENTER: TMK (2)3-8-007:124, KAHULUI, MAUI, HAWAII

CONCUR WITH SGT. MIGITA
CONCERNS:
AC Wayne
04/26/07

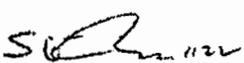
Sir, this transmittal is being submitted regarding a pre-assessment consultation comments in preparation of a Draft EA for the construction of a new second level addition and related floor renovations at the existing Binhi At Ani Community Center in Kahului. The existing community center building consists of approximately 11,063 square feet. The proposed project involves the construction of an approximately 2,150 square foot second floor addition used for a conference room and related amenities. This addition will require renovations to the existing first floor conference room and office areas.

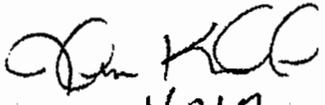
The issue of traffic and safety of the construction phase of this project would need to be addressed. A short term impact regarding an increase in traffic which involves transporting and lifting materials and equipment would need to be addressed along with the construction noise resulting from this project. In addition, the issue of parking of construction vehicles would need to take place as to create a minimum impact and not obstruct the flow of traffic on the main roadway. Construction noise and debris generated would also need to be considered as pedestrian and vehicular safety measures would need to be in place.

Another area which would need to be addressed once renovation is completed is adequate security and lighting. In addition, the issue of sound resulting from the use of the community center for gatherings which may affect the surrounding residential area must also be considered.

Submitted for your information and perusal.

Respectfully submitted,


Sgt. Scott Migita, E-1122
Administrative Sergeant, Wailuku Patrol
04/23/07 - 1800 hours

RECOMMENDATION MADE BY
SGT. MIGITA SHOULD BE
CONSIDERED.
A/CAPL. 
4/26/07



MICHAEL T. MUNEKIYO
GWEN D. HIRAGA
MITSURU HIROHITO HIRAGA
KAROLYN FUKUDA

MARK ALFONSO REYES
KYLE BERGHA

June 19, 2008

Thomas M. Phillips
Chief of Police
County of Maui
Police Department
55 Mahalani Street
Wailuku, Hawai'i 96793

**SUBJECT: Proposed Expansion at Binhi At Ani Filipino Community Center,
TMK (2) 3-8-007:124, Kahului, Maui**

Dear Chief Phillips:

Thank you for your letter of April 23, 2007 responding to our request for early consultation comments for the proposed expansion of the Binhi At Ani Filipino Community Center at TMK (2) 3-8-007:124, Kahului, Maui. On behalf of the applicant, Binhi At Ani, we would like to provide the following information in response to your comments.

1. The applicant acknowledges your comment regarding traffic and safety during the construction phase of this project. Construction activities for the project, which involve the lifting and transporting of materials and equipment, will be addressed in the Draft EA. Adequate on-site parking is provided for construction vehicles and no parking will be allowed on the main roadway.
2. Safety issues will be considered and planning consideration will be given to the issue of adequate security and lighting during evening activities. A copy of your comment letter will be forwarded to the officers and board of directors of the Binhi At Ani.
3. The applicant acknowledges your comment regarding sound resulting from the use of the community center. The proposed expansion will provide for an additional conference room that will be used for small gatherings and group meetings that do not require amplified sound. The proposed expansion is not anticipated to generate additional sound within the neighborhood.

A copy of the Draft Environmental Assessment will be provided to your office for review and comment during the 30-day public review period.

Thomas M. Phillips
June 19, 2008
Page 2

Please feel free to contact me, should you have any comments or questions at 244-2015.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Rowena M. Dagdag', written in a cursive style.

Rowena M. Dagdag, Planner

RMD:tn

cc: Norma Barroga, Binhi At Ani
F:\DATA\BinhiAtAni\CommCtrAdd\MPDdearesp.ltr.wpd

MAY 18 2007

CHARMAINE TAVARES
Mayor

MILTON M. ARAKAWA, A.I.C.P.
Director

MICHAEL M. MIYAMOTO
Deputy Director

Telephone: (808) 270-7845
Fax: (808) 270-7955



COUNTY OF MAUI
**DEPARTMENT OF PUBLIC WORKS
AND ENVIRONMENTAL MANAGEMENT**
200 SOUTH HIGH STREET, ROOM 322
WAILUKU, MAUI, HAWAII 96793

RALPH NAGAMINE, L.S., P.E.
Development Services Administration

DAVID TAYLOR, P.E.
Wastewater Reclamation Division

CARY YAMASHITA, P.E.
Engineering Division

BRIAN HASHIRO, P.E.
Highways Division

TRACY TAKAMINE, P.E.
Solid Waste Division

May 14, 2007

Ms. Rowena M. Dagdag
Munekiyo & Hiraga, Inc.
305 High Street, Suite 104
Wailuku, Maui, Hawaii 96793

Dear Ms. Dagdag:

**SUBJECT: PRE-ASSESSMENT CONSULTATION FOR DRAFT
ENVIRONMENTAL ASSESSMENT FOR BINHI AT ANI
COMMUNITY CENTER; TMK: (2) 3-8-007:124**

We reviewed the subject application and have the following comments:

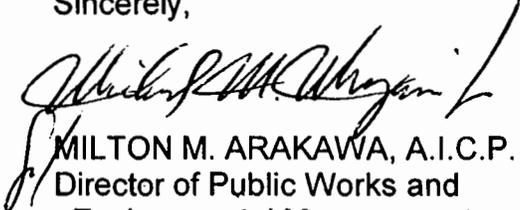
1. Although wastewater system capacity is currently available as of April 23, 2007, the developer should be informed that wastewater system capacity cannot be ensured until the issuance of the building permit.
2. Wastewater contribution calculations are required before building permit is issued.
3. Developer shall pay assessment fees for treatment plant expansion costs in accordance with ordinance setting forth such fees.
4. Plans should show the location of the existing sewer lateral and cleanout for the subject property.
5. Non-contact cooling water, condensate, etc. should not drain to the wastewater system.
6. Address construction waste recycling disposal.

Ms. Rowena M. Dagdag
May 14, 2007
Page 2

7. Road frontage improvements will be analyzed upon submittal of construction plans.

Please call Michael Miyamoto at 270-7845 if you have any questions regarding this letter.

Sincerely,



MILTON M. ARAKAWA, A.I.C.P.
Director of Public Works and
Environmental Management

MMA:MMM:jso
S:\LUCA\ICZM\Binhi_at_ani_draft_ea_38007124_ls.wpd



MICHAEL F. MUNEKIYO
ESQEN, D.E., P.E., P.E.N.C.E.
MEMBER OF THE HAWAIIAN
KAPUKAHOA BAR ASSOCIATION

MARK A. HIRAGA
REGISTERED PROFESSIONAL ENGINEER

June 19, 2008

Milton Arakawa, Director
Department of Public Works
County of Maui
200 South High Street
Wailuku, Hawai'i 96793

**SUBJECT: Proposed Expansion at Binhi At Ani Filipino Community Center
TMK (2) 3-8-007:124, Kahului, Maui**

Dear Mr. Arakawa:

Thank you for your memorandum of May 14, 2007 commenting on the subject project. On behalf of the applicant, Binhi At Ani, we wish to provide the following information in response to your comments in the order presented in your memorandum.

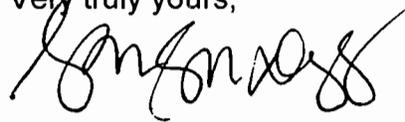
1. The applicant confirms wastewater system capacity cannot be ensured until the issuance of the building permit.
2. The applicant confirms wastewater calculations for the proposed project will be carried out by a licensed civil engineer and shall be submitted with the building permit application.
3. The applicant acknowledges and confirms the project will comply with the assessment fees for wastewater treatment plant expansion in accordance with the ordinance setting forth fees for the Kahului assessment area.
4. The applicant confirms that the construction plans will show the location of the existing sewer lateral and cleanout for the subject property.
5. The applicant confirms non-contact cooling water, condensate, etc. will not drain into the wastewater system.
6. The applicant acknowledges your comment regarding construction waste disposal and will coordinate with your department to develop a solid waste management plan for the disposal of construction waste generated by the project.

Milton Arakawa, Director
June 19, 2008
Page 2

7. The applicant confirms that the construction plans will show all road frontage improvements.
8. The applicant confirms that a detailed and final drainage report and Best Management Practices (BMP) Plan will be submitted with the grading plans for review and approval prior to the issuance of grading permits. The plans will comply with the provisions of the "Rules and Design of Storm Drainage Facilities in the County of Maui".

Thank you for your comments. A copy of the Draft Environmental Assessment will be provided to your office for review and comment during the 30-day public review period. Please feel free to contact me should you have any comments or questions at 244-2015.

Very truly yours,



Rowena M. Dagdag, Planner

RMD:tn

cc: Norma Barroga, Binhi At Ani
Cheryl Okuma, Department of Environmental Management

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Rowena Dagdag

From: Wayne Boteilho [Wayne.Boteilho@co.maui.hi.us]
Sent: Wednesday, April 18, 2007 2:29 PM
To: Rowena Dagdag
Cc: Don Medeiros
Subject: BINHI AT ANI

Thank you for consulting with the County Department of Transportation (DOT) seeking preliminary comment on the environmental assessment for the Binhi At Ani improvements.

At this time, the County DOT has no comments.

Again, thank you for the opportunity.

Wayne Boteilho, Deputy Director
Department of Transportation
County of Maui
200 S. High Street
Wailuku, HI 96793

Phone: (808) 270-5563
Fax: (808) 270-7505

MAY 1 2007

CHARMAINE TAVARES
MAYOR



JEFFREY K. ENG
DIRECTOR
ERIC H. YAMASHIGE, P.E., L.S.
DEPUTY DIRECTOR

**DEPARTMENT OF WATER SUPPLY
COUNTY OF MAUI
200 SOUTH HIGH STREET
WAILUKU, MAUI, HAWAII 96793-2155
Telephone (808) 270-7816 • Fax (808) 270-7833**

May 9, 2007

Ms. Rowena M. Dagdag, Planner
Munekiyo & Hiraga, Inc.
305 High Street, Suite 104
Maui, Hawaii 96793

Subject: Pre-Assessment Consultation Request for the Proposed Improvements to the Binhi at Ani Community Center, TMK: 3-8-007:124

Dear Ms. Dagdag:

This is in response to your letter of April 10, 2007. We have the following comments:

Source Availability and Consumption

The project area is served by the Central Maui System. The Community Center is served by a 1 ½ inch water meter. The Environmental Assessment (EA) should include the potable and non-potable demand for the proposed expansion. Domestic calculations will be required in building permit process to determine meter adequacy. There is currently no restriction on obtaining meters in Central Maui. However, larger meter, if needed, may not be available until new sources are on-line.

System Infrastructure

The property is fronted by an 18-inch waterline and two fire hydrants. Fire flow calculations will be required in the building permit process.

Conservation

A conservation checklist for commercial buildings is enclosed for the applicant's reference. We recommend that the following conservation measures be included in the project design and implemented to alleviate demand on the Central Maui system:

Use brackish and/or reclaimed water sources for irrigation and all non-potable water uses where available.

Eliminate Single-Pass Cooling: Single-pass, water-cooled systems should be eliminated per Maui County Code Subsection 14.21.20. Although prohibited by code, single-pass water cooling is still

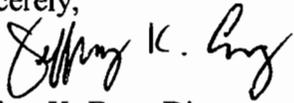
By Water All Things Find Life

Rowena M. Dagdag
Page 2

manufactured into some models of air conditioners, freezers, and commercial refrigerators.
Utilize Low-Flow Fixtures and Devices: Maui County Code Subsection 16.20A.680 requires the use of low-flow water fixtures and devices in faucets, showerheads, urinals, water closets, and hose bibs. Water conserving washing machines, ice-makers and other units are also available.
Maintain Fixtures to Prevent Leaks: A simple, regular program of repair and maintenance can prevent the loss of hundreds or even thousands of gallons a day.

Should you have any questions, please contact our Water Resources and Planning Division at 244-8550.

Sincerely,



Jeffrey K. Eng, Director
emb

c: engineering division

attachment:

A Checklist of Water Conservation Ideas for Commercial Buildings

C:\WPdocs\EA EIS SLUD\Binhi At Ani Community Center Pre EA.wpd

A Checklist of Water Conservation Ideas For

Commercial Buildings

This checklist provides water conservation tips successfully implemented by industrial and commercial users. This list has been revised from the original copy first published and distributed by the Los Angeles Department of Water and Power.

General suggestions

Increase employee awareness of water conservation.

Install signs encouraging water conservation in employee and customer restrooms.

When cleaning with water is necessary, use budgeted amounts.

Determine the quantity and purpose of water being used.

Read water meter weekly to monitor success of water conservation efforts.

Assign an employee to monitor water use and waste.

Seek employee suggestions on water conservation; put suggestion boxes in prominent areas.

Determine other methods of water conservation.

Building maintenance

Check water supply for leaks.

Turn off any unnecessary flows.

Repair dripping faucets and showers and continuously running or leaking toilets.

Install faucet aerators where possible.

Reduce toilet water use by adjusting flush valves or installing dams and flapper mechanisms.

As appliances or fixtures wear out, replace them with water-saving models.

Shut off water supply to equipment rooms not in use.

Minimize the water used in cooling equipment in accordance with manufacturers recommendations. Shut off cooling units when not needed.

Cafeteria area

Turn off continuous flow used to clean the drain trays.

Turn off dishwasher when not in use. Wash full loads only.

Use water from steam tables to wash down cooking area.

Do not use running water to melt ice or frozen foods.

Use water-conserving ice makers.



MICHAEL T. MUNEKIYO
GWEN OHNISHI HIRAGA
MITSURU "MICKY" HIRANO
KARLYN L. FUKUDA

MARK A. FARRER, III
TERRY GREENE

June 19, 2008

Jeffrey Eng, Director
County of Maui
Department of Water Supply
200 South High Street
Wailuku, Hawai'i 96793

SUBJECT: Proposed Expansion at Binhi At Ani Filipino Community Center,
TMK (2) 3-8-007:124, Kahului, Maui

Dear Mr. Eng:

Thank you for your letter dated May 9, 2007 commenting on the subject project. On behalf of the applicant, Binhi At Ani, we wish to provide the following information in response to your comments.

The applicant, Binhi At Ani, confirms that the proposed expansion will not include the installation of additional water fixtures. An update to the engineering report will be prepared by a certified engineer and will include water use calculations. Your letter will be forwarded to the applicant for review and possible incorporation of water conservation measures into project design and construction plans.

A copy of the Draft Environmental Assessment will be provided to your office for review and comment. If there are any questions, please do not hesitate to call me at 244-2015.

Very truly yours,

Rowena M. Dagdag, Planner

RMD:tn

cc: Norma Barroga, Binhi At Ani

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environment
planning
government

Hawaiian Telcom ●

April 17, 2007

Munekiyo & Hiraga, Inc.
305 South High Street Suite 104
Wailuku, Maui, Hawaii 96793

ATTN: Ms. Rowena M. Dagdag

SUBJECT: Pre- Assessment Binhi Ani Community Center Station

Dear Ms. Dagdag;

Thank you for the opportunity to comment on the proposed Binhi Ani Community Center Renovation.

Hawaiian Telcom Inc. has no comment on this project at this time, but would like to remind your client that there are working telephone facilities contained within the first floor of this building that must be protected from damage. Please call 643-4411 if you need to have these lines disconnected or relocated.

If there are any questions, please call me at (808) 242-5107.

Sincerely,



Tom Hutchison
Engineer, IP – OSP Engineering

C: BICS; 0704-028 File



MICHAEL T. MUNEKIYO
GUYTON LEE HIRAGA
MITSUBUHI HIRAGA
KAPUNIAU, HAWAII

MARK ALLEN DODD, III
KAPUNIAU, HAWAII
June 19, 2008

Tom Hutchison
Hawaiian Telcom
60 Church Street
Wailuku, Hawai'i 96793

SUBJECT: Proposed Expansion at Binhi At Ani Filipino Community Center,
TMK (2) 3-8-007:124, Kahului, Maui

Dear Mr. Hutchison:

Thank you for your letter dated April 17, 2007 commenting on the proposed expansion of the Binhi At Ani Filipino Community Center in Kahului, Maui. We will be forwarding your letter to the project engineer who will coordinate with your office to verify the need to disconnect or relocate the telephone facilities located in the building.

Thank you again for your input. A copy of the Draft Environmental Assessment will be provided to your office for review and comment.

Should you have any questions, please do not hesitate to call me at 244-2015.

Very truly yours,

Rowena M. Dagdag, Planner

RMD:tn

cc: Norma Barroga, Binhi At Ani

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MAY 01 2007

Maui Electric Company, Ltd. • 210 West Kamehameha Avenue • PO Box 398 • Kahului, Maui, HI 96733-6898 • (808) 871-8461



April 30, 2007

Munekiyo & Hiraga, Inc.
Attn: Ms. Rowena M. Dagdag
305 High Street, Suite 104
Wailuku, Hawaii 96793

Dear Ms. Dagdag,

Subject: Pre-Assessment Consultation Request for the Proposed Improvements to the Binhi at Ani Community Center
Kahului, Maui, Hawaii
TMK: (2) 3-8-007:124

Thank you for allowing us to comment on the Pre-Assessment Consultation Request for the subject project.

In reviewing our records and the information received, Maui Electric Company (MECO) has no objection to the project at this time. However, we highly encourage the customer's electrical consultant to submit the electrical demand requirements and project time schedule as soon as practical so that any upgrade of electrical service can be provided on a timely basis.

Should you have any other questions or concerns, please call Ray Okazaki at 871-2340.

Sincerely,

A handwritten signature in black ink, appearing to read "Neal Shinyama". The signature is fluid and cursive, written over a white background.

Neal Shinyama
Manager, Engineering

NS/ro:lh



MICHAEL T. MUNEKIYO
GWEN OHASHI HIRAGA
MITSURU "MICH" HIRANO
KARLYNN FUKUDA

MARK ALEXANDER RUIY
KYLE BINDZA

June 19, 2008

Greg Kauhi, Manager
Customer Operations
Maui Electric Company
210 West Kamehameha Avenue
Kahului, Hawai'i 96733

SUBJECT: Proposed Expansion at Binhi At Ani Filipino Community Center
TMK (2) 3-8-007:124, Kahului, Maui

Dear Mr. Kauhi:

Thank you for your letter dated April 30, 2007 commenting on the proposed expansion of the Binhi At Ani Filipino Community Center in Kahului, Maui. We will be forwarding your letter to the project's electrical engineer who will coordinate with your office to verify the electrical demand requirements and project's time schedule in preparation for any potential upgrade of electrical service.

Thank you again for your input. A copy of the Draft Environmental Assessment will be provided to your office for review and comment. Should you have any questions, please do not hesitate to call me at 244-2015.

Very truly yours,

Rowena M. Dagdag, Planner

RMD:tn

cc: Norma Barroga, Binhi At Ani

F:\DATA\BinhiAtAni\CommCtrAdd\MECOdearesp.ltr.wpd

**X. AGENCIES
CONSULTED DURING THE
REVIEW OF THE DRAFT
ENVIRONMENTAL
ASSESSMENT; LETTERS
RECEIVED AND
RESPONSES TO
SUBSTANTIVE
COMMENTS**

X. AGENCIES CONSULTED DURING THE REVIEW OF THE DRAFT ENVIRONMENTAL ASSESSMENT; LETTERS RECEIVED AND RESPONSES TO SUBSTANTIVE COMMENTS

The following agencies were consulted during review of the Draft Environmental Assessment (EA). Agency comments and responses to substantive comments are included herein.

1. Ranae Ganske-Cerizo, Soil Conservationist
Natural Resources Conservation Service
U.S. Department of Agriculture
210 Imi Kala Street, Suite 209
Wailuku, Hawai'i 96793-2100
2. George Young
Chief, Regulatory Branch
U.S. Department of the Army
U.S. Army Engineer District, Honolulu
Regulatory Branch
Building 230
Fort Shafter, Hawai'i 96858-5440
3. Gordon Furutani, Field Office Director
U. S. Department of Housing and Urban
Development
500 Ala Moana Boulevard, Suite 3A
Honolulu, Hawai'i 96813-4918
4. Patrick Leonard
Field Supervisor
U. S. Fish and Wildlife Service
300 Ala Moana Blvd., Rm. 3-122
Box 50088
Honolulu, Hawai'i 96813
5. Patricia Port
U. S. Department of Interior
Regional Environmental Officer
Environmental Policy and Compliance
Oakland Region
Jackson Center One
1111 Jackson Street, Suite 520
Oakland, California 94607
6. Theodore E. Liu, Director
State of Hawai'i
Department of Business, Economic Development
& Tourism
P.O. Box 2359
Honolulu, Hawai'i 96804
7. Patricia Hamamoto, Superintendent
State of Hawai'i
Department of Education
P.O. Box 2360
Honolulu, Hawai'i 96804
8. Heidi Meeker
Planning Section
Office of Business Services
Department of Education
809 Eighth Avenue
Honolulu, Hawai'i 96816
- cc: Ken Nomura, Complex Area
Superintendent (Central/Upcountry Maui)
9. Micah Kane, Chairman
Department of Hawaiian Home Lands
P. O. Box 1879
Honolulu, Hawai'i 96805
10. Chiyome Fukino, M.D., Director
State of Hawai'i
Department of Health
919 Ala Moana Blvd., Room 300
Honolulu, Hawai'i 96814

11. Alec Wong, P.E., Acting Chief
Clean Water Branch
State of Hawai'i
Department of Health
919 Ala Moana Blvd., Room 300
Honolulu, Hawai'i 96814
12. Herbert Matsubayashi
District Environmental Health
Program Chief
State of Hawai'i
Department of Health
54 High Street
Wailuku, Hawai'i 96793
13. Laura Thielen, Chairperson
State of Hawai'i
Department of Land and Natural
Resources
P. O. Box 621
Honolulu, Hawai'i 96809
14. Dr. Puaalaokalani Aiu, Administrator
State of Hawai'i
Department of Land and Natural
Resources
State Historic Preservation Division
601 Kamokila Blvd., Room 555
Kapolei, Hawai'i 96707
15. Brennon Morioka, Director
State of Hawai'i
Department of Transportation
869 Punchbowl Street
Honolulu, Hawai'i 96813

cc: Fred Cajigal
16. Katherine Kealoha, Director
Office Of Environmental Quality Control
235 S. Beretania Street, Suite 702
Honolulu, Hawai'i 96813
17. Clyde Namu'o, Administrator
Office of Hawaiian Affairs
711 Kapiolani Boulevard, Suite 500
Honolulu, Hawai'i 96813
18. Abbey Seth Mayer, Director
State of Hawai'i
Office of Planning
P.O. Box 2359
Honolulu, Hawai'i 96804
19. Gen Inuma, Administrator
Maui Civil Defense Agency
200 South High Street
Wailuku, Hawai'i 96793
20. Jeffrey Murray, Fire Chief
County of Maui
Department of Fire
and Public Safety
200 Dairy Road
Kahului, Hawai'i 96732
21. Vanessa A. Medeiros, Director
County of Maui
Department of Housing and
Human Concerns
200 South High Street
Wailuku, Hawai'i 96793
22. Tamara Horcajo, Director
County of Maui
Department of Parks and Recreation
700 Halia Nakoia Street, Unit 2
Wailuku, Hawai'i 96793
23. Jeffrey Hunt, Director
County of Maui
Department of Planning
250 South High Street
Wailuku, Hawai'i 96793
24. Thomas Phillips, Chief
County of Maui
Police Department
55 Mahalani Street
Wailuku, Hawai'i 96793
25. Milton Arakawa, Director
County of Maui
Department of Public Works
and Environmental Management
200 South High Street
Wailuku, Hawai'i 96793
26. Cheryl Okuma, Director
County of Maui
Department of Environmental Management
2200 Main Street, Suite 176
Wailuku, Hawai'i 96793

27. Donald Medeiros, Director
County of Maui
Department of Transportation
200 South High Street
Wailuku, Hawai'i 96793
28. Jeffrey Eng, Director
County of Maui
Department of Water Supply
200 South High Street
Wailuku, Hawai'i 96793
29. Hawaiian Telcom
60 South Church Street
Wailuku, Hawai'i 96793
30. Neal Shinyama, Manager – Engineering
Maui Electric Company, Ltd.
P.O. Box 398
Kahului, Hawai'i 96733

SEP 15 2008



United States Department of the Interior

FISH AND WILDLIFE SERVICE
Pacific Islands Fish and Wildlife Office
300 Ala Moana Boulevard, Room 3-122, Box 50088
Honolulu, Hawaii 96850



In Reply Refer To:
2008-TA-0260

Ms. Tamara Horcajo
County of Maui
Department of Parks and Recreation
700 Halia Nakoa Street, Unit 2
Wailuku, Hawaii 96793

SEP 11 2008

Subject: Request for Technical Assistance for Proposed Binhi At Ani Filipino Community Center Expansion Project, Kahului, Maui

Dear Ms. Horcajo:

We received a July 3, 2008, letter from Munekiyo & Hiraga, Inc. requesting our review of a draft environmental assessment addressing expansion of the existing Binhi At Ani Filipino Community Center in Kahului, Maui. We received your request on July 7, 2008. Based on the project information you provided and pertinent information in our files, including data compiled by the Hawaii Biodiversity and Mapping Program, the threatened Newell's shearwater (*Puffinus auricularis newelli*) and endangered Hawaiian petrel (*Pterodroma phaeopygia sandwichensis*) (collectively referred to as seabirds) and endangered Hawaiian goose (*Branta sandvicensis*) are known to occur and use habitats within the vicinity of the proposed project. We recommend you address potential project impacts to these listed species and include measures to minimize adverse impacts to these resources in your project plans. We provide the following recommendations to incorporate into your final environmental assessment:

- Seabirds may traverse the area at night during the breeding season (February 1 through December 15) and construction equipment, signs, poles, and other structures associated with the project could pose a flight obstacle to individual seabirds. Any outdoor lighting, particularly when used during each year's peak fledging period (September 15 through December 15), could result in seabird disorientation, fallout, and injury or mortality. Potential impacts to seabirds should be minimized by shielding outdoor lights associated with the project, avoiding night-time construction, and providing all project staff with information about seabird fallout. All existing and planned lights, including street lights, should be shielded so the bulb can be seen only from below.
- The endangered Hawaiian goose may be attracted to ditches and mowed grass areas in the project area, increasing their vulnerability to collision with vehicles and their exposure to domesticated animal predators. If the Hawaiian goose is attracted to the

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project area, you should contact our office for additional information regarding actions to address potential impacts to this species.

- We recommend using native plants for landscaping purposes in order to reduce the spread of non-native invasive species. If native plants do not meet your landscaping objectives, we recommend that you choose species that are thought to have a low risk of becoming invasive. The following websites are good resources to use when choosing landscaping plants: Pacific Island Ecosystems at Risk (<http://www.hear.org/Pier/>), Hawaii-Pacific Weed Risk Assessment (http://www.botany.hawaii.edu/faculty/daehler/wra/full_table.asp) and Global Compendium of Weeds (www.hear.org/gcw).

If you determine the proposed project may adversely impact federally listed species, please contact our office for further assistance. If you have questions or would like additional information, please contact Consultation and Technical Assistance Program Fish and Wildlife Biologist, Dawn Greenlee (phone: 808-792-9400; fax: 808-792-9581).

Sincerely,

A handwritten signature in black ink, appearing to read "Patrick Leonard", with a long horizontal flourish extending to the right.

for Patrick Leonard
Field Supervisor

cc: Ms. Rowena Dagdag, Munekiyo & Hiraga, Inc.

Rowena Dagdag

From: Michael_Molina@fws.gov
Sent: Thursday, June 26, 2008 11:02 AM
To: Rowena Dagdag
Cc: Patrice_Ashfield@fws.gov
Subject: Early Consultation Letter Request for Binhi At Ani Community Center Renovation



BMPs-USFWS
1-31-08).pdf (11 K..

Rowena :

I've reviewed your request for early consultation on the renovation project. The attached file contains a list of Best Management Practices we recommend be considered for the project. Not all recommendations in the list may be applicable, but we request you incorporate those that do into project planning. In addition, if any towers, antennas, and associated lighting are being planned for the new roof of the structure, we recommend you consider ways to minimize potential impacts to over-flying seabirds and request you contact us or the State of Hawaii Division of Forestry and Wildlife for further advice. If you contact us further on this particular project, please refer to our tracking number 12200-2008-FA-0133. Thanks for the opportunity to comment.

(See attached file: BMPs-USFWS (1-31-08).pdf)

Michael Molina
Coastal Conservation Coordinator
U.S. Fish and Wildlife Service, Pacific Islands 300 Ala Moana Blvd., Room 3122, Box 50088
Honolulu, Hawaii 96850
Tel: (808) 792-9440 Fax: (808) 792-9581
Email: michael_molina@fws.gov

**US Fish and Wildlife Service
Recommended Standard Best Management Practices**

The Fish and Wildlife Service recommends that the following measures be incorporated into projects to minimize the degradation of water quality and impacts to fish and wildlife resources:

- a. Turbidity and siltation from project-related work shall be minimized and contained to within the vicinity of the site through the appropriate use of effective silt containment devices and the curtailment of work during adverse tidal and weather conditions;
- b. dredging/filling in the marine environment shall be scheduled to avoid coral spawning and recruitment periods;
- c. dredging and filling in the marine/aquatic environment shall be designed to avoid or minimize the loss special aquatic site habitat (coral reefs, wetlands etc.) and the unavoidable loss of such habitat shall be compensated for;
- d. all project-related materials and equipment (dredges, barges, backhoes etc) to be placed in the water shall be cleaned of pollutants prior to use;
- e. no project-related materials (fill, revetment rock, pipe etc.) should be stockpiled in the water (intertidal zones, reef flats, stream channels, wetlands etc.);
- f. all debris removed from the marine/aquatic environment shall be disposed of at an approved upland or ocean dumping site;
- g. no contamination (trash or debris disposal, alien species introductions etc.) of adjacent marine/aquatic environments (reef flats, channels, open ocean, stream channels, wetlands etc.) shall result from project-related activities;
- h. fueling of project-related vehicles and equipment should take place away from the water and a contingency plan to control petroleum products accidentally spilled during the project shall be developed. Absorbent pads and containment booms shall be stored on-site, if appropriate, to facilitate the clean-up of accidental petroleum releases;
- i. any under-layer fills used in the project shall be protected from erosion with stones (or core-loc units) as soon after placement as practicable; and
- j. any soil exposed near water as part of the project shall be protected from erosion (with plastic sheeting, filter fabric etc.) after exposure and stabilized as soon as practicable (with vegetation matting, hydroseeding etc.).

The Fish and Wildlife Service believes that incorporation of these measures into projects will greatly minimize the potential for project-related adverse impacts to fish and wildlife resources.



MICHAEL T. MUNEKIYO
GWEN OHASHI HIRAGA
MITSURU "MICK" HIRANO
KARLINA FUKUDA

MARK ALEXANDER REY
KYLE BRUZA

December 11, 2008

Patrick Leonard, Field Supervisor
U.S. Fish and Wildlife Service
300 Ala Moana Blvd., Rm. 3-122, Box 50088
Honolulu, Hawai'i 96813

**SUBJECT: Proposed Binhi At Ani Filipino Community Center Expansion Project,
Kahului, Maui**

Dear Mr. Leonard:

Thank you for your letter dated September 11, 2008 (Reference No. 2008-TA-0260) commenting on the subject Draft Environmental Assessment. On behalf of the applicant, Binhi At Ani, we wish to provide the following information in response to your comments regarding potential impacts to endangered and threatened species known to occur within the vicinity of the project area:

1. The applicant confirms that existing lighting at the project site is shielded. Proposed outdoor lighting will also be shielded so the bulb is not visible at or above bulb height. In addition, there will be no night construction associated with the community center expansion project. Construction will occur during daytime hours. Information about seabird fallout will be provided to all staff working onsite prior to initiation of work. The applicant and/or its contractor will coordinate with your office to ensure that appropriate content is included in the distribution materials regarding seabird fallout.
2. The applicant acknowledges the potential for encountering the endangered Hawaiian goose at the project site. Should the Hawaiian goose be found at the project site, the Fish and Wildlife Service will be contacted immediately for instructions on addressing potential impacts to this species.
3. The applicant acknowledges your comments to utilize native and non-invasive plants in the project landscaping. The recommendation presented in your letter will be forwarded to the applicant for review and incorporation into future landscape design and plans.

Patrick Leonard, Field Supervisor
December 11, 2008
Page 2

4. The applicant also acknowledges receipt of an e-mail from Michael Molina on June 26, 2008, providing comments to the proposed project and a list of Recommended Standard Best Management Practices (BMPs). BMPs recommended by the U.S. Fish and Wildlife Service will be implemented as applicable, to address potential impacts to native flora and avifauna.

We appreciate the input received from your office. Should you have any questions, please do not hesitate to contact me at (808) 244-2015.

Very truly yours,



Rowena Dagdag, Planner

RD:tn

cc: Tamara Horcajo, Department of Parks and Recreation
Norma Barroga, Binhi At Ani
Roger Madariaga, Binhi At Ani

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STATE OF HAWAII
DEPARTMENT OF EDUCATION
P.O. BOX 2360
HONOLULU, HAWAII 96804

OFFICE OF THE SUPERINTENDENT

July 17, 2008

Ms. Tamara Horcajo, Director
County of Maui
Department of Parks and Recreation
700 Halia Nako Street, Unit 2
Wailuku, Hawaii 96793

Dear Ms. Horcajo:

Subject: Draft Environmental Assessment for Proposed Binhi At
Ani Filipino Community Center Expansion Project
Kahului, Maui, Hawaii, TMK (2) 3-8-007:124

The Department of Education has reviewed the Draft Environmental Assessment (DEA) for the construction of a conference hall at the Binhi At Ani Filipino Community Center.

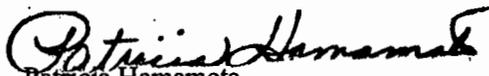
The DEA states in Section B. Proposed Action, on page 9, paragraph 3, that the hours of operation for the conference room will be 8:00 AM to 5:00 PM. In Section C. Project Need, on page 9 it states the center has limited hours of operation from 7:00 AM to 1:00 PM for day events and from 2:00 PM to 10:00 PM for evening events. In Section D. Infrastructure, b. Potential Impacts and Mitigation Measures, on page 29, it states use of the conference room "will generally not coincide with peak hours of weekday traffic."

We have concerns that traffic generated by the conference hall will impact students coming to or leaving Maui Waena Intermediate School. We are also concerned that the current 94 parking spaces at the center will be inadequate after the conference hall is completed.

As discussed in our early consultation response letter of May 1, 2007, we would like to see a description of the activities that would take place in the conference hall, the times of these activities and an estimate of the maximum number of people who would be using the facilities of the center during school hours. The information provided in the DEA is contradictory and unclear.

If you have any questions, please call Heidi Meeker of our Facilities Development Branch at (808) 377-8301.

Very truly yours,


Patricia Hamamoto
Superintendent

PH:jmb

c: Randolph Moore, Assistant Superintendent, OSFSS
Duane Y. Kashiwai, Public Works Administrator, FDB
Bruce Anderson, CAS, Baldwin/King Kekaulike/Maui High Complex Areas
✓ Rowena Dagdag, Planner, Munekiyo & Hiraga, Inc.



MICHAEL T. MUNEKIYO
GWEN OHASHI HIRAGA
MITSURU "MICH" HIRANO
KARLYNN FUKUDA

MARK ALEXANDER ROY
KYLE GINOUZA

December 11, 2008

Patricia Hamamoto
State of Hawai'i
Department of Education
P.O. Box 2360
Honolulu, Hawai'i 96804

**SUBJECT: Binhi At Ani Filipino Community Center Expansion Project, Kahului,
Maui, Hawai'i TMK (2) 3-8-007:124**

Dear Ms. Hamamoto:

Thank you for your letter dated July 17, 2008 to Ms. Tamara Horcajo, Director of the Department of Parks and Recreation, commenting on the subject project. On behalf of the applicant, the Binhi At Ani, we wish to provide the following information in response to your comments in the order presented in your letter.

1. The hours of operation at the Binhi At Ani Community Center are between 7:00 a.m. and 10:00 p.m. Members of the public are allowed to use the large hall and outdoor pavilion during those hours.

Kaunoa Senior Services, a division of the County of Maui Department of Housing and Human Concerns, holds congregate meal programs on Mondays and Wednesdays at the Binhi At Ani. The program is staffed by approximately five (5) employees and serves approximately thirty (30) seniors each day during the hours of 10:00 a.m. to 1:00 p.m. Seniors who participate in the meal program rely on group transportation to and from the Binhi At Ani Center offered by Maui Economic Opportunity or the Maui Bus, or carpool in personal vehicles.

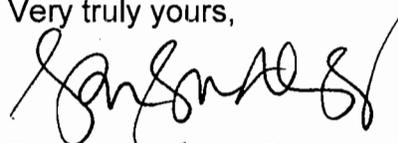
The Binhi At Ani understands your concern regarding traffic generation during school hours. The Binhi At Ani anticipates that the conference room will be used for small classes, workshops, lectures, and seminars during normal workday hours of groups up to 50 individuals. Larger groups will require the use of the large hall. The proposed conference room will be made available to the public during during the hours of 8:00 a.m. to 5:00 p.m. Scheduling of functions and activities within the conference room and the large hall will be monitored to ensure that there is no

excess of people utilizing the center for events and activities, and that there is sufficient onsite parking made available during these hours.

2. The Final EA will be revised in Section B. Proposed Action to provide a description of the proposed activities that would take place in the conference hall, as well as an estimate of the maximum number of people using the facilities during school hours. As previously stated, the conference room will be made available on weekdays between the hours of 8:00 a.m. to 5:00 p.m.

Thank you once again for your comments. Should you have any questions, please do not hesitate to call me at 244-2015.

Very truly yours,



Rowena Dagdag, Planner

RD:tn

cc: Tamara Horcajo, Department of Parks and Recreation
Norma Barroga, Binhi At Ani
Roger Madariaga, Binhi At Ani

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AUG 06 2008

LINDA LINGLE
GOVERNOR OF HAWAII



CHIYOME L. FUKINO, M. D.
DIRECTOR OF HEALTH

LORRIN W. PANG, M. D., M. P. H.
DISTRICT HEALTH OFFICER

STATE OF HAWAII
DEPARTMENT OF HEALTH
MAUI DISTRICT HEALTH OFFICE
54 HIGH STREET
WAILUKU, MAUI, HAWAII 96793-2102

August 5, 2008

Ms. Rowena Dagdag
Munekiyo & Hiraga, Inc.
305 South High Street, Suite 104
Wailuku, Hawai'i 96793

Dear Ms. Dagdag:

Subject: **Draft Environmental Assessment for Proposed Binhi At Ani
Filipino Community Center Expansion Project**
TMK: (2) 3-8-007: 124

Thank you for the opportunity to comment on the Draft Environmental Assessment for the expansion of the Binhi At Ani Filipino Community Center. Comments from this office were submitted during the early consultation process. The comments were adequately addressed. We have no further comments to offer at this time.

It is strongly recommended that the Standard Comments found at the Department's website: <http://hawaii.gov/health/environmental/env-planning/landuse/landuse.html> be reviewed, and any comments specifically applicable to this project should be adhered to.

Should you have any questions, please call me at 808 984-8230.

Sincerely,

A handwritten signature in black ink, appearing to read "H. Matsubayashi".

Herbert S. Matsubayashi
District Environmental Health Program Chief

c: Tamara Horcajo
EPO



MICHAEL T. MUNEKIYO
GWEN OHASHI HIRAGA
MITSURU "MICH" HIRANO
KARLYNN FUKUDA

MARK ALEXANDER ROY
KYLE SINGZA

December 11, 2008

Herbert S. Matsubayashi
District Environmental Health Program Chief
Department of Health
State of Hawai'i
54 High Street
Wailuku, Hawai'i 96793

SUBJECT: Binhi At Ani Filipino Community Center Expansion Project, Kahului,
Maui, Hawai'i TMK (2) 3-8-007:124

Dear Mr. Matsubayashi:

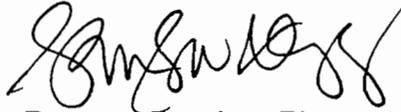
Thank you for your letter dated August 5, 2008 commenting on the subject's Draft Environmental Assessment.

As requested, standard comments to the State Department of Health have been reviewed and comments specifically applicable to this project will be adhered to. In this regard, we note that coordination will be carried out with the Noise, Radiation & Indoor Air Quality Branch regarding the need for an application for a noise permit during construction. As required by the Clean Air Branch, Best Management Practices (BMPs) will also be carried out to control fugitive dust during construction activities. We also want to note that a solid waste management plan will be developed for the disposal of construction waste material generated by the subject project, as applicable.

Herbert S. Matsubayashi
December 11, 2008
Page 2

Thank you again for your comments. Should you have any questions, please do not hesitate to call me at 244-2015.

Very truly yours,



Rowena Dagdag, Planner

RD:tn

cc: Tamara Horcajo, Department of Parks and Recreation
Norma Barroga, Binhi At Ani
Roger Madariaga, Binhi At Ani
Kirk Tanaka, R.T. Tanaka Engineers, Inc.

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AUG 1 2 2008

LINDA LINGLE
GOVERNOR OF HAWAII



CHIYOME L. FUKINO, M.D.
DIRECTOR OF HEALTH

STATE OF HAWAII
DEPARTMENT OF HEALTH
P.O. Box 3378
HONOLULU, HAWAII 96801-3378

In reply, please refer to:
EPO-08-118

August 7, 2008

Mr. Rowena Dagdag
Munekiyo & Hiraga, Inc.
305 High Street, Suite 104
Wailuku, Hawaii 96793

Dear Mr. Dagdag:

SUBJECT: Draft Environmental Assessment for Proposed Binhi At Ani Filipino Community
Center Expansion Project, Kahului, Maui, Hawaii
TMK: (2) 3-8-007: 124

Thank you for allowing us to review and comment on the subject document. We have no additional comments at this time. We strongly recommend that you review all of the Standard Comments on our website: <http://www.hawaii.gov/health/environmental/env-planning/index.html>. Any comments specifically applicable to this project should be adhered to.

If there are any questions about these comments please contact Jiakai Liu with the Environmental Planning Office at 586-4346.

Sincerely,

KELVIN H. SUNADA, MANAGER
Environmental Planning Office

c: EPO
EH-Maui



MICHAEL T. MUNEKIYO
GWEN OHASHI HIRAGA
MITSURU "MICH" HIRANO
KARLYNN FUKUDA

MARK ALEXANDER ROY
KYLE GINZA

December 11, 2008

Kelvin Sunada, Manager
State of Hawai'i
Department of Health
P.O. Box 3378
Honolulu, Hawai'i 96801-3378

**SUBJECT: Binhi At Ani Filipino Community Center Expansion Project, Kahului,
Maui, Hawai'i TMK (2) 3-8-007:124**

Dear Mr. Sunada:

Thank you for your letter dated August 7, 2008 commenting on the subject project. On behalf of the applicant, the Binhi At Ani, we wish to provide the following information in response to your comments in the order presented in the memorandum.

As requested, standard comments to the State Department of Health will be reviewed and comments specifically applicable to this project will be adhered to.

Thank you again for your comments. Should you have any questions, please do not hesitate to call me at 244-2015.

Very truly yours,

Rowena Dagdag, Planner

RD:tn

cc: Tamara Horcajo, Department of Parks and Recreation
Norma Barroga, Binhi At Ani
Roger Madariaga, Binhi At Ani

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PHONE (808) 594-1888

FAX (808) 594-1865



STATE OF HAWAII
OFFICE OF HAWAIIAN AFFAIRS
711 KAPI'OLANI BOULEVARD, SUITE 500
HONOLULU, HAWAII 96813

HRD08/2988B

August 6, 2008

Tamara Horcajo
County of Maui
Department of Parks and Recreation
Munekiyo & Hiraga, Inc.
700 Halia Nakoa Street, Unit 2
Wailuku, Hawai'i 96793

RE: Draft Environmental Assessment for Proposed Binhi At Ani Filipino Community Center Expansion Project, Kahului, Maui, Hawai'i, TMK (2) 3-8-007:124.

Aloha e Tamara Horcajo,

The Office of Hawaiian Affairs (OHA) is in receipt of the above-mentioned letter dated July 3, 2008. A Draft Environmental Assessment (DEA) for the proposed Binhi At Ani Filipino Community Center Expansion Project has been transmitted for review. The approving agency for this review is the Department of Parks and Recreation, County of Maui. OHA has reviewed the project and offers the following comments.

Pursuant to Chapter 343, Hawaii Revised Statutes, the proposed expansion project at the Binhi At Ani Filipino Community Center includes the construction of a second story conference hall and related improvements involving the installation of an elevator for persons with disabilities. The proposed project calls for the excavation of footings to structurally support the construction of the second floor addition.

According to the research and findings of the archeological assessment report and interview with Mrs. Dumayas, the DEA cites that it is anticipated that the proposed project will not have an impact on cultural resources (page 22). However, in the discussion of the proposed project's relationship to its consistency with the consistency with the Coastal Zone Management Act, pursuant to Chapter 205A, Hawaii Revised Statutes, it states that the project area has been previously disturbed in connection with the development of the existing structure.

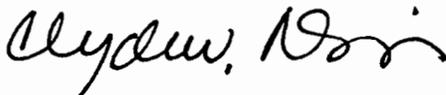
The development of an Archeological Monitoring Plan associated with this proposed project leads us to the conclusion that there is a high likelihood to impact historic and cultural resources within the project area. OHA is deeply concerned with the continued impact toward iwi kūpuna which have been disturbed in the past. Although previous archeological monitoring in this area has produced no burials, we recommend that extreme caution be exercised in order to mitigate any potential impacts toward iwi kūpuna.

The proposed project area is located amidst a geographic region that is known for its sand dunes. The DEA cites the project area as being within Pulehu-Ewa-Jaucas soil with the specific soil type being Puuone Sand. A pu'uone is the Hawaiian word for sand dune. It was a common practice for Native Hawaiians to bury their kūpuna in sand. Numerous battles have occurred in the Wailuku district of Maui. The place name Wailuku itself refers to the "water of slaughter." Accounts of numerous battles in the 'Īao and Wailuku areas have been documented. Therefore, it is no coincidence or surprise that numerous burials have been unearthed during the urbanization and development of Wailuku and Kahului in the recent years.

We request the applicant's assurances that should iwi kūpuna or Native Hawaiian cultural or traditional deposits be found during the construction of the project, work will cease, and the appropriate agencies will be contacted pursuant to applicable law.

Thank you for the opportunity to comment. If you have further questions, please contact Jason Jeremiah by phone at (808) 594-1816 or e-mail him at jasonj@oha.org.

'O wau iho nō me ka 'oia'i'o,



Clyde W. Nāmu'o
Administrator

C: OHA Maui CRC Office

✓ Rowena Dagdag, Planner
Munekiyo & Hiraga, Inc.
305 High Street, Suite 104
Wailuku, Hawai'i 96793



MICHAEL T. MUNEKIYO
GWEN OHASHI HIRAGA
MITSURU "MICH" HIRANO
KARLYNN FUKUDA

MARK ALEXANDER ROY
KYLLE GINJOZA

December 11, 2008

Clyde Namu`o
State of Hawai`i
Office of Hawaiian Affairs
711 Kapiolani Boulevard, Suite 500
Honolulu, Hawai`i 96813

SUBJECT: Binhi At Ani Filipino Community Center Expansion Project, Kahului,
Maui, Hawai`i TMK (2) 3-8-007:124

Dear Mr. Namu`o:

Thank you for your letter dated August 6, 2008 to Ms. Tamara Horcajo, Director of the Department of Parks and Recreation, commenting on the subject project. On behalf of the applicant, the Binhi At Ani, we wish to provide the following information in response to your comments in the order presented in the memorandum.

The applicant notes that archaeological work previously conducted at the project site has resulted in the identification and documentation of subsurface features. Based on previous archaeological work, and the likelihood that additional burial features may be present within the project area, an Archaeological Monitoring Plan was prepared and submitted to the State Historic Preservation Division (SHPD) for review and comment.

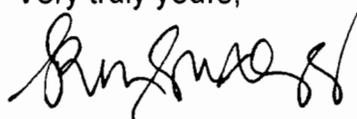
The Archaeological Monitoring Plan prepared by Archaeological Services Hawaii was accepted by the SHPD on May 30, 2008. A copy of SHPD's letter regarding the acceptance of the Archaeological Monitoring Plan is provided as Exhibit "A". Full-time archaeological monitoring will be implemented at the project site during all ground altering activities associated with the construction work.

Should any archaeological remains or cultural materials be encountered during construction activities, all work in the vicinity of the find will cease and be reported and protected from additional disturbance. The SHPD and the Maui/Lanai Island Burial Council will be contacted to establish appropriate mitigation measures in accordance with the approved Archaeological Monitoring Plan and with Chapter 6E, Hawaii Revised Statutes.

Clyde Namu`o
December 11, 2008
Page 2

We appreciate the input we received from your office. Should you have any questions, please do not hesitate to contact me at (808) 244-2015.

Very truly yours,



Rowena Dagdag, Planner

RD:tn
Attachment

cc: Tamara Horcajo, Department of Parks and Recreation
Norma Barroga, Binhi At Ani
Roger Madariaga, Binhi At Ani
Lisa Rotunno-Hazuka, Archaeological Services Hawaii

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LINDA LINGLIE
GOVERNOR OF HAWAII



RECEIVED

JUN 09 2008

BY: _____



STATE OF HAWAII
DEPARTMENT OF LAND AND NATURAL RESOURCES

STATE HISTORIC PRESERVATION DIVISION
601 KAMOKILA BOULEVARD, ROOM 555
KAPOLEI, HAWAII 96707

LAURA H. THELEN
CHAIRPERSON
BOARD OF LAND AND NATURAL RESOURCES
COMMISSION ON WATER RESOURCE MANAGEMENT

RUSSELL V. TSUJI
FIRST DEPUTY

KEN C. KAWAHARA
DEPUTY DIRECTOR - WATER

AQUATIC RESOURCES
BOATING AND OCEAN RECREATION
BUREAU OF CONSERVATION
COMMISSION ON WATER RESOURCE MANAGEMENT
CONSERVATION AND COASTAL LANDS
CONSERVATION AND RESOURCES ENFORCEMENT
ENGINEERING
FORESTRY AND WILDLIFE
HISTORIC PRESERVATION
KAHOOLAWE ISLAND RESERVATION COMMISSION
LAND
STATE PARKS

May 30, 2008

Jeffrey Pantaleo, M.A.
Archaeological Services Hawai'i, LLC
1930 A Vineyard Street
Wailuku, Hawai'i 96793

LOG NO: 2008.1925
DOC NO: 0805PC46
Archaeology

Dear Mr. Pantaleo:

**SUBJECT: Chapter 6E-42 Historic Preservation Review –
Archaeological Monitoring Plan for the Maui Filipino Community Center
Wailuku Ahupua'a, Wailuku District, Island of Maui
TMK: (2) 3-8-007: 124**

Thank you for the opportunity to review this plan, which our staff received on April 30, 2008 (Rotunno-Hazuka and Pantaleo 2008): *Archaeological Monitoring Plan for the Proposed Addition of a Second Floor at Maui Filipino Community Center...* Archaeological Services Hawai'i, LLC.

The plan was prepared in advance of a recommendation from our office that monitoring should occur as a precautionary measure during ground altering activities associated with a proposed second floor addition to the community center because of the known presence of human skeletal remains from 12 individuals and the identification of both *in situ* and partially *in situ* burial features containing the remains of 11 individuals, as well as several possible burial pits (SIHP #50-50-04-5088).

The plan states that monitoring will occur during all ground altering activity associated with the proposed work because of the likelihood that "remnant subsurface features may be present below the parking lot" where the footings for the proposed second floor addition will be excavated (Rotunno-Hazuka and Pantaleo 2008:1).

As specified in the plan, there will be one archaeological monitor on site for each piece of ground disturbing equipment in use, a coordination meeting with the construction crew and all other pertinent parties to explain monitoring procedures and that the monitoring archaeologist has the authority to halt work in the vicinity of a culturally significant find will be undertaken. The plan further states that in the event human remains are inadvertently exposed, both the SHPD and Maui/Lana'i Islands Burial Council (MLIBC) will be notified and appropriate burial protocol followed. A report detailing the findings of the monitoring will be prepared and submitted to our office for review within 180 days after the completion of the project.

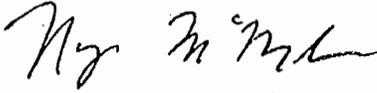
The plan contains the required information as specified in HAR §13-279-4(a) regarding monitoring plans in general and is acceptable.

EXHIBIT A

Jeffrey Pantaleo, M.A.
Page 2

If you have any questions or comments regarding this letter, please contact Patty Conte
(Patty.J.Conte@hawaii.gov).

Aloha,

A handwritten signature in black ink, appearing to read "Nancy McMahon". The signature is fluid and cursive, with the first name "Nancy" written in a larger, more prominent script than the last name "McMahon".

Nancy McMahon, Deputy SHPO/State Archaeologist
State Historic Preservation Division

c: Jeff Hunt, Director, Dept. of Planning, 250 S. High Street, Wailuku, Hawai'i 96793
Lance Nakamura, Engineer, DPWEM, 250 S. High Street, Wailuku, Hawai'i 96793
Maui CRC, Dept. of Planning, 250 S. High Street, Wailuku, Hawai'i 96793

JUL 15 2008

LINDA LINGLE
GOVERNOR OF HAWAII



LAURA H. THIELEN
CHAIRPERSON
BOARD OF LAND AND NATURAL RESOURCES
COMMISSION ON WATER RESOURCE MANAGEMENT



STATE OF HAWAII
DEPARTMENT OF LAND AND NATURAL RESOURCES
LAND DIVISION

POST OFFICE BOX 621
HONOLULU, HAWAII 96809

July 11, 2008

County of Maui
Department of Parks & Recreation
700 Halia Nakoia Street Unite 2
Wailuku, Hawaii 96793

Attention: Ms. Tamara Horcajo

Gentlemen:

Subject: Draft environmental assessment for proposed Binhi at Ani Filipino
Community Center Expansion Project, Kahulu, Maui, Tax Map Key; (2)
3-8-7:124

Thank you for the opportunity to review and comment on the subject matter. The Department of Land and Natural Resources' (DLNR) has no other comments to offer on the subject matter. Should you have any questions, please feel free to call our office at 587-0433. Thank you.

Sincerely,


for Morris M. Atta
Administrator

Cc: Munekiyo & Hiraga, Inc.



STATE OF HAWAII
DEPARTMENT OF LAND AND NATURAL RESOURCES

STATE HISTORIC PRESERVATION DIVISION
601 KAMOKILA BOULEVARD, ROOM 555
KAPOLEI, HAWAII 96707

LAURA H. THIELEN
CHAIRPERSON
BOARD OF LAND AND NATURAL RESOURCES
COMMISSION ON WATER RESOURCE MANAGEMENT

RUSSELL Y. TSUJI
FIRST DEPUTY

KEN C. KAWABARA
DEPUTY DIRECTOR - WATER

AQUATIC RESOURCES
BOATING AND OCEAN RECREATION
BUREAU OF CONVEYANCES
COMMISSION ON WATER RESOURCE MANAGEMENT
CONSERVATION AND COASTAL LANDS
CONSERVATION AND RESOURCES ENFORCEMENT
ENGINEERING
FORESTRY AND WILDLIFE
HISTORIC PRESERVATION
KAHOOLAWE ISLAND RESERVE COMMISSION
LAND
STATE PARKS

August 25, 2008

Ms. Tamara Horcajo
County of Maui, Department of Parks and Recreation
700 Halia Nakoia Street, Unit 2
Wailuku, Hawai'i 96793

LOG NO: 2008.2820
DOC NO: 0808JP20
Archaeology

Dear Ms. Horcajo:

**SUBJECT: Chapter 6E Historic Preservation Review [County/Planning/Parks] –
Consultation Request and Draft Environmental Assessment (EA) for
Proposed Binhi At Ani Filipino Community Center Expansion Project
Wailuku Ahupua'a, Wailuku District, Island of Maui
TMK (2) 3-8-007:124 (Portion)**

Thank you for the opportunity to review and comment on the Draft EA for the proposed expansion project. The submittal was originally received by our staff on July 7, 2008. Our review is based on reports, maps, and aerial photographs maintained at the State Historic Preservation Division (SHPD). We apologize for the delay of this review.

The proposed subject action involves plans for Binhi At Ani, (a non-profit charitable organization), to construct a second story addition and related first floor improvements to the existing Binhi At Ani Filipino Community Center (BAFCC). The subject parcel consists of a total area of approximately 2 acres. We understand the proposed work involves approximately 2,011 square feet. The expansion and improvement project was initiated in November 2006 and involves State funding. The subject area is located within the inland Aeolian sand dunes of Central Maui in Kahului; along Onehee Drive, south of the Onehee Drive and Papa Avenue intersection. Throughout the past several years, archaeological mitigation has occurred on the subject parcel including monitoring, salvage recovery, data recovery, and preservation procedures.

The proposed project involves the construction of a second story conference hall on the west wing of the existing facility. Construction plans include new storage rooms for supplies on the first and second floors. Improvements will also include the installation of an elevator. Modification of the existing first floor conference room and office space will support the addition of the second story conference room. Proposed footings for the second story addition will be excavated in the existing parking lot.

Archaeological Services Hawai'i (ASH) previously conducted archaeological work on the subject parcel and identified disarticulated scatters of human skeletal remains representing 12 individuals; and the identification of both *in situ* and partially *in situ* human burial features representing 11 individuals. There were also several possible burial pits identified. One State Inventory of Historic Places number was issued for the burial features (SIHP #50-50-04-5088). Because of the significant findings, the landowner re-

Ms. Tamara Horcajo
Page 2

designed the building and retaining walls. In addition, the number of parking stalls was reduced to accommodate preservation in place for most of the primary in-tact burial features.

Full-time archaeological monitoring has been recommended for the proposed BAFCC expansion project. Archaeological monitoring will occur during all ground altering activities associated with the construction work based on the likelihood that previously unidentified subsurface cultural features may be inadvertently encountered during the project.

An Archaeological Monitoring Plan, prepared by ASH, was accepted by our office (LOG NO: 2008.1925/ DOC NO: 0805PC25). We believe any effect the proposed project may have on possible cultural features will be mitigated, provided the specified conditions of the accepted Archaeological Monitoring Plan are implemented. If there are any concerns or questions, please feel free to contact the Maui SHPD at (808) 243-4640, (808) 243-4641 or (808)243-1285.

Aloha,



Nancy McMahon
Historic Preservation Manager
State Historic Preservation Division

JP:

c: Ms. Rowena M. Dagdag at Munekiyo & Hiraga, Inc. FAX (808) 244-8729
Ms. Lisa Rotunno-Hazuka at ASH FAX (808)
Dept of Planning, FAX (808) 270-7634
Maui Cultural Resources Commission, Dept. of Planning, 250 S. High Street, Wailuku, HI 96793



MICHAEL T. MUNEKIYO
GWEN OHASHI HIRAGA
MITSURU "MICH" HIRANO
KARLYNN FUKUDA

MARK ALEXANDER ROY
KYLE GINDZA

December 11, 2008

Nancy McMahon
Historic Preservation Manager
State of Hawai'i
Department of Land and Natural Resources
State Historic Preservation Division
601 Kamokila Boulevard, Room 555
Kapolei, Hawai'i 96707

SUBJECT: Chapter 6E Historic Preservation Review [County/Planning/Parks]-
Consultation Request and Draft Environmental Assessment (EA) for
Proposed Binhi At Ani Filipino Community Center Expansion Project
Wailuku Ahupua`a, Wailuku District, Island of Maui TMK (2) 3-8-
007:124 (Por.)

Dear Ms. McMahon:

Thank you for your letter dated August 25, 2008 (LOG NO: 2008.2820 and Document No. 0808JP20) commenting on the subject's Draft Environmental Assessment. On behalf of the applicant, Binhi At Ani, we wish to provide the following information in response to your comments.

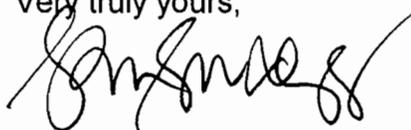
As recommended, archaeological monitoring will be undertaken for the proposed action in accordance with the accepted Archaeological Monitoring Plan prepared by Archaeological Services Hawai'i (LOG NO: 2008.1925/DOC NO: 0805PC25).

Should any archaeological remains or cultural materials be encountered during construction activities, all work in the vicinity of the find will cease and be reported and protected from additional disturbance. The State Historic Preservation Division (SHPD) and the Maui/Lanai Island Burial Council will be contacted to establish appropriate mitigation measures in accordance with the approved Archaeological Monitoring Plan and with Chapter 6E, Hawai'i Revised Statutes.

Nancy McMahon, Historic Preservation Manager
December 11, 2008
Page 2

Thank you again for your comments. Should you have any questions or require additional information, please to not hesitate to call me at 244-2015.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Rowena Dagdag', written in a cursive style.

Rowena Dagdag, Planner

RD:tn

cc: Tamara Horcajo, Department of Parks and Recreation
Norma Barroga, Binhi At Ani
Roger Madariaga, Binhi At Ani
Lisa Rotunno-Hazuka, Archaeological Services Hawai'i

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AUG 06 2008

LINDA LINGLE
GOVERNOR



BRENNON T. MORIOKA
DIRECTOR

Deputy Directors
MICHAEL D. FORMBY
FRANCIS PAUL KEENO
BRIAN H. SEKIGUCHI

STATE OF HAWAII
DEPARTMENT OF TRANSPORTATION
869 PUNCHBOWL STREET
HONOLULU, HAWAII 96813-5097

IN REPLY REFER TO:

STP 8.2959

August 4, 2008

Ms. Rowena Dagdag
Munekiyo & Hiraga, Inc.
305 High Street, Suite 104
Wailuku, Hawaii 96793

Dear Ms. Dagdag:

Subject: Binhi At Ani Filipino Community Center Expansion
Draft Environmental Assessment (Draft EA)
TMK: 3-8-007: 124

Thank you for requesting the Department of Transportation's (DOT) review of the subject project.

The proposed project to expand the Binhi At Ani Filipino Community Center will not significantly impact any State highway facilities.

The DOT appreciates the opportunity to provide comments.

Very truly yours,

A handwritten signature in black ink, appearing to be "B. Morioka".

BRENNON T. MORIOKA, PH.D., P.E.
Director of Transportation

c: Tamara Horcajo, Maui Department of Parks and Recreation



DEPARTMENT OF
HOUSING AND HUMAN CONCERNS
COUNTY OF MAUI

JUL 16 2008
CHARMAINE TAVAR
Mayor
VANESSA A. MEDEIROS
Director
LORI TSUHAJ
Deputy Director

200 SOUTH HIGH STREET • WAILUKU, HAWAII 96793 • PHONE (808) 270-7805 • FAX (808) 270-7165 • EMAIL director.hhc@mauicounty.gov

July 15, 2008

Ms. Tamara Horcajo, Director
County of Maui
Department of Parks and Recreation
700 Halia Nakoia Street, Unit 2
Wailuku, HI 96793

Dear Director Horcajo:

**SUBJECT: DRAFT ENVIRONMENTAL ASSESSMENT FOR PROPOSED
BINHI AT ANI FILIPINO COMMUNITY CENTER EXPANSION PROJECT,
KAHULUI, MAUI, HAWAII
TMK: (2) 3-8-007:124**

Thank you for the opportunity to comment on the above subject matter.

We note that the Binhi At Ani Community Center is located within a residential area and across from an intermediate school—an area frequented by walkers and bikers of all ages and capacities. The proposed renovation and improvements provide for increased meeting and storage space to accommodate increased usage and an additional 134 persons.

We find that the proposed draft environmental assessment fails to address two potential post-construction traffic impacts—specifically:

1. how the increased traffic that will result from the anticipated increased usage and numbers of persons the facility intends to serve will be mitigated; and
2. whether additional on-site parking stalls are required or are being provided for this expansion.

Again, thank you for the opportunity to comment.

Sincerely,

VANESSA A. MEDEIROS
Director of Housing and Human Concerns

xc: Rowena Dagdag, Munekiyo & Hiraga, Inc. ✓
Housing Division
Early Childhood Resource Center
Maui County Office on Aging
Senior Services Division



MICHAEL T. MUNEKIYO
GWEN DHASHI HIRAGA
MITSURU "MICH" HIRANO
KARLYNN FUKUDA

MARK ALEXANDER ROY
KYLE GINZA

December 12, 2008

Ms. Lori Tsuhako
County of Maui
Department of Housing and Human Concerns
200 South High Street
Wailuku, Hawai'i 96793

SUBJECT: Binhi At Ani Filipino Community Center Expansion Project, Kahului,
Maui, Hawaii TMK (2) 3-8-007:124

Dear Ms. Tsuhako:

A letter from the Department of Housing and Human Concerns was transmitted to Ms. Tamara Horcajo, Director of the Department of Parks and Recreation, on July 15, 2008, commenting on the subject project. On behalf of the applicant, the Binhi At Ani, we wish to provide the following information in response to your comments in the order presented in the memorandum.

1. The Binhi At Ani estimates that approximately 35 Seniors and County employees from the Kaunoa Senior Program utilize the center's main hall for activities on Mondays and Wednesdays. The Binhi At Ani anticipates that the conference room will be used for small classes, workshops, lectures, and seminars of up to 50 people during normal workday hours, between the hours of 8:00 a.m. and 5:00 p.m.

Traffic volumes are anticipated to remain the same. This is primarily due to the fact that Seniors who attend the weekday programs at the Binhi At Ani often rely on group transportation, such as those offered by Maui Economic Opportunity and the Maui Bus.

Binhi At Ani does not anticipate an overflow of people using the hall and the conference rooms during the same time. The scheduling of functions and activities within the conference room and the large hall will be monitored to ensure that there is no excess of people utilizing the center for events and activities during school hours or when activities at the school is in session. There is sufficient parking located on the property to use either the hall or the conference rooms for purposes described above during the weekdays and during school hours.

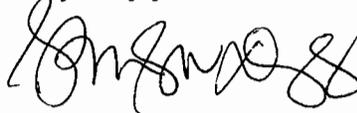
Ms. Lori Tsuhako
December 12, 2008
Page 2

2. The applicant understands that the Maui County Off-Street Parking Ordinance requires the provision of 20 additional parking stalls for the community center addition. Spatial constraints and the preservation of burial sites located on the property, however, limit the provision for additional on-site parking stalls within the property. As such, the applicant requested a variance from the requirements of the Maui County Off-Street Parking Ordinance and was recently granted this variance in December 2008.

Currently, there are ninety-four (94) existing parking stalls and one (1) loading zone located on the property. Binhi At Ani and Maui Waena Intermediate School also have an agreement whereby the Binhi At Ani has access to and can use the school's parking lot on weekends, after school hours and when there are no functions or activities occurring on the school campus. The school provides an additional 90 parking stalls for evening and weekend events when school or school activities are not in session.

Thank you once again for your comments. Should you have any questions, please do not hesitate to call me at 244-2015.

Very truly yours,



Rowena Dagdag, Planner

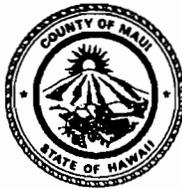
RD:tn

cc: Tamara Horcajo, Department of Parks and Recreation
Norma Barroga, Binhi At Ani
Roger Madariaga, Binhi At Ani

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JUL 21 2008

CHARMAINE TAVARES
Mayor



TAMARA HORCAJO
Director

ZACHARY Z. HELM
Deputy Director

(808) 270-7230
Fax (808) 270-7934

DEPARTMENT OF PARKS & RECREATION

700 Hali'a Nako'a Street, Unit 2, Wailuku, Hawaii 96793

July 16, 2008

Munekiyo & Hiraga, Inc.
Attention: Rowena Dagdag
305 High Street, Suite 104
Wailuku, Hawaii 96793

**SUBJECT: Draft Environmental Assessment for Proposed
Binhi At Ani Filipino Community Center Expansion Project
TMK (2) 3-8-007: 124
Kahului, Maui, Hawai'i**

Dear Ms. Dagdag:

Thank you for the opportunity to review and comment on the subject project.

The Department of Parks and Recreation has no comment at this time, and is in support of the project.

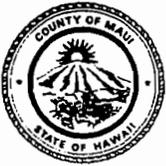
Please feel free to contact me or Cheryl Akiona, Capital Improvements Project Coordinator, at 270-7388 should you have any questions.

Sincerely,

A handwritten signature in black ink that reads "Tamara Horcajo". The signature is written in a cursive style.

TAMARA HORCAJO
Director

cc: Patrick Matsui, Chief of Parks Planning and Development
Cheryl Akiona, Capital Improvements Project Coordinator



COPY
POLICE DEPARTMENT
 COUNTY OF MAUI



CHARMAINE TAVARES
 MAYOR

55 MAHALANI STREET
 WAILUKU, HAWAII 96793
 (808) 244-6400
 FAX (808) 244-6411

THOMAS M. PHILLIPS
 CHIEF OF POLICE

GARY A. YABUTA
 DEPUTY CHIEF OF POLICE

OUR REFERENCE
 YOUR REFERENCE

July 17, 2008

MEMORANDUM

TO : TAMARA HORCAJO, DIRECTOR
 DEPARTMENT OF PARKS AND RECREATION

FROM : THOMAS M. PHILLIPS, CHIEF OF POLICE

SUBJECT : DRAFT ENVIRONMENTAL ASSESSMENT FOR PROPOSED
 BINHI AT ANI FILIPINO COMMUNITY CENTER EXPANSION
 PROJECT, KAHULUI, HAWAI'I TMK: (2) 3-8-007:124

No recommendation or comment to offer.

Refer to enclosed comments and/or recommendations.

Thank you for giving us the opportunity to comment on this project.

Assistant Chief Wayne T. Ribao
 For: THOMAS M. PHILLIPS
 Chief of Police

Enclosure

c: ✓Rowena Dagdag, Munekiyo & Hiraga, Inc.
 Jeffrey Hunt, Maui County Planning Department

COPY

TO : THOMAS PHILLIPS, CHIEF OF POLICE, COUNTY OF MAUI
VIA : CHANNELS
FROM : STEPHEN ORIKASA, ADMINISTRATIVE SERGEANT,
WAILUKU PATROL DIVISION
SUBJECT : RESPONSE TO REQUEST FOR COMMENTS REGARDING DRAFT
ENVIRONMENTAL ASSESSMENT FOR PROPOSED BINHI AT ANI
FILIPINO COMMUNITY CENTER EXPANSION PROJECT

CONCUR: [Signature]
AG [Signature]
07/14/08

This communication is submitted as a response to a request for comments by Munekiyo & Hiraga, Inc., Planner, Rowena Dagdag, regarding the following subject;

SUBJECT : Draft Environmental Assessment for Proposed Binhi At Ani
Filipino Community Center Expansion Project, Kahului, Maui,
Hawai'i
TMK : (2) 3-8-007:124

RESPONSE:

In review of the submitted documents, there is justification for the project need although it does not indicate expansion of on-property parking. By the BAFCC supporting the community demands for event space, it will also allow the BAFCC to host simultaneous events. This may have significant impacts upon parking, and vehicular and pedestrian movement in the area.

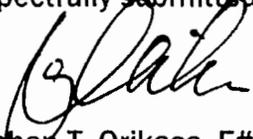
This being the case, it is suggested that during larger or simultaneous events, plans to mitigate these impacts be established. These plans must be designed in a manner to eliminate the occurrences of violations of State of Hawaii and County of Maui laws and ordinances and to ensure traffic and pedestrian safety within the impact area.

During the construction phases of this project there will be an increase of noise, dust and debris, and heavy equipment and vehicles in the area. Measures must be taken to minimize any impacts which may adversely affect the health, safety and well being of those in the nearby residential areas and utilizing the public roadways.

CONCLUSION:

There are no objections to the progression of this project at this time. Emphasis must be placed on minimizing or eliminating any impacts which may adversely affect the residents, businesses, public facilities and public traveling through the area, at all times.

Respectfully submitted for your review and approval.



Stephen T. Orikasa E#716
Administrative Sergeant/Wailuku Patrol Division
07/14/08 @ 0815 Hours

Lowen
Adm. Sergeant
07/14/08 @ 0900.



MICHAEL T. MUNEKIYO
GWEN OHASHI HIRAGA
MITSURU "MICH" HIRANO
KARLYNN FUKUDA

MARK ALEXANDER ROY
KYLE GINOZA

December 11, 2008

Thomas Phillips, Chief of Police
County of Maui
Maui Police Department
55 Mahalani Street
Wailuku, Hawai'i 96793

SUBJECT: Binhi At Ani Filipino Community Center Expansion Project, Kahului,
Maui, Hawai'i TMK (2) 3-8-007:124

Dear Chief Phillips:

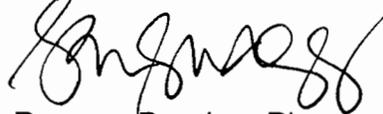
Thank you for your letter dated July 17, 2008 commenting on the subject project. On behalf of the applicant, the Binhi At Ani, we wish to provide the following information in response to your comments in the order presented in the memorandum.

1. The applicant is currently pursuing a variance from the requirements of the Maui County Off-Street Parking Ordinance. Currently, there are 94 existing parking stalls and one (1) loading zone located on the property. The Binhi At Ani does not anticipate an overflow of people using the hall and the conference rooms during the same time. There is sufficient parking located on the property to use either the hall or the conference room during the weekdays and during school hours. The scheduling of functions and activities within the conference rooms will be monitored to ensure that there is no overflow of people utilizing the community center for events and activities, and to maintain vehicular and pedestrian traffic safety within the community center property.
2. Construction noise and fugitive dust is expected during construction activities, and the applicant acknowledges that measures must be implemented to minimize impacts to the health, safety, and well being of residents and visitors in the area. The applicant's civil engineer will develop a Best Management Practices (BMP) plan that will be submitted for review during the building permit process. Construction activities will also be limited to daylight work hours only.

Thomas Phillips, Chief of Police
December 11, 2008
Page 2

Thank you again for your comments. Should you have any questions, please do not hesitate to call me at 244-2015.

Very truly yours,



Rowena Dagdag, Planner

RD:tn

cc: Tamara Horcajo, Department of Parks and Recreation
Norma Barroga, Binhi At Ani
Roger Madariaga, Binhi At Ani
Kirk Tanaka, R.T. Tanaka Engineers

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AUG 04 2008

CHARMAINE TAVARES
Mayor

MILTON M. ARAKAWA, A.I.C.P.
Director

MICHAEL M. MIYAMOTO
Deputy Director

Telephone: (808) 270-7845
Fax: (808) 270-7955



RALPH NAGAMINE, L.S., P.E.
Development Services Administration

CARY YAMASHITA, P.E.
Engineering Division

BRIAN HASHIRO, P.E.
Highways Division

COUNTY OF MAUI
DEPARTMENT OF PUBLIC WORKS
200 SOUTH HIGH STREET, ROOM NO. 434
WAILUKU, MAUI, HAWAII 96793

July 29, 2008

Ms. Rowena Dagdag, Planner
MUNEKIYO & HIRAGA, INC.
305 High Street, Suite 104
Wailuku, Maui, Hawaii 96793

Dear Ms. Dagdag:

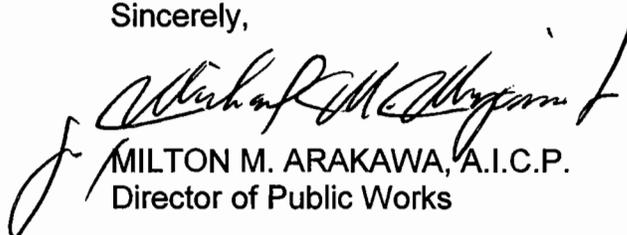
**SUBJECT: DRAFT ENVIRONMENTAL ASSESSMENT FOR
PROPOSED BINHI AT ANI FILIPINO COMMUNITY
CENTER EXPANSION PROJECT; TMK: (2) 3-8-007:124**

We reviewed the subject application and have only one comment:

1. Obtain all necessary building permits.

Please call Michael Miyamoto at 270-7845 if you have any questions regarding this letter.

Sincerely,



MILTON M. ARAKAWA, A.I.C.P.
Director of Public Works

MMA:MMM:ls

xc: Highways Division

Engineering Division

Tamara Horcajo, Director - Department of Parks and Recreation

S:\LUCA\CZM\Binhi_At_Ani_dea_38007124_ls.wpd



MICHAEL T. MUNEKIYO
GWEN OHASHI HIRAGA
MITSURU "MICH" HIRANO
KARLYNN FUKUDA

MARK ALEXANDER ROY
KYLE GINZA

December 11, 2008

Milton Arakawa, Director
County of Maui
Department of Public Works
200 South High Street
Wailuku, Hawai'i 96793

SUBJECT: Binhi At Ani Filipino Community Center Expansion Project, Kahului,
Maui, Hawai'i TMK (2) 3-8-007:124

Dear Mr. Arakawa,

Thank you for your letter dated July 29, 2008 commenting on the subject project. The applicant, Binhi At Ani, confirms that all necessary building permits will be obtained prior to construction.

Thank you again for your comments. Should you have any questions, please do not hesitate to call me at 244-2015.

Very truly yours,

Rowena Dagdag, Planner

RD:tn

cc: Tamara Horcajo, Department of Parks and Recreation
Norma Barroga, Binhi At Ani
Roger Madariaga, Binhi At Ani

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JUL 16 2008

CHARMAINE TAVARES
MAYOR



DON A. MEDEIROS
Director
WAYNE A. BOTEILHO
Deputy Director
Telephone (808) 270-7511
Facsimile (808) 270-7505

DEPARTMENT OF TRANSPORTATION

COUNTY OF MAUI
200 South High Street
Wailuku, Hawaii, USA 96793-2155

July 10, 2008

Ms. Rowena Dagdag
Munekiyo & Hiraga, Inc.
305 South High Street, Suite 104
Wailuku, Hawaii 96793

Subject: Draft Environmental Assessment for Proposed Binhi At Ani Filipino
Community Center Expansion Project

Dear Ms. Dagdag,

Thank you for the opportunity to comment on this project. We have no
comments to make at this time.

Please feel free to contact me if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Don Medeiros", is written over a horizontal line.

Don Medeiros
Director

CHARMAINE TAVARES
Mayor



JEFFREY K. ENG
Director

ERIC H. YAMASHIGE, P.E., L.S.
Deputy Director

DEPARTMENT OF WATER SUPPLY
COUNTY OF MAUI
200 SOUTH HIGH STREET
WAILUKU, MAUI, HAWAII 96793-2155
www.mauiwater.org

August 11, 2008

Ms. Tamara Horcajo
County of Maui
Department of Parks and Recreation
700 Halia Nakoia Street, Unit 2
Wailuku, Hawaii 96793

Subject: Draft Environmental Assessment for Proposed Binhi At Ani Filipino Community
Center Expansion Project, Kahului, Maui
TMK (2) 3-8-007:124

Dear Ms. Horcajo:

Thank you for the opportunity to comment on this Draft Environmental Assessment (DEA). Attached is a DWS comment letter dated May 9, 2007. We have the following additional comments:

Source Availability and Consumption

The DEA should identify sources and potable and non-potable demand for the proposed expansion. The project area is served by the Central Maui System. The main sources of water for the Central system are the designated Iao aquifer, Waihee aquifer, the Iao tunnel and Iao-Waikapu Ditch from the recently designated Na Wai Eha. New source development projects include Maui Lani Wells, Waikapu South Well and Waiale Surface Water Treatment Plant. The property is served by a 1-1/2" meter. Current consumption for this property is approximately 3,381 GPD. There is currently no additional source available according to system standards on the Central Maui System. Should an additional or larger meter be required, the Department may delay issuance of meters until new sources are on line. The Department will not issue temporary construction meters for Central Maui projects.

Conservation

To alleviate demand on the Central Maui system, we recommend that the following conservation measures be included in the project design or noted in the DEA:

Use Climate-adapted Plants: Outdoor irrigation has a significant impact on demand in the Kahului area. We recommend limiting turf areas and using native climate-adapted plants for all landscaping.
Prevent Over-Watering By Automated Systems: Provide rain-sensors on all automated irrigation controllers. Check and reset controllers at least once a month to reflect the monthly changes in

"By Water All Things Find Life"



Binhi at Ani Filipino Community Center Expansion

evapo-transpiration rates at the site. As an alternative, provide the more automated, soil-moisture sensors on controllers.

Use Climate Adapted Plants: Outdoor irrigation has a significant impact on demand in the Kahului area. We recommend limiting turf areas and using native climate-adapted plants for all landscaping. The project is located in Plant Zone 3. Native plants adapted to the area conserve water and protect the watershed from degradation due to invasive alien species. Attached is our plant brochure "Saving Water in the Yard."

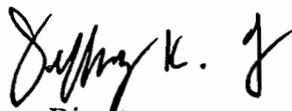
Pollution Prevention

In order to protect ground and surface water sources, we encourage Best Management Practices (BMPs) designed to minimize infiltration and runoff from construction. The mitigation measures below should be included in the DEA and be implemented during construction:

1. Prevent cement products, oil, fuel and other toxic substances from falling or leaching into the water.
2. Properly and promptly dispose of all loosened and excavated soil and debris material from drainage structure work.
3. Retain ground cover until the last possible date.
4. Stabilize denuded areas by sodding or planting as soon as possible. Replanting should include soil amendments, fertilizers and temporary irrigation. Use high seeding rates to ensure rapid stand establishment.
5. Avoid fertilizers and biocides, or apply only during periods of low rainfall to minimize chemical run-off.
6. Keep run-off on site.

Should you have any questions, please contact our Water Resources and Planning Division at 808-244-8550.

Sincerely,



Jeffrey K. Eng, Director
mlb

cc: Engineering division
Applicant, with attachments:
DWS Comment letter dated May 9, 2007
Saving Water in the Yard- What & How to Plant in your Area



MICHAEL T. MUNEKIYO
GWEN OHASHI HIRAGA
MITSURU "MICH" HIRANO
KARLYNN FUKUDA

MARK ALEXANDER ROY
KYLE GINZA

December 11, 2008

Jeffrey Eng, Director
County of Maui
Department of Water Supply
200 South High Street
Wailuku, Hawai'i 96793

SUBJECT: Binhi At Ani Filipino Community Center Expansion Project, Kahului,
Maui, Hawai'i TMK (2) 3-8-007:124

Dear Mr. Eng:

Thank you for your letter dated August 11, 2008 to Ms. Tamara Horcajo, Director of the Department of Parks and Recreation, commenting on the subject project. On behalf of the applicant, the Binhi At Ani, we wish to provide the following information in response to your comments in the order presented in the memorandum.

1. The existing water demand for both domestic and irrigation needs is approximately 100 gallons per minute (gpm). The project will not involve the installation of additional plumbing fixtures. Accordingly, the existing 1 ½ -inch water meter is adequate to meet the needs of the proposed action.
2. The Binhi At Ani has been provided a copy of your letter which includes your recommendations for conservation measures to be included as part of the project design. Although the center is already landscaped, the landscaping committee of the Binhi At Ani will consider your recommendations as they develop a revised plan for landscape maintenance for the center.
3. A Best Management Practices (BMP) plan will be developed by the project's civil engineer prior to construction. The plan will be submitted for review during the building permit process. A copy of your letter, which includes recommendations for conservation practices and pollution prevention, will be forwarded to the project's civil engineer for consideration and incorporated into the BMP plan as applicable.

Jeffrey Eng, Director
December 11, 2008
Page 2

Thank you again for your comments. Should you have any questions, please do not hesitate to contact me at 244-2015.

Very truly yours,



Rowena Dagdag, Planner

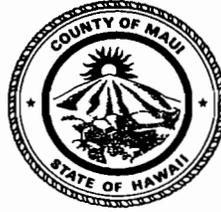
RD:tn

cc: Tamara Horcajo, Department of Parks and Recreation
Norma Barroga, Binhi At Ani
Roger Madariaga, Binhi At Ani
Kirk Tanaka, R.T. Tanaka Engineers

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AUG 07 2008

CHARMAINE TAVARES
Mayor
CHERYL K. OKUMA, Esq.
Director
GREGG KRESGE
Deputy Director



TRACY TAKAMINE, P.E.
Solid Waste Division
DAVID TAYLOR, P.E.
Wastewater Reclamation
Division

**COUNTY OF MAUI
DEPARTMENT OF
ENVIRONMENTAL MANAGEMENT**
2200 MAIN STREET, SUITE 100
WAILUKU, MAUI, HAWAII 96793

August 5, 2008

Ms. Rowena Dagdag
Planner
Munekiyo & Hiraga, Inc.
305 High Street, Suite 104
Wailuku, Hawaii 96793

**SUBJECT: BINHI AT ANI FILIPINO COMMUNITY CENTER EXPANSION
PROJECT
DRAFT ENVIRONMENTAL ASESMENT
TMK (2) 3-8-007:124, KAHULUI**

Dear Ms. Dagdag,

We reviewed the subject application as a pre-application consultation and have the following comments:

1. Solid Waste Division comments:
 - a. None.
2. Wastewater Reclamation Division (WWRD) comments:
 - a. Although wastewater system capacity is currently available as of 8/5/2008, the developer should be informed that wastewater system capacity cannot be ensured until the issuance of the building permit.
 - b. Wastewater contribution calculations are required before building permit is issued.
 - c. Developer shall pay assessment fees for treatment plant expansion costs in accordance with ordinance setting forth such fees.
 - d. Kitchen facilities within the proposed project shall comply with pre-treatment requirements (including grease interceptors, sample boxes, screens etc.)
 - e. Elevator sump shall not be drained to the County sewer.

- f. Non-contact cooling water and condensate should not drain to the wastewater system.

If you have any questions regarding this memorandum, please contact Gregg Kresge at 270-8230.

Sincerely,

A handwritten signature in black ink, appearing to read "Cheryl Okuma". The signature is written in a cursive, flowing style.

Cheryl Okuma, Director



MICHAEL T. MUNEKIYO
GWEN OHASHI HIRAGA
MITSURU "MICH" HIRANO
KARLYNN FUKUDA

MARK ALEXANDER ROY
KYLE GINOZA

December 11, 2008

Cheryl Okuma, Director
County of Maui
Department of Environmental Management
2200 Main Street Suite 100
Wailuku, Hawai'i 96793

SUBJECT: Binhi At Ani Filipino Community Center Expansion Project, Kahului, Maui,
Hawai'i TMK (2) 3-8-007:124

Dear Ms. Okuma:

Thank you for your letter dated August 5, 2008 commenting on the subject project. On behalf of the applicant, the Binhi At Ani, we wish to provide the following information in response to your comments in the order presented in the memorandum.

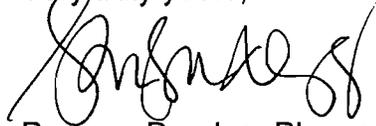
1. The applicant acknowledges your comment regarding wastewater system capacity availability, and that it cannot be ensured until the issuance of the building permit. We would like to note that there are no new water fixtures being added with the second floor addition. Wastewater generation is not anticipated to increase substantially as a result of the new conference room.
2. The applicant confirms that the proposed expansion project may be subject to a wastewater assessment fee for the expansion of the Wailuku/Kahului Wastewater Treatment Facility. Wastewater calculations for the proposed project will be carried out by a licensed civil engineer, and the final assessment fee, as applicable, will be determined by the Wastewater Reclamation Division (WRD) of the Department of Environmental Management during the processing of the building permit application.
3. The applicant notes that there is an existing grease interceptor serving the existing kitchen facility and confirms that it will comply with pre-treatment requirements.
4. The applicant confirms that the proposed elevator will be maintained to ensure that any discharge from the sump pump is not allowed to flow directly into the County's sewer system.

Cheryl Okuma, Director
December 11, 2008
Page 2

5. The applicant confirms that non-contact cooling water and condensate will not drain into the County's wastewater system.

Thank you once again for your comments. Should you have any questions, please do not hesitate to call me at 244-2015.

Very truly yours,



Rowena Dagdag, Planner

RD:tn

cc: Tamara Horcajo, Department of Parks and Recreation
Norma Barroga, Binhi At Ani
Roger Madariaga, Binhi At Ani
Kirk Tanaka, R.T. Tanaka Engineers

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Network Engineering and Planning
OSP Engineering - Maui

Hawaiian Telcom

60 South Church St.
Wailuku, HI 96793
Phone 808 242-5102
Fax 808 242-8899

July 10, 2008

Munekiyo & Hiraga, Inc.
305 High St., Suite 104
Wailuku, HI 96793

ATTN: Rowena Dagdag, Planner
SUBJECT: Proposed Binhi At Ani Filipino Community Center Expansion
TMK: (2)3-8-007:124

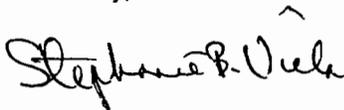
Dear Rowena,

Thank you for allowing us to review and comment on the Draft Environmental Assessment for the Proposed Binhi at Ani Filipino Project. Your plans have been received and put on file.

Hawaiian Telcom, Inc. has no comment, nor do we require any additional information at this time.

We look forward to receiving the EA publication. Should you require further assistance, please call Tom Hutchison at 242-5107.

Sincerely,



for

Philbert Perreira
Section Manager – Network Engineering

PP/TH/SBV

CC: Engineer
BICS File # 0704-028 (3030)

JUL 30 2008



July 29, 2008

Ms. Tamara Horcajo
County of Maui
Department of Parks and Recreation
700 Halia Nakoa Street, Unit 2
Wailuku, Hawaii 96793

Dear Ms. Horcajo,

Subject: Draft Environmental Assessment for Proposed Binhi at Ani Filipino Community
Center Expansion Project
Kahului, Maui, Hawaii
TMK: (2) 3-8-007:124

Thank you for allowing us to review and comment on the Draft Environmental Assessment for the subject project.

In reviewing our records and the information received, Maui Electric Company (MECO) has no objection or additional comments to the project at this time.

Should you have any other questions or concerns, please call me at 871-2340.

Sincerely,

A handwritten signature in black ink that reads "Ray Okazaki". The signature is written in a cursive, slightly slanted style.

Ray Okazaki
Staff Engineer
Maui Electric Company, Ltd.

Cc: Ms. Rowena Dagdag – Munekiyo & Hiraga, Inc.

XI. REFERENCES

XI. REFERENCES

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County of Maui, The General Plan of the County of Maui, September 1990 Update.

County of Maui, Wailuku-Kahului Community Plan, December 2002.

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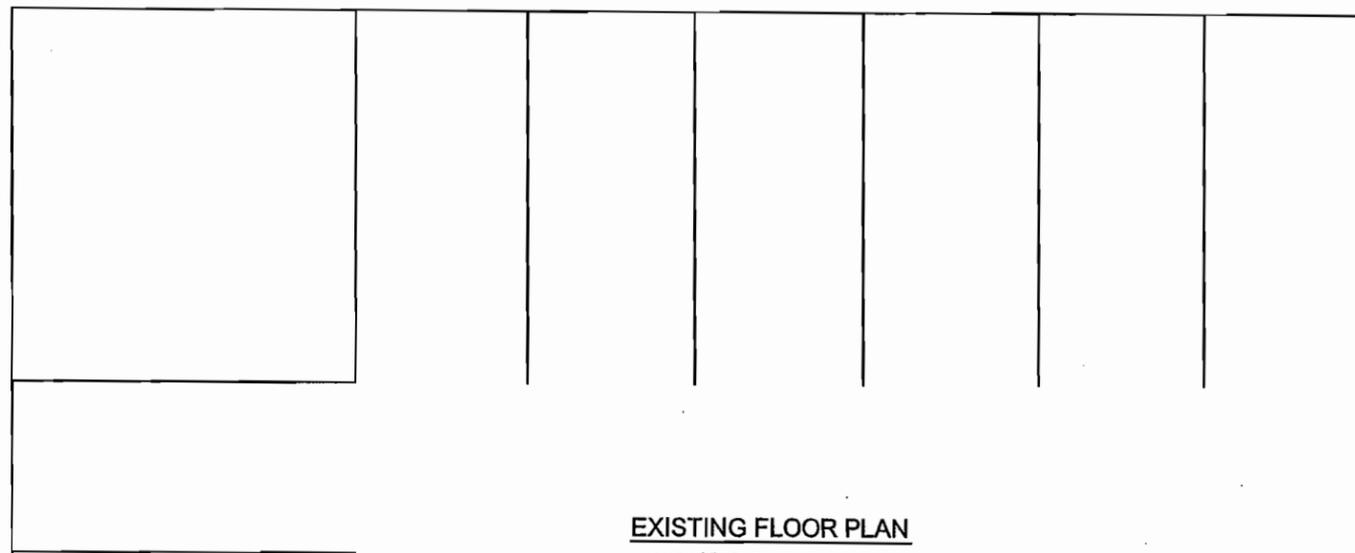
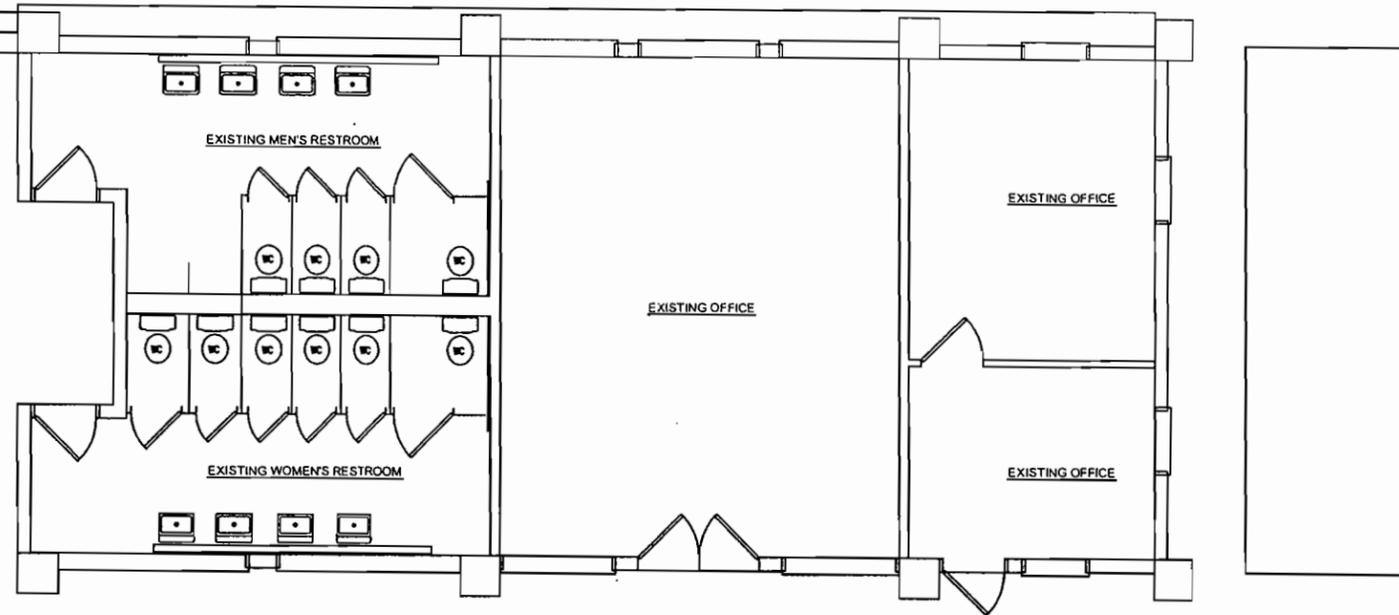
University of Hawai'i at Hilo, Department of Geography, Atlas of Hawai'i, Third Edition, 1998.

U.S. Department of Agriculture, Soil Conservation Service, Soil Survey of Islands of Kaua'i, O'ahu, Maui, Moloka'i and Lana'i, State of Hawai'i, August 1972.

APPENDIX A.

Preliminary Development Plans

EXISTING HALL



EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTES:
 READ IN CONNECTION WITH OTHER GENERAL CONTRACT DRAWINGS
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING WORK PRIOR TO COMMENCEMENT OF WORK.
 CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 ALL NEW WORK SHALL BE SHOWN IN RED UNLESS OTHERWISE NOTED.
 ALL EXISTING WORK SHALL BE SHOWN IN BLACK UNLESS OTHERWISE NOTED.

REVISIONS

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Pacific Rim
 Architecture LLC.
 PO BOX 287 WILSONVILLE
 PH 808 281-4190



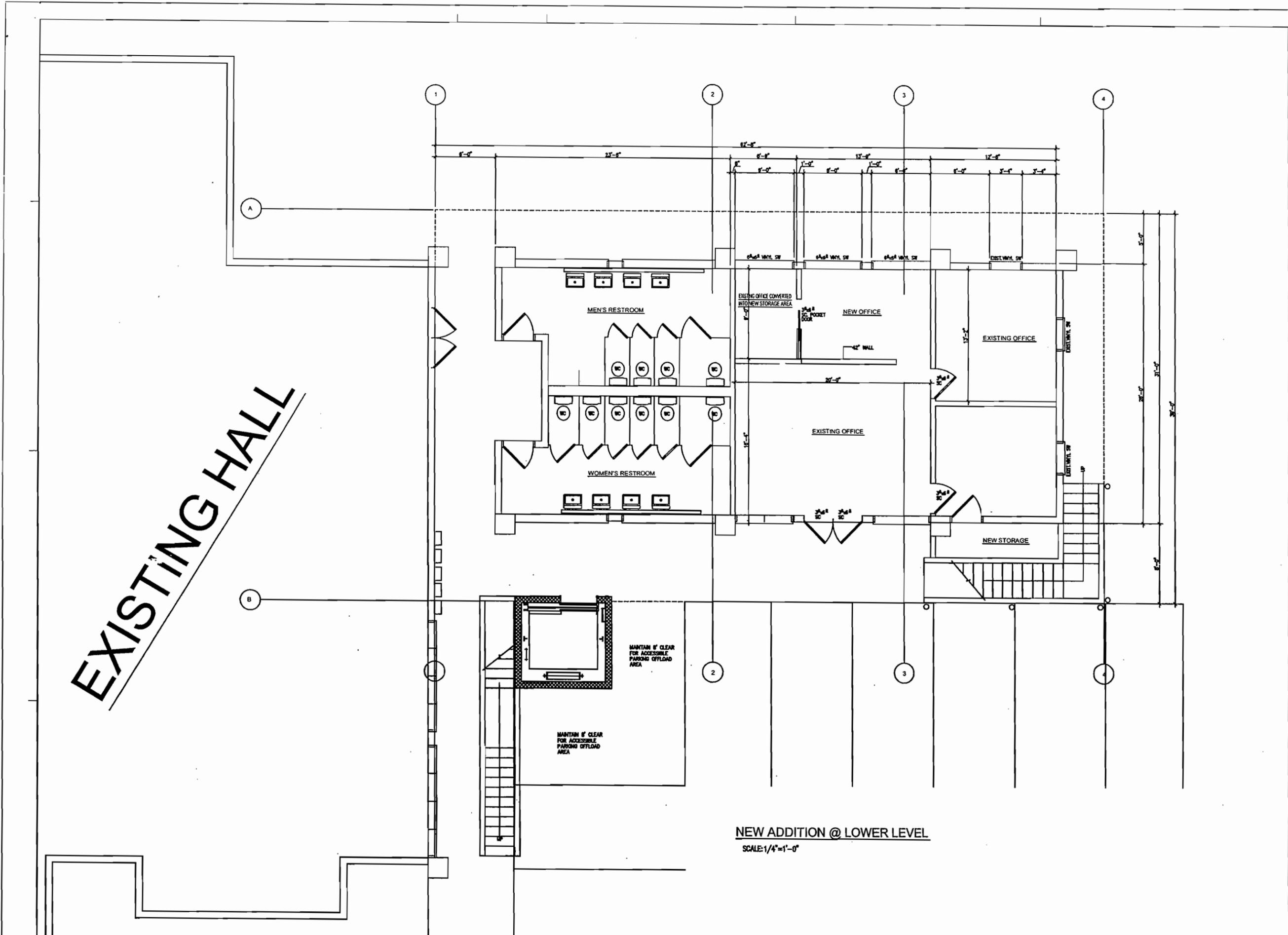
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SCALE	
AS SHOWN	
DESIGNED	DATE
CHECKED	1994/07
ISSUED FOR:	DATE
	REVISION

DO NOT SCALE DRAWINGS.
 DIMENSIONS TO BE SHOWN ON ALL DRAWINGS AND ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE HAWAIIAN ARCHITECTURE ACT.

BINHI AT ANI
 FILIPINO
 COMMUNITY
 CENTER

EXISTING HALL



NEW ADDITION @ LOWER LEVEL
SCALE: 1/4" = 1'-0"

NOTES:
 1. READ IN CONNECTION WITH OTHER CONSULTANTS' DRAWINGS.
 2. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS.
 3. CONTRACTOR SHALL OBTAIN CURRENT CODE REQUIREMENTS OF BUILDINGS AND REFERENCED TO APPROPRIATE SUBCONTRACTORS (ELECTRICAL, MECHANICAL, ETC.).
 4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FILING DOCUMENTS ON FILE, AND FOR OBTAINING ALL NECESSARY PERMITS TO BE ISSUED. SUPERVISOR WILL BE HELD RESPONSIBLE FOR CURRENT CODE DRAWINGS.

REVISIONS:

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Pacific Rim
Architecture LLC.
 718 2ND STREET, WILSON AVENUE
 PH: 805 281-4190



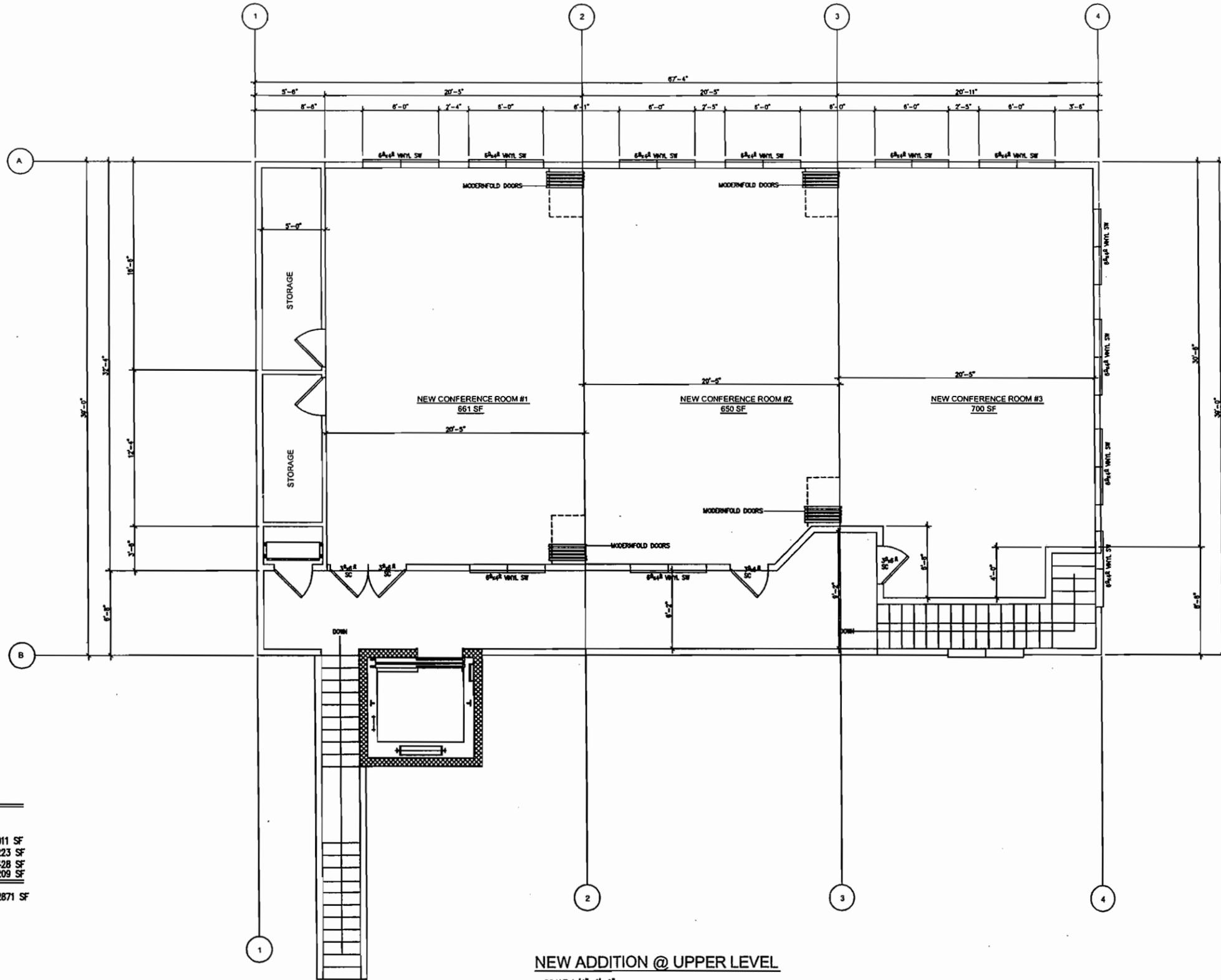
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SCALE: AS SHOWN

DESIGNED BY:	DATE:
DRAWN BY:	DATE:
CHECKED BY:	DATE:
ISSUED FOR:	DATE:
	REVISION:

DO NOT SCALE DIMENSIONS. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK. COPYRIGHT RESERVED BY

**BINHI AT ANI
 FILIPINO
 COMMUNITY
 CENTER**



AREA SUMMARY

CONFERENCE ROOMS	2011 SF
STORAGE	223 SF
HALLWAY & ELEVATOR	428 SF
STAIRWAY	209 SF
GRAND TOTAL	2871 SF

NEW ADDITION @ UPPER LEVEL
SCALE: 1/4"=1'-0"

NOTES:
 1. READ IN CONNECTION WITH OTHER DRAWINGS.
 2. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.
 4. ALL REVISIONS SHALL BE MADE IN ACCORDANCE WITH THE REVISIONS SHEET.
 5. ALL DIMENSIONS SHALL BE IN UNLESS OTHERWISE SPECIFIED.

- REVISIONS:**
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Pacific Rim
Architecture LLC.
 P.O. BOX 280, WASHINGTON, DC 20004
 PH 808 281-4190



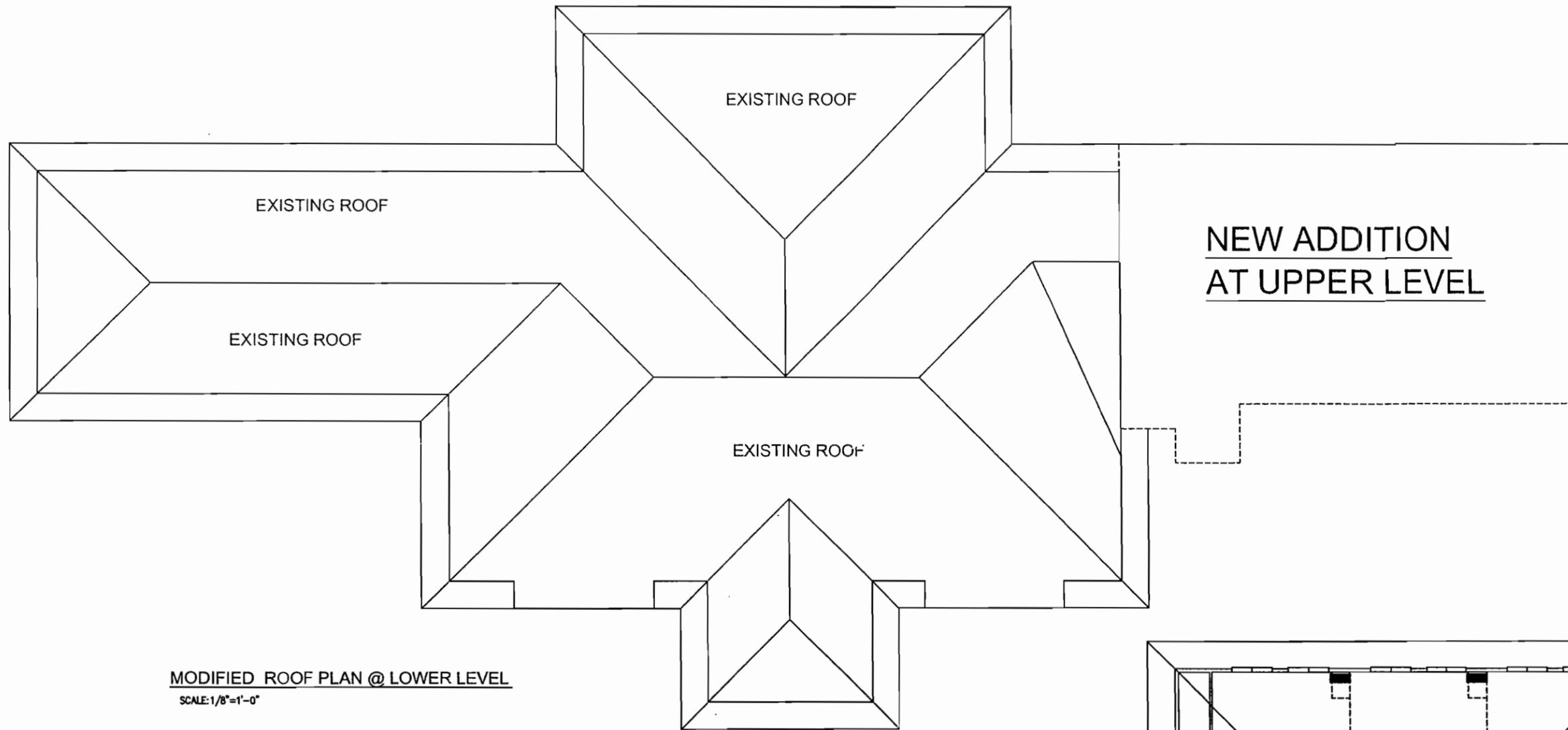
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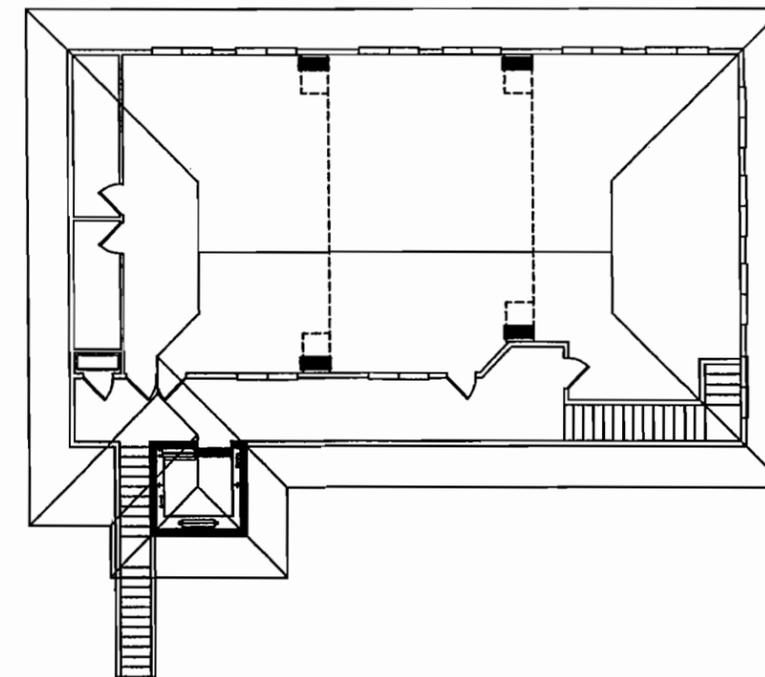
DESIGNED	DATE
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CHECKED	DATE
ISSUED FOR:	DATE
	REVISION

DO NOT SCALE DIMENSIONS. CONTRACTOR TO VERIFY ALL DIMENSIONS OF SITE BEFORE COMMENCING ANY WORK. CONFIDENTIAL DRAWING.

BINH AT ANI
FILIPINO
COMMUNITY
CENTER



MODIFIED ROOF PLAN @ LOWER LEVEL
SCALE: 1/8"=1'-0"



NEW ROOF PLAN @ UPPER LEVEL
SCALE: 1/8"=1'-0"

NOTES:
READ IN CONNECTION WITH OTHER SHEETS OF THIS DRAWING.
CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

- REVISIONS:**
- ▲
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Pacific Rim
Architecture LLC
P.O. BOX 500, HONOLULU, HAWAII 96808
PH: 808 281-4190



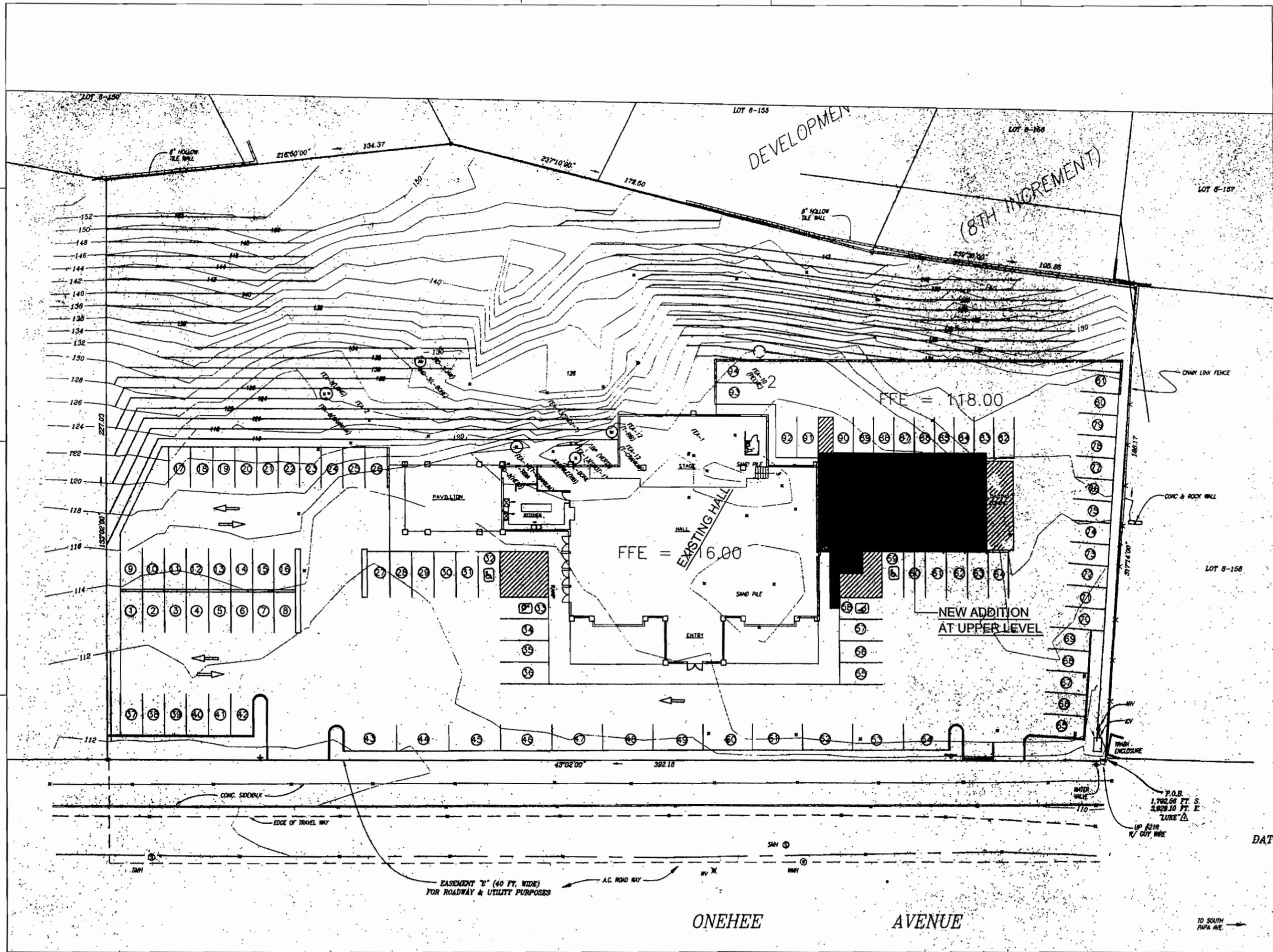
THIS SEAL WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSENT. THE PROJECT WILL BE UNDER MY SUPERVISION.

SCALE: AS SHOWN

DESIGNED	DATE
CHECKED	16/04/21
ISSUED FOR:	DATE
	REVISION

DO NOT SCALE FROM DRAWING.
CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE.
SERVE CHANGING ANY WORK.
COPYRIGHT RESERVED ©

BINHI AT ANI
FILIPINO
COMMUNITY
CENTER



NOTES:
 1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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REVISIONS:
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Pacific Rim
 Architecture LLC
 1000 KALANIANA'OLA BLVD
 PH 808 281-4190



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SCALE	DATE
AS SHOWN	10/04/07
DESIGNED	
CHECKED	
SCALED FOR	
	REVISION

BINHI AT ANI
 FILIPINO
 COMMUNITY
 CENTER

A-5



FRONT ELEVATION

SCALE: 1/4"=1'-0"

NOTES:
 1. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED SHALL BE IN FEET AND INCHES.
 2. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.
 3. MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL GOVERNMENT.
 4. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE SPECIFIED.
 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.

- REVISIONS:**
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Pacific Rim
 Architecture LLC
 1000 S. WILSON AVE.
 PH 808 281-4190



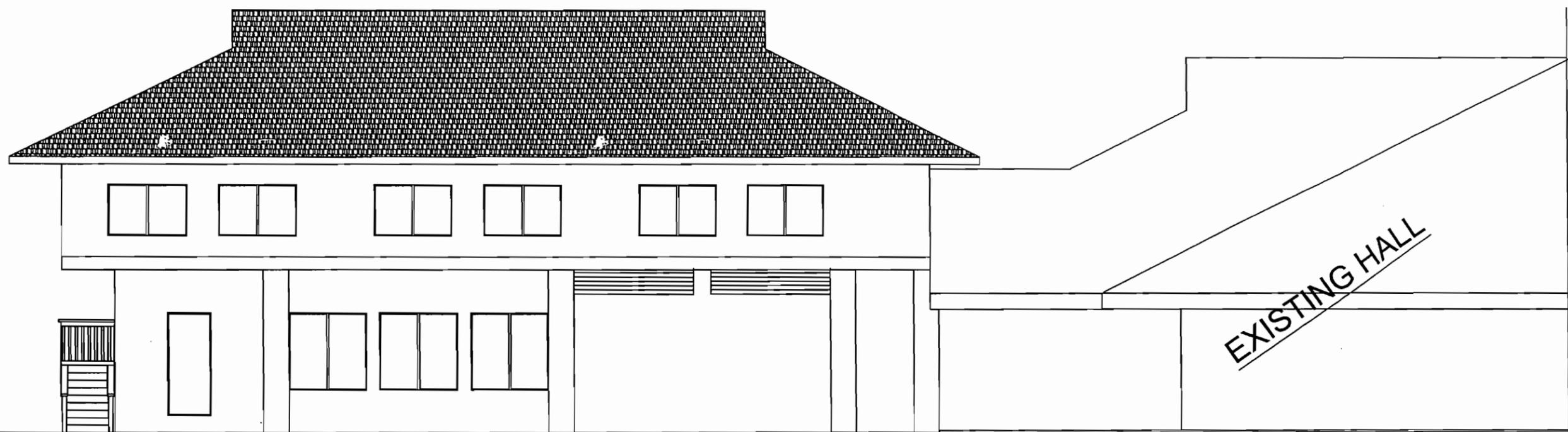
THIS SEAL WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THE PROJECT WILL BE UNDER MY SUPERVISION.

SCALE AS SHOWN

DESIGNED	DATE
DRAWN	10/04/21
CHECKED	
ISSUED FOR	DATE
	REVISION

DO NOT SCALE FROM DRAWING.
 CONSULT DRAWING TO VERIFY ALL DIMENSIONS ON SITE.
 BEFORE COMMENCING ANY WORK.
 COPYRIGHT RESERVED ©

**BINHI AT ANI
 FILIPINO
 COMMUNITY
 CENTER**



REAR ELEVATION
SCALE: 1/4" = 1'-0"

NOTES:
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE PHILIPPINE NATIONAL BUILDING CODE (PNBC) AND ALL APPLICABLE LOCAL ORDINANCES.
 2. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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Pacific Rim
Architecture LLC.
 7th FLOOR, 1200 N. WASHINGTON BLVD.
 PH 808 281-4190



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SCALE: AS SHOWN

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ISSUED FOR:	DATE
	REVISION

DO NOT SCALE DIMENSIONS. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK. CONTRACTOR RESPONSIBLE.

BINHI AT ANI
FILIPINO
COMMUNITY
CENTER



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

NOTES:
READ IN CONJUNCTION WITH OTHER CONSTRUCTION DRAWINGS
CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES
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NO MET SCALE FROM DRAWING
CONSTRUCTION TO VERIFY ALL DIMENSIONS BEFORE COMMENCING ANY WORK
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**BINHI AT ANI
FILIPINO
COMMUNITY
CENTER**

APPENDIX B.

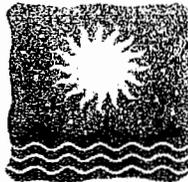
Archaeological Monitoring Plan

**ARCHAEOLOGICAL MONITORING PLAN
FOR THE PROPOSED ADDITION OF A SECOND FLOOR AT
MAUI FILIPINO COMMUNITY CENTER LOCATED AT
TMK 3-08-07: 124
WAILUKU AHUPUA'A; WAILUKU DISTRICT
ISLAND OF MAUI**

FOR: Binhi at Ani

**BY: Lisa J. Rotunno-Hazuka (B.A.)
Jeffrey Pantaleo (M.A.)**

APRIL 2008



ARCHAEOLOGICAL SERVICES HAWAII, LLC.
1930 A Vineyard Street
Wailuku, HI 96793

“Protecting, Preserving, Interpreting the Past, While Planning the Future”

INTRODUCTION

Under contract to Binhi at Ani, Archaeological Services Hawaii, (ASH) proposes to undertake archaeological monitoring of all ground disturbing activities associated with the proposed 2nd story addition to the Maui Filipino Community Center located in Kahului adjacent to Onehee Avenue, Wailuku *ahupua`a* and District, TMK 3-8-07:124 (Figures 1 and 2). A monitoring program was conducted intermittently at the aforementioned project area from 2001-2004 where Burial Site 50-50-04-5088 was identified. Site 5088 is comprised of displaced human skeletal remains from 12 individuals (Features 1a-c, 5, 6, 9a-d, 11, and 22a-b), the *in situ* or partial *in situ* burial features of 11 individuals (Features 7, 8, 10, 12, 14, 15a, 16a-b, 20, 21 and 23), and several possible burial pits (Features 13, 15b, 17-19, 21, and 24-25) were identified.

The proposed improvements consist of the excavation of three footings within the extant parking lot on the east side of the building. No burials were identified in this area during the previous monitoring program.

PROJECT AREA DESCRIPTION

The project area is located within the inland sand dunes of Central Maui along Onehee Drive just south of the intersection of Onehee and Papa Avenue (TMK 3-8-07: 124). It is an improved 2.0 acre parcel across from Maui Waena Middle School, and north of the Maui Lani Development. The subject parcel contains one large building, parking lots, a covered pavilion area, retaining walls and associated underground utilities. Burial Sites have been preserved within the extant dune behind (west) of the existing building and retaining wall. Several additional burial sites have been found in close proximity to the project area. Burials were identified by Ms. Dee Frederickson during the development of Maui Waena School. One burial site was identified and preserved in place at the Kingdom Hall adjacent and south of the subject parcel. Several burial features (Site 4794) have been identified within The Fairways subdivision of Maui Lani Development.

EXPECTABILITY OF SUBSURFACE SITES

Based on the foregoing data, remnant subsurface features may be present below the parking lot, thus all ground disturbing activities shall be monitored.

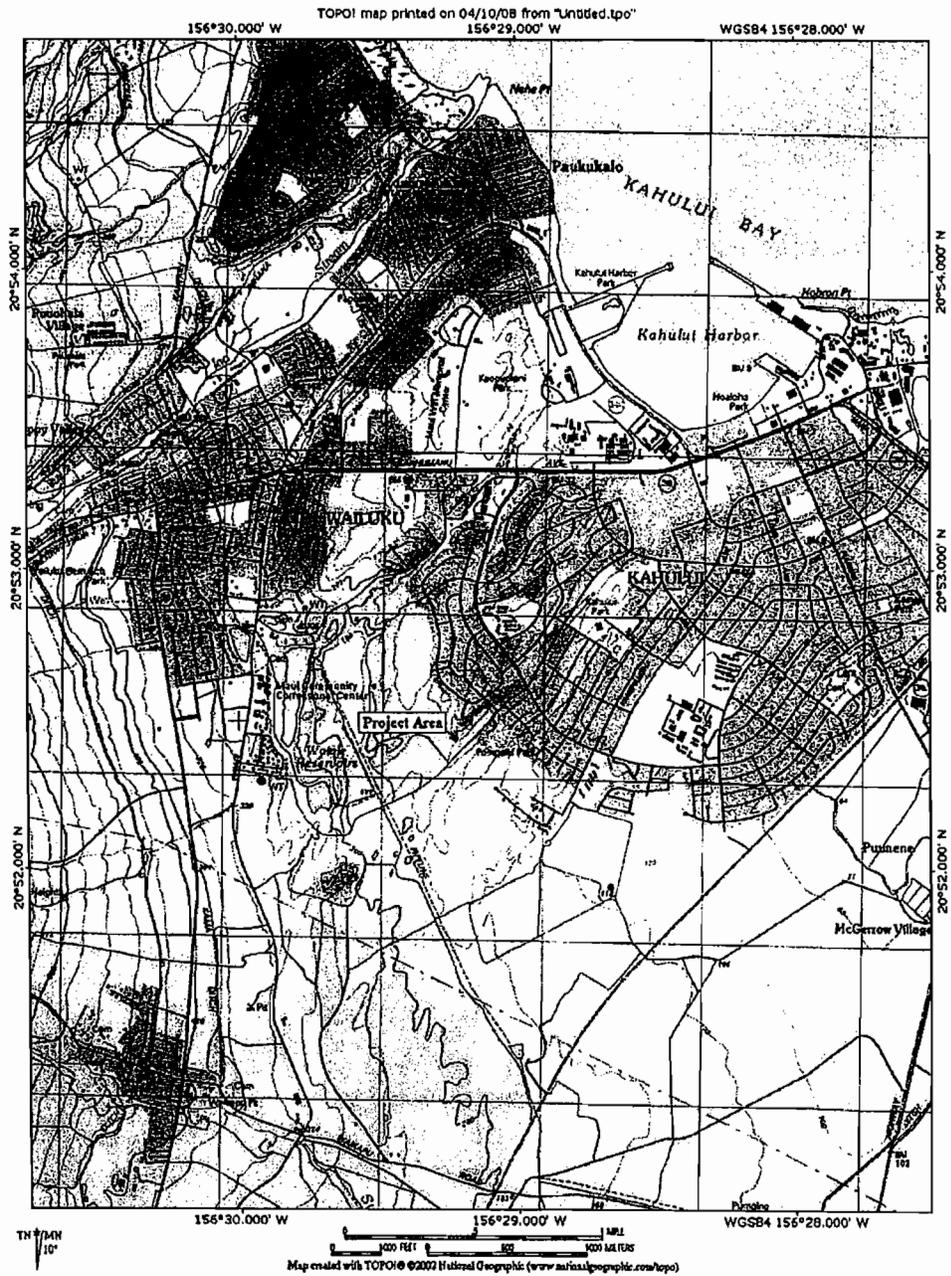


Figure 1. Location of Project Area on USGS Quadrangle

MONITORING PLAN

The construction plans call for excavations of three footings which range from 4.0-5.0 ft. deep. Full-time monitoring will be the protocol for this project. In the event that rock, sterile fill deposits and or the water table is encountered, monitoring procedures may need to be adjusted; however no changes may be made without consultation and approval by SHPD via telephone and in writing. SHPD will also be notified of the onset and completion of the proposed undertaking.

One archaeological monitor per piece of ground disturbing equipment is the protocol for this monitoring project. Dependent on availability, Maui resident archaeologists will be assigned to this project. Prior to the commencement of construction, all pertinent parties including but not limited to construction and archaeological personnel will be informed of the monitoring procedures as stipulated in the monitoring plan, as well as the monitors' authority to halt work in the vicinity of a find. In the event that subsurface sites are exposed during construction, ground-disturbing activities in the immediate area will temporarily halt and project activities may shift to other areas of the project. Once the archaeologist makes an assessment, they will then consult with SHPD to determine the appropriate mitigation measures for the find. The area around the site shall be protected by erecting orange fencing or yellow caution tape. The site will be recorded utilizing all standard archaeological methods and procedures. Stratigraphic profiles will be drawn, photographs will be taken, and soil samples collected not only from the subsurface site, but from selected locations within the project area. If nighttime work is performed, the general contractor must notify the consulting archaeologist at least 3 days in advance. The archaeological monitor has sole discretion to determine if lighting is adequate to perform visual inspections of the soil.

If historic bottles are found they are to be collected by the archaeologist. No bottles may be collected or taken by any construction worker.

In the event that human remains are inadvertently exposed during this undertaking, the aforementioned procedures of halting and securing the site will be performed. After an initial assessment is made by Mr. Hinano Rodrigues of SHPD, and members of the Maui/Lana'i Islands Burial Council-MLIBC (if the remains are believed to be Native Hawaiian), procedures for documenting the burial find shall be undertaken. These

mitigation measures may include mapping and collecting displaced human skeletal remains, however no human skeletal remains will be collected without authorization from SHPD. Additional documentation will include, raking and screening of the area to collect all displaced human remains, and excavations to ascertain the context (*in situ* or displaced) and number of individuals represented by the skeletal remains.

PROCEDURES FOR DISPLACED HUMAN SKELETAL REMAINS

The procedures for exposed skeletal remains and possible burial pit outlines is presented below.

1. Upon identification of displaced human remains, a possible burial pit outline, or basalt and coral manuports all construction activities in the immediate area of the find is temporarily halted.
2. SHPD and the MLIBC shall be notified.
3. Mark the perimeter of the avoidance area with yellow caution tape, and or orange construction fencing and cover the remains to protect them from the elements
4. Extend a baseline through the center of the dispersal area.
5. After notification and concurrence with SHPD, mark all displaced remains with pin flags and produce a plan view map. Locate and identify displaced remains and only collect the displaced remains if authorized by SHPD personnel.
6. If a concentration is identified, map the concentration and leave in place for determination of disposition and controlled manual excavations, as warranted.
7. Manually rake bulldozed or other mechanically produced tailings and screen push piles to collect all displaced and fragmented remains.
8. If no concentration was identified and raking is complete, skip to blade testing on item #13 after notification and concurrence with SHPD.
9. Complete an osteological inventory of the collected remains to determine the components that may be left *in situ* or missing.
10. If a concentration or possible burial pit was identified, notify SHPD of the possible burial feature and ask for written authorization to test the possible burial feature. Once authorization for testing has been received by SHPD, place a 2.0 by 2.0 meter controlled test unit, centrally locating the concentration within the test unit. Clean the surface with a trowel to determine if a pit outline is present. Map pit outline.
11. If SHPD has provided written authorization to test an *in situ* burial, excavate the *in situ* portion to identify any articulation, document the articulated portion

within the pit outline, and collect all clearly displaced remains. Articulated remains and those in an anatomically correct position, shall be left in place until a disposition determination can be made by SHPD in consultation with the MLIBC.

12. Fill out all test excavation and burial forms and draw a plan view map of the *in situ* remains. Then cover remains with a thin layer of sand (if SHPD and MLIBC have seen the feature) and or tarp.
13. After notification and concurrence with SHPD, conduct mechanical blade testing in potential areas of further discoveries. Blade testing is conducted by removing shallow (2-6") lifts over a predetermined area.

After consultation with the owner, SHPD and the MLIBC (if the remains are believed to be Native Hawaiian), a burial treatment plan will be prepared.

Upon completion of the fieldwork, all necessary lab procedures including but not limited to processing, cataloging and analyses of artifacts and photographs; analyses of soil samples as warranted and submitting of charcoal samples for radiocarbon dating will be performed. All analyses will be synthesized into a final monitoring report, and the report shall be submitted within 180 days of the completion of fieldwork. Copies of this report will be sent to the State Historic Preservation Division offices on Oahu and Maui for their review and comments.

All notes, photographs and artifacts will be archived at the offices of Archaeological Services Hawaii, LLC at 1930 A Vineyard Street, Wailuku, HI 96793.

APPENDIX B-1.

State Historic Preservation Review of Archaeological Monitoring Plan for the Maui Filipino Community Center

LINDA LINGLE
GOVERNOR OF HAWAII



RECEIVED

JUN 09 2008

BY: 



STATE OF HAWAII
DEPARTMENT OF LAND AND NATURAL RESOURCES

STATE HISTORIC PRESERVATION DIVISION
601 KAMOKILA BOULEVARD, ROOM 555
KAPOLEI, HAWAII 96707

LAURA H. THIELEN
CHAIRPERSON
BOARD OF LAND AND NATURAL RESOURCES
COMMISSION ON WATER RESOURCE MANAGEMENT

RUSSELL Y. TSUJI
FIRST DEPUTY

KEN C. KAWAHARA
DEPUTY DIRECTOR - WATER

AQUATIC RESOURCES
BOATING AND OCEAN RECREATION
BUREAU OF CONVEYANCES
COMMISSION ON WATER RESOURCE MANAGEMENT
CONSERVATION AND COASTAL LANDS
CONSERVATION AND RESOURCES ENFORCEMENT
ENGINEERING
FORESTRY AND WILDLIFE
HISTORIC PRESERVATION
KAHOOLAWE ISLAND RESERVE COMMISSION
LAND
STATE PARKS

May 30, 2008

Jeffrey Pantaleo, M.A.
Archaeological Services Hawai'i, LLC
1930 A Vineyard Street
Wailuku, Hawai'i 96793

LOG NO: 2008.1925
DOC NO: 0805PC46
Archaeology

Dear Mr. Pantaleo:

**SUBJECT: Chapter 6E-42 Historic Preservation Review –
Archaeological Monitoring Plan for the Maui Filipino Community Center
Wailuku Ahupua'a, Wailuku District, Island of Maui
TMK: (2) 3-8-007: 124**

Thank you for the opportunity to review this plan, which our staff received on April 30, 2008 (Rotunno-Hazuka and Pantaleo 2008): *Archaeological Monitoring Plan for the Proposed Addition of a Second Floor at Maui Filipino Community Center...* Archaeological Services Hawai'i, LLC.

The plan was prepared in advance of a recommendation from our office that monitoring should occur as a precautionary measure during ground altering activities associated with a proposed second floor addition to the community center because of the known presence of human skeletal remains from 12 individuals and the identification of both *in situ* and partially *in situ* burial features containing the remains of 11 individuals, as well as several possible burial pits (SIHP #50-50-04-5088).

The plan states that monitoring will occur during all ground altering activity associated with the proposed work because of the likelihood that "remnant subsurface features may be present below the parking lot" where the footings for the proposed second floor addition will be excavated (Rotunno-Hazuka and Pantaleo 2008:1).

As specified in the plan, there will be one archaeological monitor on site for each piece of ground disturbing equipment in use, a coordination meeting with the construction crew and all other pertinent parties to explain monitoring procedures and that the monitoring archaeologist has the authority to halt work in the vicinity of a culturally significant find will be undertaken. The plan further states that in the event human remains are inadvertently exposed, both the SHPD and Maui/Lana'i Islands Burial Council (MLIBC) will be notified and appropriate burial protocol followed. A report detailing the findings of the monitoring will be prepared and submitted to our office for review within 180 days after the completion of the project.

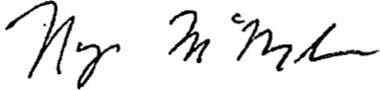
The plan contains the required information as specified in HAR §13-279-4(a) regarding monitoring plans in general and is acceptable.

Jeffrey Pantaleo, M.A.

Page 2

If you have any questions or comments regarding this letter, please contact Patty Conte (Patty.J.Conte@hawaii.gov).

Aloha,

A handwritten signature in black ink, appearing to read "Nancy McMahon". The signature is fluid and cursive, with the first name "Nancy" written in a larger, more prominent script than the last name "McMahon".

Nancy McMahon, Deputy SHPO/State Archaeologist
State Historic Preservation Division

c: Jeff Hunt, Director, Dept. of Planning, 250 S. High Street, Wailuku, Hawai'i 96793
Lance Nakamura, Engineer, DPWEM, 250 S. High Street, Wailuku, Hawai'i 96793
Maui CRC, Dept. of Planning, 250 S. High Street, Wailuku, Hawai'i 96793

APPENDIX C.

Preliminary Civil Engineering and Drainage and Soil Erosion Control Study

**PRELIMINARY
CIVIL ENGINEERING
AND
DRAINAGE AND SOIL EROSION CONTROL STUDY
FOR
PROPOSED BINHI AT ANI
COMMUNITY CENTER IMPROVEMENTS
KAHULUI, MAUI, HAWAII
TAX MAP KEY: (2) 3-8-07:124**

PREPARED FOR:

**BINHI AT ANI
780 ONEHEE AVENUE
KAHULUI, HAWAII - 96732**

PREPARED BY:



CIVIL ENGINEERING • LAND SURVEYING • CONSTRUCTION MANAGEMENT & INSPECTIONAL SERVICES

**871 KOLU STREET, SUITE 201
WAILUKU, MAUI, HAWAII - 96793
JOB 08-002**

FEBRUARY 12, 2008

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- II. PROPOSED PROJECT
- III. WATER SYSTEM
 - A. EXISTING
 - B. WATER IMPROVEMENTS
- IV. WASTEWATER SYSTEM
- V. DRAINAGE SYSTEM
 - A. SOIL
 - B. FLOOD HAZARD
 - C. DRAINAGE FACILITIES
 - D. DRAINAGE PLAN
 - E. CONCLUSION
- VI. GRADING AND SOIL EROSION CONTROL
 - A. GRADING REQUIREMENTS
 - B. BEST MANAGEMENT PRACTICES
- VII. CONSTRUCTION PLAN APPROVALS AND PERMITS
- VIII. REFERENCES
- IX. EXHIBIT A - PRELIMINARY CALCULATIONS
EXISTING DOMESTIC WATER CONSUMPTION
- X. FIGURES
 - FIGURE 1 - LOCATION MAP
 - FIGURE 2 - VICINITY MAP
 - FIGURE 3 - SITE PLAN
 - FIGURE 4 - NEW ADDITION AT LOWER LEVEL

I. **INTRODUCTION:**

The purpose of this preliminary report is to investigate the anticipated improvements such as water, wastewater and drainage systems for the proposed expansion of the Binhi at Ani Community Center as required by appropriate governmental agencies. It will also present a brief description of existing conditions; probable grading requirements; and proposed measures to control soil erosion during site construction.

The Binhi at Ani Community Center site, which encompasses a 2 acre parcel, is located at the southwest rim of the Kahului Residential suburbs. It lies on the northern side of Onehee Avenue across the Maui Waena Intermediate School. Refer to Figures 1 and 2.

The site plan of the existing facilities is shown on Figure 3.

II. **PROPOSED PROJECT:**

The proposed project will consist of the construction of a second floor addition to the east wing of the existing Binhi at Ani Community Center building. Refer to Figure 3. The proposed second floor addition will be substantially used as conference rooms. The planned improvements will also include needed renovations of the existing first floor to support the second floor addition. Refer to Figures 4 and 5 for conceptual floor plans.

There are no major site surface improvements included in this project since the second floor addition will be built over the existing structure.

III. WATER SYSTEM:

A. EXISTING:

The existing County water system in the vicinity of the project site is shown on Figure 6. There is an 18-inch water main on Onehee Avenue fronting the project site. There are also existing fire hydrants (FH #612 and #613) across the street.

The existing facility is serviced by a 1½" water meter that has a capacity of 100 gallons per minute (gpm). It also includes a 1½" reduced pressure backflow preventer. Based on the existing plumbing fixtures of the facility, the estimated domestic water demand is about 100 gpm. Refer to Exhibit A.

Fire Protection is provided by the two (2) fire hydrants across the street. Additionally, the building has a sprinkler system that is supplied by the 18-inch waterline via a 4-inch double check detector assembly and 4-inch water line. There is also a Fire Department connection apparatus in front of the existing building.

The onsite water system is shown on Figure 7.

B. WATER IMPROVEMENTS:

The proposed project does not involve the installation of additional plumbing facilities that would impact the existing water usage. Based on the preliminary calculation (Exhibit A), the existing domestic water demand is about 100 gallons per minute (gpm) which can be provided by the existing 1½" water meter.

The Community Center could fall under similar land use category as schools; hence, the needed fire flow for the facility is 2,000 gallons per minute (gpm) according to Table 100-19 - Fire Flow Requirements of the DWS Standards [3]. The existing 18-inch waterline on Onehee Avenue and the two (2) fire hydrants (FH #612 and #613) across the street will be sufficient to provide the required fire flow.

Based on this preliminary study, there is no anticipated water system improvements as a result of the proposed project.

IV. WASTEWATER SYSTEM:

Presently the existing center is served by a 6-inch sewer lateral that is connected to the existing 8-inch sewer pipe on Onehee Avenue. Refer to Figure 7. There is also an existing grease interceptor that serves the existing kitchen facilities.

Based on the proposed use of the building addition, there will be an increase of wastewater flow as determined in the following:

Conference Rooms	= 1,930 square feet (sf) (Refer to Figure 5)
Occupant Load Factor	= 15 sf/seat (Uniform Building Code)
No. of Seats	= 1,930/15
	= 129
Ave. Wastewater Flow	= 129 x 5 gpd/seat (similar to theater usage)
	= 645 gallons per day

The existing sewer facilities would be able to handle the additional flow as there will be no addition of plumbing fixtures such as urinals and water closets.

The proposed expansion, however, will be subject to a wastewater assessment fee for the expansion of the Wailuku/Kahului Wastewater Treatment Facility pursuant to Chapter 14.35 of the Maui County Code. The current assessment fee is \$4.57 per gallon per day. Hence, the estimated assessment fee for the proposed expansion is as follows:

$$\begin{aligned}\text{Estimated Assessment Fee} &= 645 \text{ gpd} \times \$4.57/\text{gal.} \\ &= \$2,947.65\end{aligned}$$

The final assessment fee will be determined by the Wastewater Reclamation Division (WRD) of the Department of Environmental Management during the processing of the building permit application. The WRD will compare the original calculation of wastewater flow discharge with current records of water usage of the property and if the originally estimated wastewater flow calculation is less than actual flow, an additional assessment fee will be levied. If the opposite is true, then WRD will refund part of the original fee.

V. DRAINAGE SYSTEM:

A. SOIL:

According to the Soils Survey of the Island of Kauai, Oahu, Maui, Molokai and Lanai [2], soils at the project site are classified as Puuone Sand, 7 to 30 percent slope (PZUE). Refer to Figure 8. It belongs to Puuone Soil Series that consist of somewhat excessively drained soils on low uplands on the island of Maui. These soils developed in material derived from coral and seashells.

PZUE is generally found on sandhills near the ocean. It is characterized by rapid permeability, slow runoff and moderate to severe wind erosion hazard.

B. FLOOD HAZARD:

The property is located within Flood Zone C, based on the Flood Insurance Rate Map (FIRM) dated March 16, 1995. Refer to Figure 9. Zone C is determined as area of minimal flooding.

C. DRAINAGE FACILITIES:

There are underground storage chambers under the paved parking area which were installed during the construction of the existing facility. A typical section of the storage chambers is shown on Figure 10 while the locations are shown on Figure 11. The existing drainage facility also includes catch basins (grated drain inlets) to collect onsite storm waters that will be conveyed to the storage chambers by underground pipes. According to the Drainage and Soil Erosion Control Report [5] of the existing facility, the storage chambers were sized to retain the 50-year, 1-hour rainfall volume increase generated by the existing improvements over the original runoff volume. Retention of the volume increase is in conformance with the requirements of the Maui County Drainage Standards [1] in order that the development will not cause adverse drainage effects on adjacent and downstream properties.

D. DRAINAGE PLAN:

There is no recommended drainage improvement for the proposed project. The planned second floor addition will be built on top the west wing of the existing building. Hence, there will be no addition of impervious areas; and

as a consequence there will be no increase of storm runoff and change of drainage flow pattern.

E. CONCLUSION:

Based on this preliminary drainage study, the proposed second floor addition will not have adverse drainage effects on adjacent and downstream properties. Existing onsite drainage conditions and flow patterns will not be altered.

VI. GRADING AND SOIL EROSION CONTROL:

A. GRADING REQUIREMENTS:

The proposed project will not involve site grading, since the planned second floor addition will be constructed on an existing structure.

B. BEST MANAGEMENT PRACTICES:

Temporary control of soil erosion and dust during construction is not required since there will be no ground disturbing activities. However, construction waste and vehicle fuel shall be managed in accordance with the following sections of the County's 2001 "Construction Best Management Practices (BMPs) for the County of Maui" [6]:

Section 6.91 Solid Waste Management

Section 6.92 Concrete Waste Management

Section 6.93 Vehicle Fuel & Maintenance Management

IX. CONSTRUCTION PLAN APPROVALS AND PERMITS:

The construction plans for the proposed project will be prepared in accordance with the applicable requirements and guidelines by the different government agencies involved for this type of development.

Approval of the planned improvements will have to be obtained from the following County agencies:

1. Department of Public Works;
2. Department of Environmental Management;
3. Department of Water Supply;
4. Fire Prevention Bureau; and
5. Department of Health, Wastewater Branch, State of Hawaii.

X. REFERENCES:

1. Rules for the Design of Storm Drainage Facilities in the County of Maui, Title MC-15, Department of Public Works and Waste Management, County of Maui, Chapter 4, adopted April 14, 1995.
2. Soil Survey of Islands of Kauai, Oahu, Maui, Molokai and Lanai, State of Hawaii, prepared by U. S. Department of Agriculture, Soil Conservation Service, August 1972.
3. Water System Standards, Department of Water Supply, County of Maui, 2002.
4. Wastewater Flow Standards, Wastewater Reclamation Division, Department of Public Works & Environmental Management, February 2, 2000.
5. Drainage and Soil Erosion Report, for Maui Filipino Community Center prepared by Wayne I. Arakaki, Engineer, December 1999.
6. Construction Best Management Practices (BMPs) for the County of Maui, Department of Public Works and Waste Management, County of Maui, May 2001.

EXHIBIT A

**PRELIMINARY CALCULATIONS
EXISTING DOMESTIC WATER CONSUMPTION**

Existing Fixture		Quantity		Fixture Unit/ Fixture		Total
<u>Public Restrooms:</u>						
Toilet (Flush Valve)	Public	10	x	5.6	=	56
Lavatory	Public	10	x	1.2	=	12
Urinal (Flush Valve)	Public	2	x	2.8	=	5.6
Service Sink	Public	1	x	3.2	=	3.2
Hose Bibb	Private	2	x	3	=	6
 <u>Kitchen:</u>						
2 Compartment Sink	Public	1	x	3.2	=	3.2
3 Compartment Sink (2 faucet)	Public	1	x	6.4	=	6.4
Service Sink	Public	1	x	3.2	=	3.2
Exterior Hose Bibbs	Private	3	x	3	=	<u>9</u>
				Total F.U.	=	104.6

Domestic: Based on Chart A-3, 104.6 Fixture units results in a flow of: 68 gpm

Irrigation: Irrigation flow is the largest flow developed during irrigation,
which is: 32 gpm*

Total Flow = 100 gpm

Required Water Meter: 1½" Meter

Existing Water Meter: 1½" Meter (Capacity: 100 gpm)

Therefore, based on this calculation, the existing water meter is adequate.

*Source: Domestic and Fire Flow Calculation
Maui Filipino Community Center
Prepared by Engineering Dynamics Corp.
July 18, 2000

CHART A-2
Estimate Curves for Demand Load

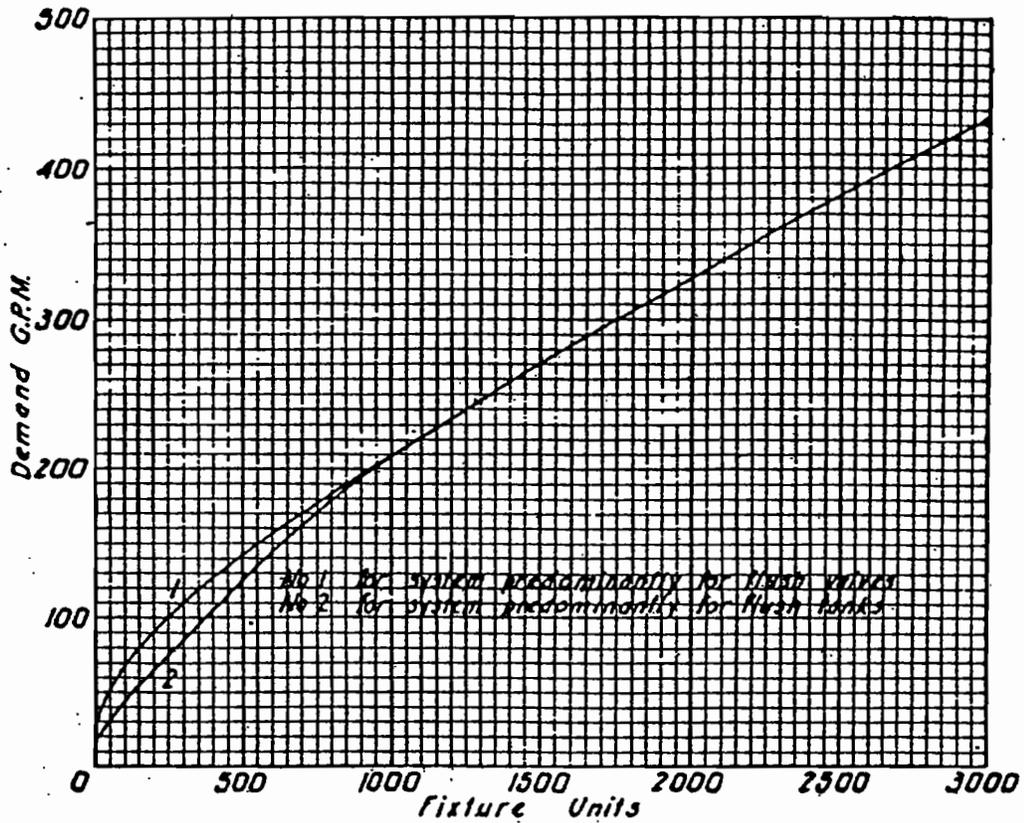
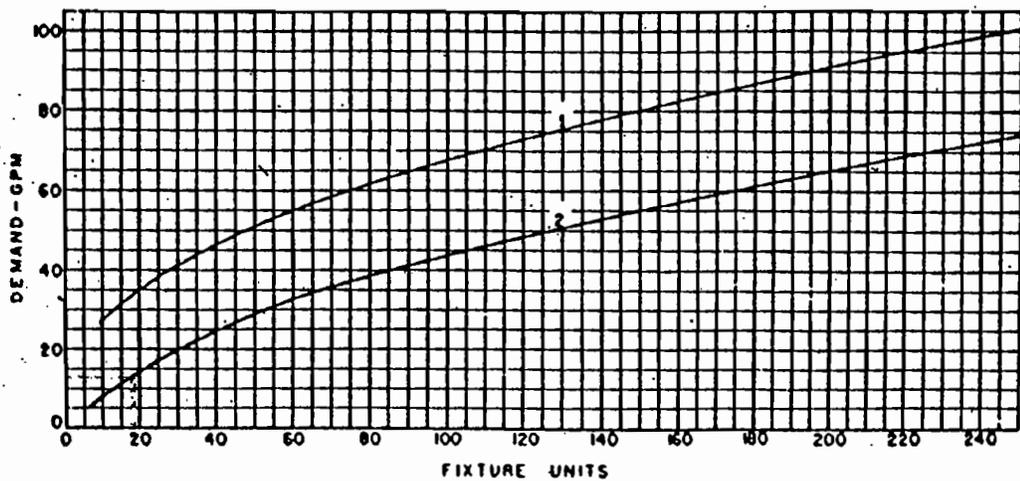
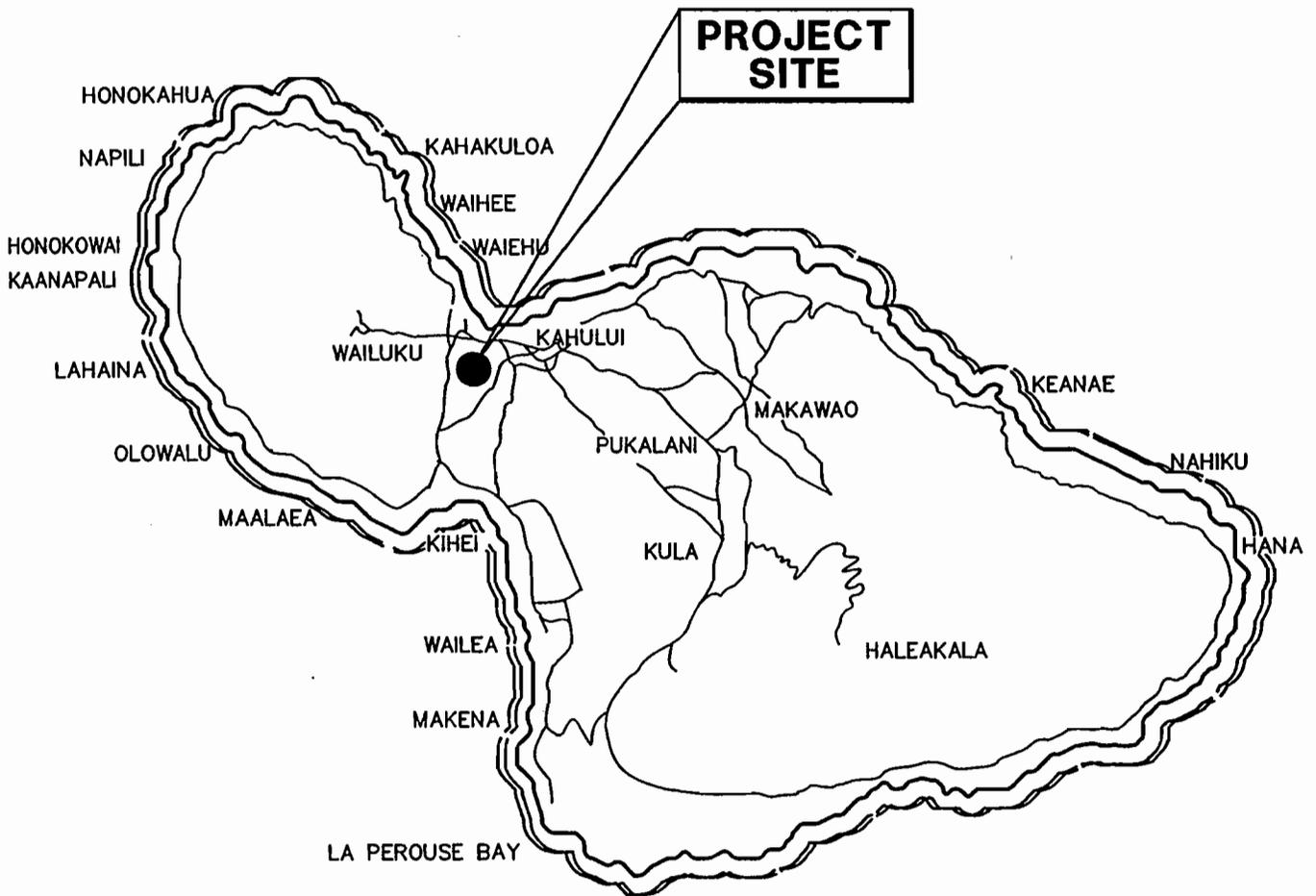
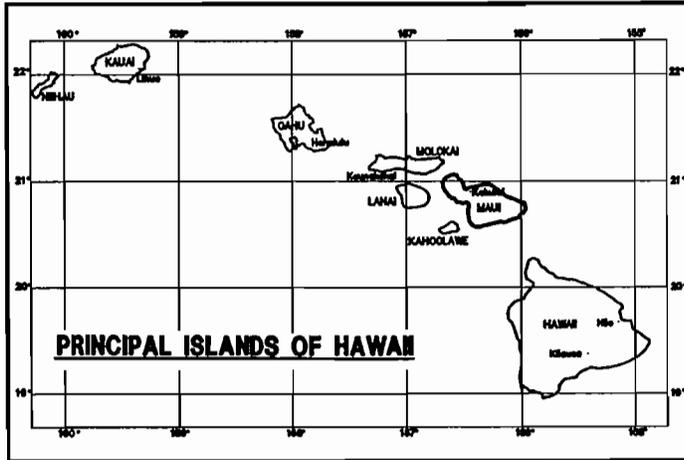


CHART A-3
Enlarged Scale Demand Load



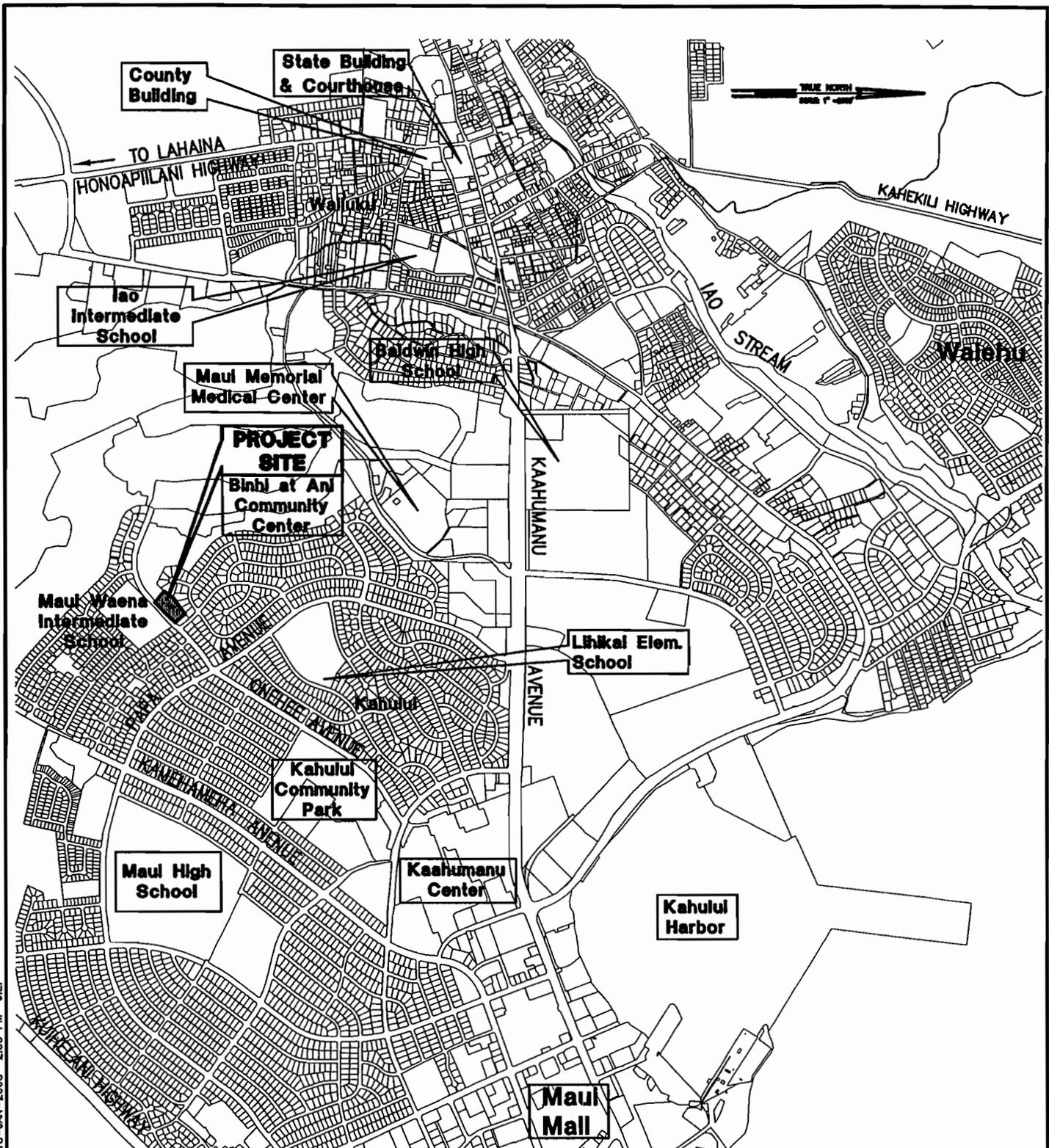


LOCATION MAP
ISLAND OF MAUI

FIGURE 1

JANUARY 18, 2008
JOB NO. 08-002

JOB No. 08-002
FILE: LOCATION MAP
BAC Location & Vicinity Map.dwg 18-JAN-2008 2:38 PM -J.E.



VICINITY MAP

SCALE 1:2000

2008\08-002\BAC_Location & Vicinity Map.dwg 18-JAN-2008 2:38 PM J.E.

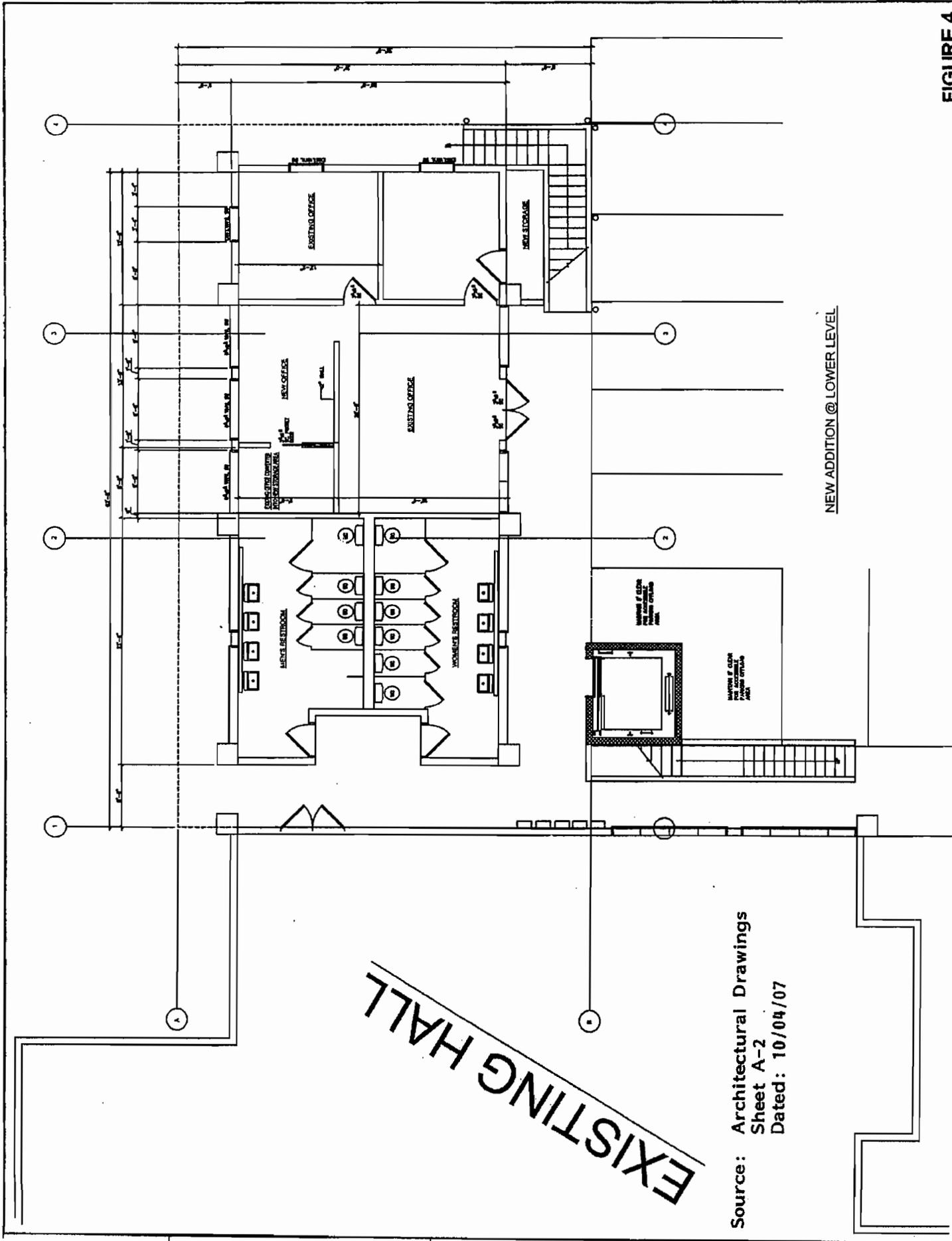
Tax Map Key (2) 3-8-07: 124

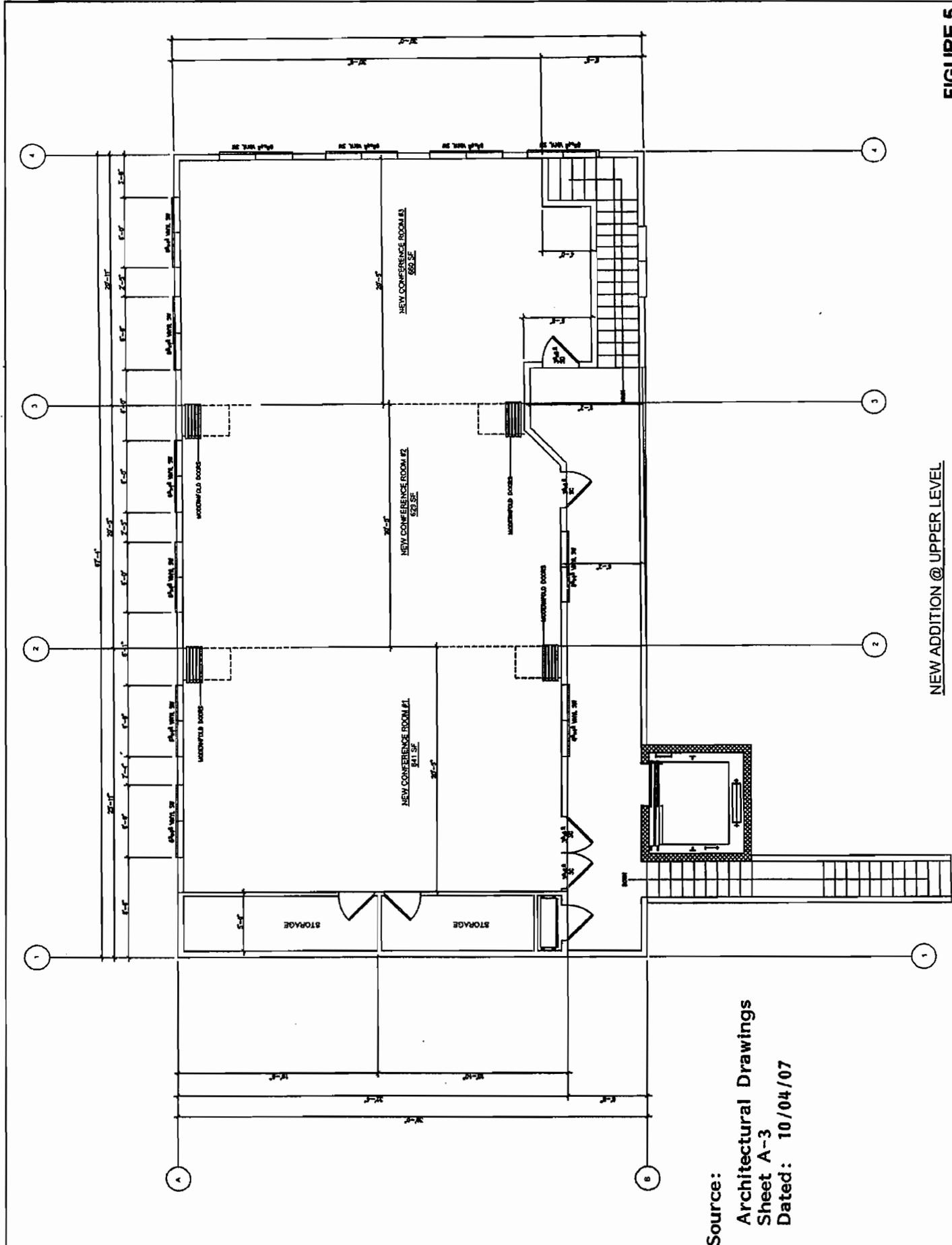
FIGURE 2
JANUARY 18, 2008

871 KOLU STREET, SUITE 201
WAILUKU, MAUI, HAWAII 96793

R. T. TANAKA ENGINEERS, INC.
LAND SURVEYORS - CIVIL & STRUCTURAL ENGINEERS

JOB NO. 08-002



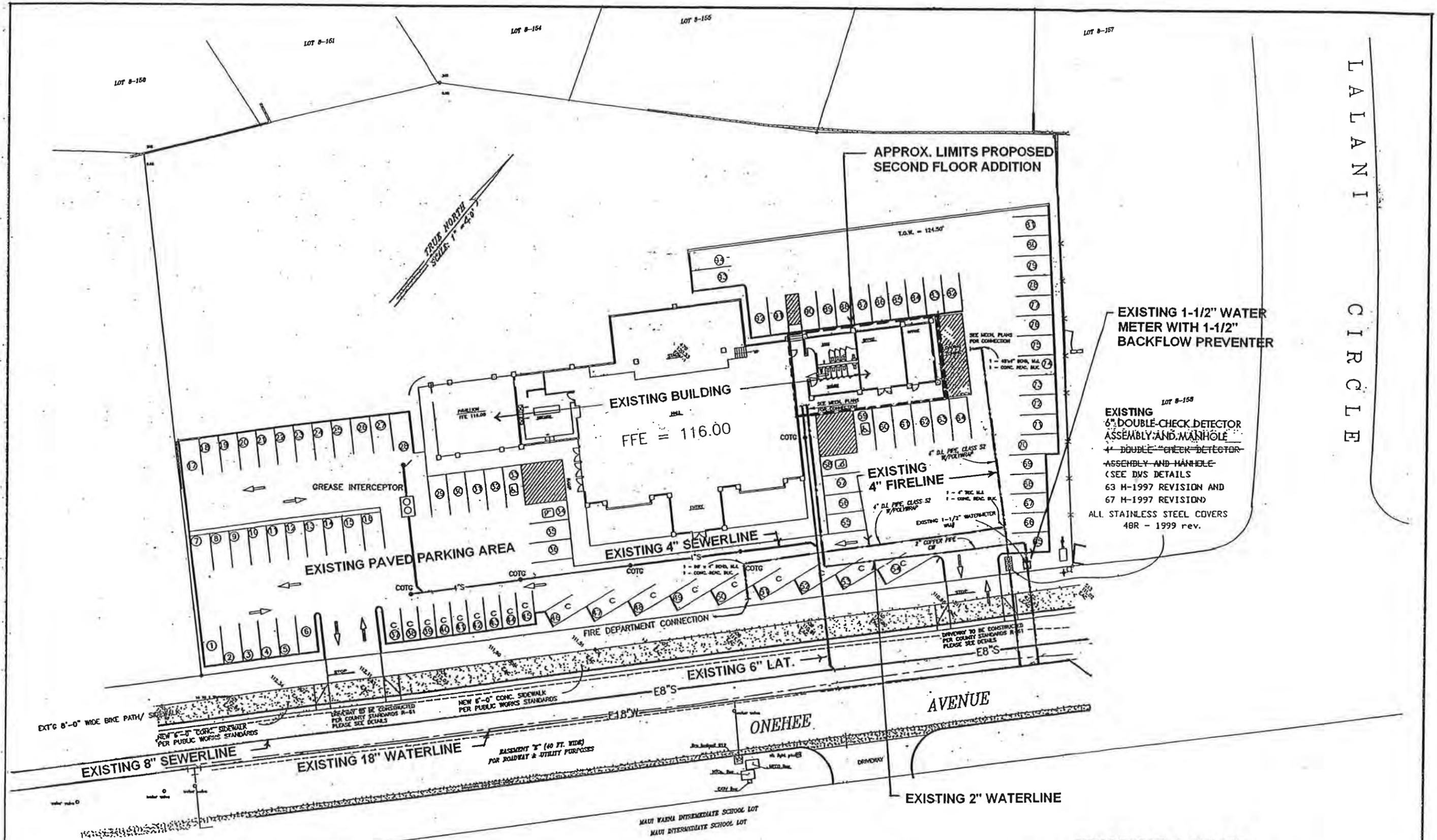


Source:
 Architectural Drawings
 Sheet A-3
 Dated: 10/04/07

NEW ADDITION @ UPPER LEVEL

FIGURE 5

LALANI CIRCLE



EXISTING 1-1/2" WATER METER WITH 1-1/2" BACKFLOW PREVENTER

EXISTING 6" DOUBLE-CHECK DETECTOR ASSEMBLY AND MANHOLE (SEE DWS DETAILS)
 4" DOUBLE-CHECK DETECTOR ASSEMBLY AND MANHOLE (SEE DWS DETAILS)
 63 H-1997 REVISION AND 67 H-1997 REVISION
 ALL STAINLESS STEEL COVERS
 48R - 1999 rev.

EXISTING ONSITE WATER AND SEWER SYSTEM

Scale: 1" = 40'

Source:
 Maui Filipino Community Center
 Record As-Built Drawings
 11/01/04

FIGURE 7



56° 30'

(Joins sheet 98)

570 000 FEET

156° 27' 30''
20° 55'



210 000 FEET

(Joins sheet 104)

200 000 FEET

'30'

(Joins sheet 100)

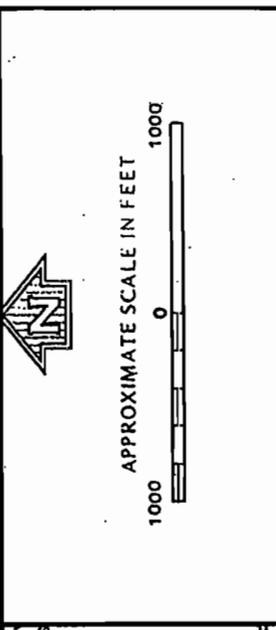
570 000 FEET

20° 52'
156° 27' 30''

PROJECT SITE

SOILS MAP
Scale: 1" = 2,000'

FIGURE 8



NATIONAL FLOOD INSURANCE PROGRAM

FIRM FLOOD INSURANCE RATE MAP

MAUI COUNTY, HAWAII

PANEL 190 OF 400
(SEE MAP INDEX FOR PANELS NOT PRINTED)

COMMUNITY-PANEL NUMBER 150003 0190 D

MAP REVISED: MARCH 16, 1995



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.fema.gov

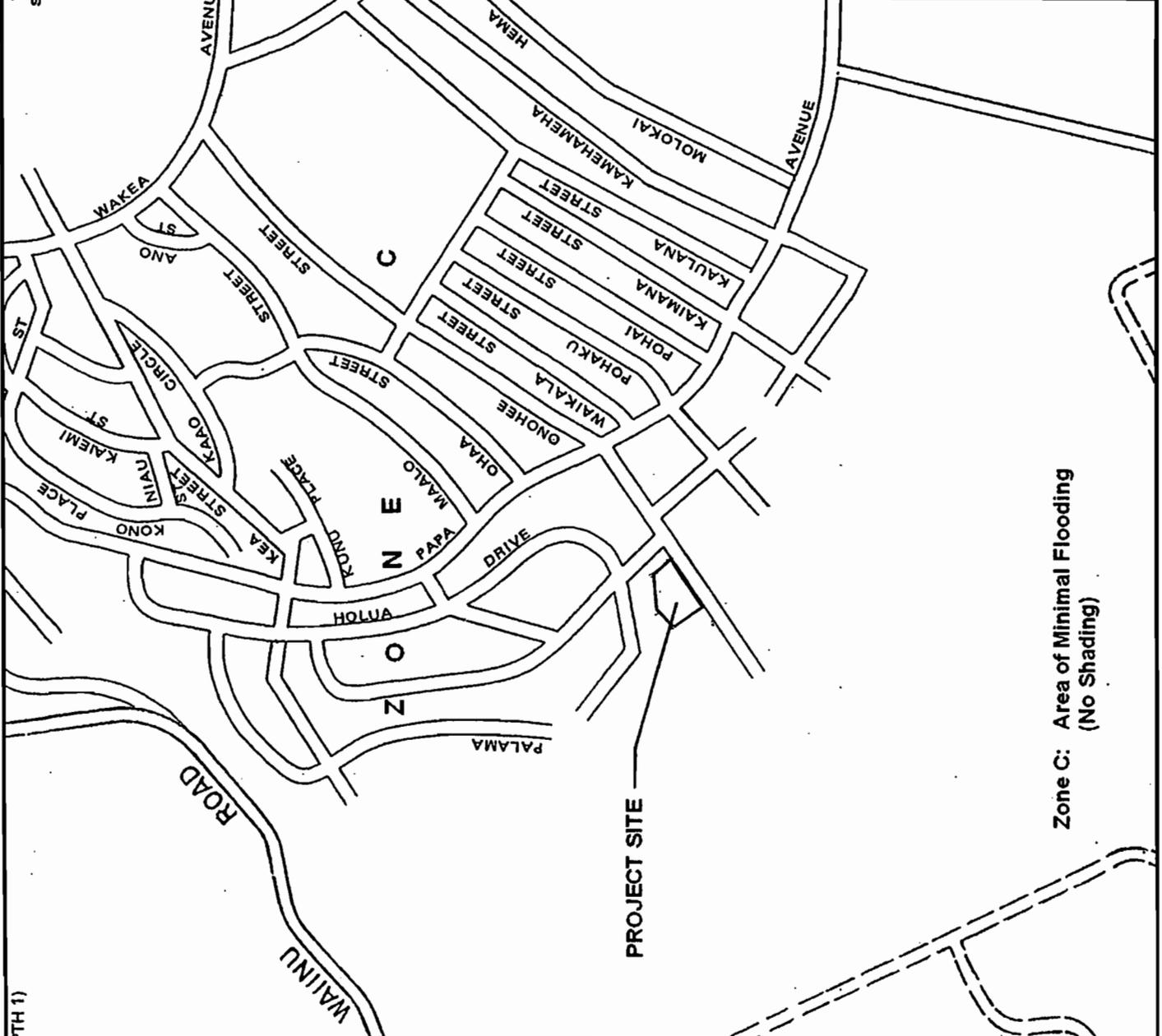
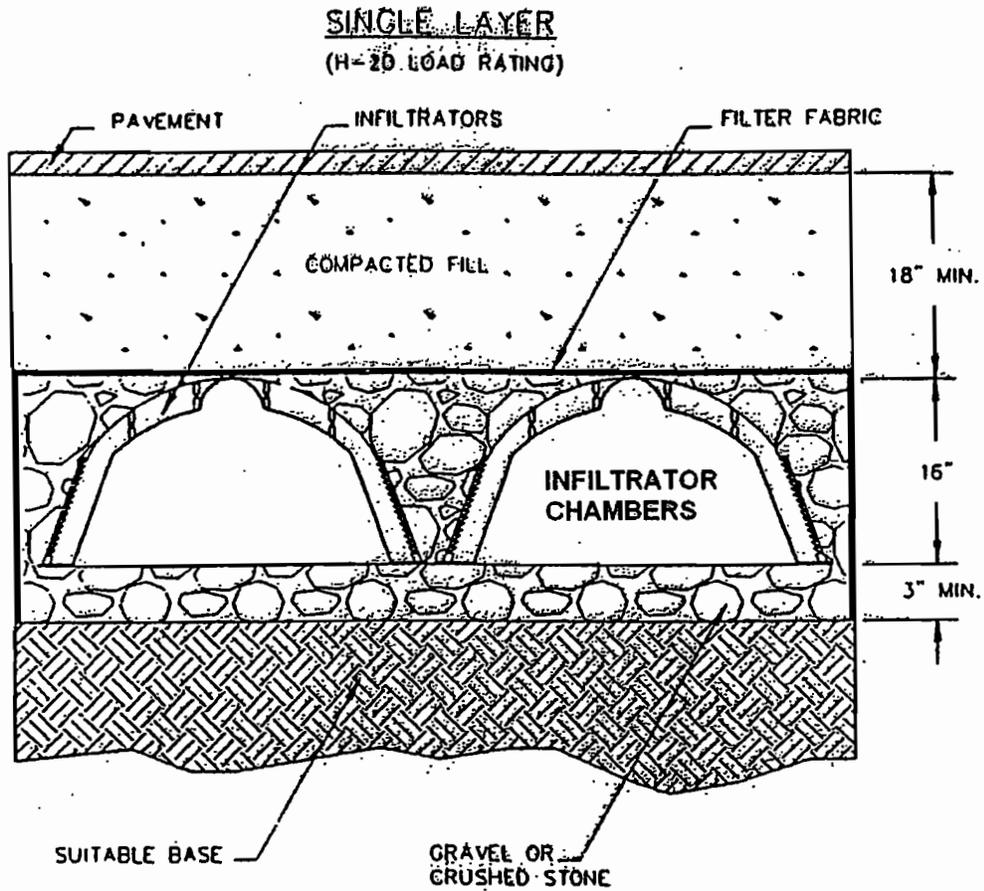


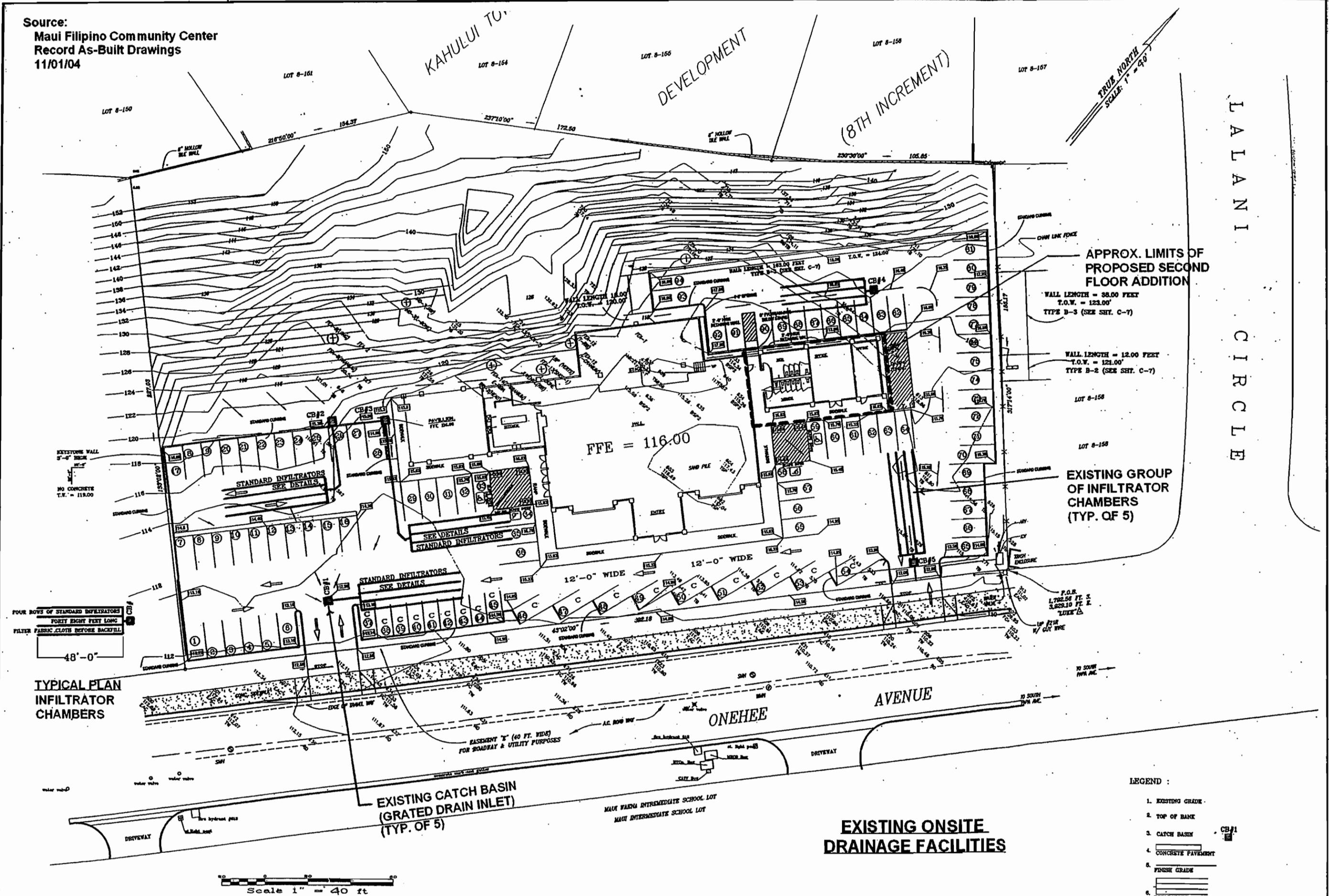
FIGURE 9



Source: Maui Filipino Community Center
Record As-Built Drawings
11/01/04

TYPICAL SECTION
EXISTING INFILTRATOR CHAMBERS
Scale: None

Source:
 Maui Filipino Community Center
 Record As-Built Drawings
 11/01/04



APPROX. LIMITS OF PROPOSED SECOND FLOOR ADDITION

WALL LENGTH = 38.00 FEET
 T.O.W. = 123.00'
 TYPE B-3 (SEE SHY. C-7)

WALL LENGTH = 12.00 FEET
 T.O.W. = 121.00'
 TYPE B-2 (SEE SHY. C-7)

EXISTING GROUP OF INFILTRATOR CHAMBERS (TYP. QF 5)

FFE = 116.00

FOUR ROWS OF STANDARD INFILTRATORS
 FORTY EIGHT FEET LONG
 FILTER FABRIC CLOTH BEFORE BACKFILL
 48'-0"

TYPICAL PLAN INFILTRATOR CHAMBERS

EXISTING CATCH BASIN (GRADED DRAIN INLET) (TYP. OF 5)

EXISTING ONSITE DRAINAGE FACILITIES

LEGEND :

- 1. EXISTING GRADE
- 2. TOP OF BANK
- 3. CATCH BASIN CB #1
- 4. CONCRETE PAVEMENT
- 5. FINISH GRADE
- 6. INFILTRATORS

Scale 1" = 40 ft

T.M.K. : (2), 3-8-07 : 124

FIGURE 11